



City of Willow Park
Planning & Zoning Commission
Regular Meeting
516 Ranch House Rd, Willow Park, TX 76087
Tuesday, September 15th, 2020, 2020 6:00 pm
Agenda

Call to Order

Determination of Quorum

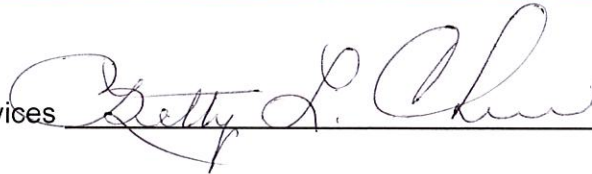
Approval of Meeting Minutes for August 18th, 2020.

Items to be considered and acted upon

1. Consider and Act on a Final Plat of a Replat of Lot 3, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas.
2. Consider and Act on a Site Plan for a Climate Controlled Self Storage Facility on Lot 3R2, Block A, Crown Bluff Addition, located in the 4600 Block E. IH 20 Service Road South.
3. Consider and Act on a revised Site Plan for Recreational Vehicle Sales and Service on Lot 1R1, Block A, Crown Bluff Addition, City of willow Park, Parker County, Texas, located at 4400 E. IH 20 Service Road South.

I certify that the above notice of this meeting was posted on the bulletin board at the municipal complex of the City of Willow Park, Texas on Thursday, September 5th, 2020 at 5:00 pm.

Director of Development Services



If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact Betty Chew, at (817) 441-7108 or by fax (817) 441-6900 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



City of Willow Park
Planning & Zoning Commission
Regular Meeting
516 Ranch House Rd Willow Park, TX 76087
Tuesday, August 18, 2020 6:00 PM
Minutes

Call to Order

The Meeting was called to order at 6:00 pm.

Determination of Quorum

Present:

Vice Chairman Joe Lane
Commissioner Rodney Wilkins, Billy Weikert, Sharon Bruton
Commissioner Alternate Scott Smith

Absent:

Chairman Jared Fowler

Also, Present:
Betty Chew

Approval of Meeting Minutes for June 16, 2020.

Commissioner Bruton made a motion to approve the minutes of the June 16, 2020 Planning and Zoning Commission Meetings.

Seconded by Commissioner Weikert.

Motion passed with a vote of 5-0.

Items to be considered and acted upon

- 1. Consider and Act on a Final Plat of a 9.18 acre tract John Froman Survey, Abstract No. 471, City of Willow Park, Parker County, Texas and being a portion of Lot 1, Block 2, Trinity Meadows Addition, City of Willow Park, Parker County, Texas.**

Betty Chew addressed the Commission stating this is the final plat for Meadow Place Estates Phase II. The preliminary plat was approved by Council October 9, 2018. The preliminary plat contained 11.17 acres of land. The final plat contains 9.18 acres of land. The developer proposes to add the 1.99 acres (floodway) located behind Block F, as a replat, with the land being platted as a part of the adjacent lots in Block A of Meadow Place Estates.

The 18 single family residential lots will front on Belmont Drive and Meadow Place Drive. The developer will construct both streets with concrete pavement, with curb and gutter and sidewalks. The subdivision will be served by city water and sewer.



City of Willow Park
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Tuesday, August 18, 2020 6:00 PM
Minutes

Stormwater flows from north to south across the subdivision. A portion of the lots in Block F are located in the floodway. Finished floor elevations are shown on the plat.

A 25 foot trail easement is included. The Final Plat meets the requirements of the Subdivision Ordinance.

Chuck Stark – Barron Stark Engineers

Motion made by Commissioner Weikert to recommend approval of the Final Plat of Meadow Place Estates Addition Phase II, as presented.

Seconded by Commissioner Wilkins.

Aye Votes: Vice Chairman Lane, Commissioners Bruton, Wilkins, Weikert and Smith..

Motion Passed with a vote of 5-0.

2. Consider and Act on a Final Plat of a Replat of Lots 5R1, 5R2, 5R3, 6, 7, 8, 9, 10, 11; Block A, Meadow Place Estates, City of Willow Park, Parker County, Texas.

Betty Chew addressed the Commission stating this final plat is a replat of 9 lots in Meadow Place Estates Addition. The owners of these lots propose to replat their current lots by adding 1.99 acres to the back of their existing lots. The additional area is flood plain and floodway. Elevation certificates will be required for structures built on these replatted lots. All infrastructure improvements have been completed and accepted by the city. The Final Plat meets the requirements of the Subdivision Ordinance.

Chuck Stark – Barron Stark Engineers

Motion made by Commissioner Smith to recommend approval of the Final Plat of a Replat of Lots 5R1, 5R2, 5R3, 6, 7, 8, 9, 10, 11; Block A, Meadow Place Estates, as presented.

Seconded by Commissioner Wilkins.

Aye Votes: Vice Chairman Lane, Commissioners Bruton, Wilkins, Weikert and Smith.

Motion passed with a vote of 5-0.

Vice Chairman Lane adjourned the meeting at 6:20 pm.

APPROVED:

Joe Lane, Vice Chairman Planning and Zoning Commission



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: September 15, 2020	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 1

Consider and Act on a Final Plat of a Replat of Lot 3, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas, located in the 4600 Block of E. IH 20 Service Road South.

BACKGROUND:

The owner proposes to replat Lot 3, Block A, Crown Bluff Addition into two lots. Lot 3R1 will be a 1.48 acre lot (future development) and Lot 3R2 will be a 2.57 acre lot (Extra Space Storage). Both lots will be served from a single (24') entrance, which is shared with Texas First Rentals. Lot 3R2 also has frontage on Bankhead Hwy. A 26 foot fire lane and access easement off Bankhead Hwy is part of this plat. The lots will be served by City water. Private on-site sewage systems will serve each lot.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat of a Replat of Lot 3, Block A, Crown Bluff Addition meets the requirements of the Subdivision Ordinance and Staff recommends approval as presented.

EXHIBITS:

Plat Application
Final Plat

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park Development Services

516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 • Fax: (817) 441-6900

PLAT APPLICATION
MUST BE AN ORIGINAL DOCUMENT – FAXED COPIES WILL NOT BE ACCEPTED
ALL SIGNATURES MUST BE ORIGINAL

Type of Plat: ☐ Preliminary ☐ Final ☒ Replat ☐ Amended

PROPERTY DESCRIPTION:

SUBMITTAL DATE: 08/25/2020

Address (If assigned): _____

Name of Additions: CROWN BLUFF ADDITION

Location of Addition: DAVID ADDINGTON SURVEY, ABSTRACT NO. 21

Number of Lots: 2 Gross Acreage: 4.06 Zoning: C # of New Street Intersections: 0

PROPERTY OWNER:

Name: PC5 PROPERTIES, LLC

Contact: MICHAEL PURYEAR

Address: 5665 SE LOOP 410

Phone: 210 648-8921

City: SAN ANTONIO

Fax: _____

State: TX Zip: 78222

Email: MICHAEL.PURYEAR@HOLTCAT.COM

Signature: Michael Puryear

APPLICANT:

Name: WP I-20 INVESTMENTS, LLC

Contact: Christian Alvarado

Address: 1701 Nueces St.

Phone: 512-651-1012

City: Austin

Fax: _____

State: TX Zip: 78701

Email: @ caa@cb-cap.com

Signature: [Signature]

SURVEYOR:

Name: KIMLEY-HORN

Contact: JOSHUA D. WARGO, RPLS

Address: 801 CHERRY STREET, SUITE 1300

Phone: 817-962-2193

City: FORT WORTH

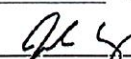
Fax: _____

State: TX Zip: 76102

Email: JOSH.WARGO@KIMLEY-HORN.COM

Signature: Josh D. Wargo

ENGINEER:

Name: KIMLEY-HORN
Address: 801 CHERRY STREET, SUITE 1300
City: FORT WORTH
State: TX Zip: 76102
Signature: 

Contact: JARED EARNEY, PE
Phone: 817-900-8526
Fax: _____
Email: JARED.EARNEY@KIMLEY-HORN.COM

PRINCIPAL CONTACT: _____ Owner _____ Applicant _____ Surveyor ☒ Engineer

- Staff comment letters and mark-ups will be distributed only to the designated principle contact
- Comments will be sent via email unless otherwise specified

UTILITY PROVIDERS

Electric Provider: _____
Water Provider: CITY OF WILLOW PARK
Wastewater Provider: N/A
Gas Provider (if applicable): _____

APPLICATION FEES


09/01/2020

_____ \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR
_____ \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE

Additional fees (if applicable):

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

City Use Only

Fees Collected: \$ _____ \$ _____
\$ _____ \$ _____
Receipt Number: _____

PLAT REVIEW CHECKLIST:

****This checklist must be submitted with the initial plat application****

I. GENERAL:

Name of Addition: CROWN BLUFF ADDITION

Applicant: WP I-20 INVESTMENTS, LLC

Property Owner(s): PC5 PROPERTIES, LLC

Location of Addition: DAVID ADDINGTON SURVEY, ABSTRACT NO. 21

II. REQUIRED DOCUMENTS FOR A PRELIMINARY PLAT**APPLICANT****STAFF**

A. Preliminary Plat Application (original signatures)	_____	_____
B. Preliminary Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Preliminary Drainage Analysis (5 paper copies & 1 digital)	_____	_____
D. Concept Construction Plan (5 paper copies & 1 digital)	_____	_____
E. Tree Survey	_____	_____
F. Location and Dimensions of Existing Structures	_____	_____
G. Sectionalizing or Phasing of Plats	_____	_____
H. Zoning Classification of All Properties Shown on the Plat	_____	_____
I. Dimensions of all Proposed or Existing Lots	_____	_____
J. Location of 100-year Flood Limits Where Applicable	_____	_____

III. REQUIRED DOCUMENTS FOR A FINAL PLAT

A. Final Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital copy)	_____	_____
C. Drainage Study (5 paper copies & 1 digital)	_____	_____
D. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
E. Written Metes and Bounds Description	_____	_____
F. Dimensions of All Proposed or Existing Lots	_____	_____
G. Area in acres for each lot	_____	_____
H. Any Existing Structures which Encroach and Setback Lines	_____	_____
I. Parker County Tax Certificate	_____	_____
J. Plans for all water & sewer lines	_____	_____
K. Plans for fire hydrants	_____	_____
L. Plans for all proposed streets and sidewalks	_____	_____

IV. REQUIRED DOCUMENTS FOR A REPLAT

A. Replat Application (original signatures)	✓	✓
B. Replat Drawing (5 paper copies & 1 digital copy)	✓	OK
C. Original Plat for comparison	✓	✓
D. Drainage Study (5 paper copies & 1 digital)	✓	✓
E. Submit 1 mylar copy and 1 paper copy from county filing	N/A	N/A
F. Written Metes and Bounds Description	✓	✓
G. Dimensions of All Proposed or Existing Lots	✓	✓
H. Area in acres for each lot	✓	✓
I. Any Existing Structures which Encroach and Setback Lines	N/A	N/A
J. Parker County Tax Certificate	N/A	N/A

V. REQUIRED DOCUMENTS FOR AN AMENDED PLAT

A. Amended Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____

STAFF

- L ✓
L ✓
✓
N/A
L ✓
L ✓
L ✓
L ✓
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L ✓
L ✓
OK ✓
~~N/A~~
L ✓
L ✓
L ✓
L ✓
L ✓
L ✓
L ✓
L ✓

STAFF

- ✓
- OK
- OK

4

Willow Park
Plat
Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 10 ft.

Side building setback: 10 & 25 ft.

Side building setback: 10 & 25 ft.

Does the site include any utility/electric/gas/water/sewer easements?

Yes

No

Does the site include any drainage easements?

Yes

No

Does the site include any roadway/through fare easements?

Yes

No

Staff Review:

Does the plat include all the required designations?

Yes

No

Are the setbacks for the building sufficient?

Yes

No

Are there any easement conflicts?

Yes

No

Do the proposed easements align with neighboring easements?

Yes

No

Are the proposed easements sufficient to provide service?

Yes

No

Does the proposed project pose any planning concerns?

Yes

No

Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date: 09/08/2020

Willow Park
Plat
Public Works Review

Applicant Questions:

Is the project serviced by an existing road? ☒ Yes No
If yes, which road? I-20 SERVICE ROAD AND BANKHEAD HWY

Is the project serviced by an existing water line? ☒ Yes No
If yes, what size line? 12"

Will the project require the extension of a water line? ☒ Yes No
Does the project use well water? ☒ No Drinking Irrigation
If yes, which aquifer does the well pull from? N/A

Is the project serviced by an existing sewer line? Yes ☒ No
If yes, what size line? N/A
If no, what type and size is the septic system? TBD

Staff Review:

Will servicing this project require additional infrastructure beyond what is identified in the Capital Improvement Plan?

Yes

☒ No

Any additional concerns: _____

☒ Approved

Not Approved

Needs More Information or Corrections

Public Works Approval Signature: MICHELLE GUELKER Date: 09/08/2020

Willow Park
Plat
Flood Plain Review

Applicant Questions:

Is any part of the plat in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		
Is the footprint of any built improvement in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		
Is the footprint of any habitable structure in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		

Staff Review:

Base flood elevations confirmed? <u>N/A</u>	Yes	<input type="radio"/> No
Does the proposed project pose any safety concerns?	Yes	<input checked="" type="radio"/> No

☒ Approved

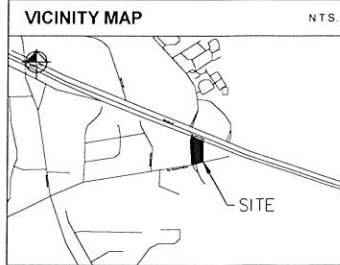
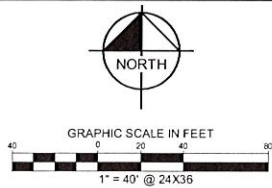
☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature:

DEREK TURNER

Date: 09/08/2020



LINE TYPE LEGEND

BOUNDARY LINE
EASEMENT LINE

LEGEND

P.O.B. = POINT OF BEGINNING
IRFC = IRON ROD W/ CAP FOUND
IRF = IRON ROD FOUND
ADF = ALUMINUM DISK FOUND
MNF = MAG NAIL FOUND
MNS = MAG NAIL SET
IRSC = 5/8" IRON ROD SET WITH "HMA" CAP

LEGAL DESCRIPTION

Being a 4.056 acre tract of land situated in the David Addington Survey, Abstract no. 21, City of Willow Park, Parker County, Texas, and being all of Lot 3R1 & 3R2, Block A, Crown Bluff Addition, an addition to the City of Willow Park according to the plat recorded in County Clerk Document no 201901326, Plat Records, Parker County, Texas, and being more particularly described as follows:

BEGINNING at a Texas Department of Transportation monument found for the northeast corner of said Lot 3R1, being on the south right of way line of Interstate Highway 20;

THENCE South 0°05'31" East, a distance of 478.83 feet to a point for corner;

THENCE South 81°04'43" West with the north right of way line of E. Bankhead Highway, a distance of 294.63 feet to a point for corner;

THENCE North 3°38'17" West, a distance of 564.01 feet to a point for corner;

THENCE North 21°31'43" East, a distance of 99.57 feet to a point for corner;

THENCE South 68°28'17" East with the south right of way of Interstate Highway 20, a distance of 116.67 feet to a point for corner;

THENCE South 59°48'51" East continuing with the south line of Interstate Highway 20, a distance of 99.69 feet to a point for corner;

THENCE South 68°04'05" East continuing with the south line of Interstate Highway 20, a distance of 101.89 feet to the **POINT OF BEGINNING** and containing 4.0560 acres or 176,681 square feet of land, more or less.

OWNER DEDICATION

now therefore, know all men by these presents:

That PCS PROPERTIES, LLC, does hereby certify and adopt this plat designating the herein above described property as LOTS 3R1 & 3R2, BLOCK A, CROWN BLUFF ADDITION, an addition to the City of Willow Park, Texas and does hereby dedicate to the public use forever, the fire lanes, easements and encumbrances shown hereon, MARTIN LAND SALES, INC., herein certifies the following:

1. The fire lanes are dedicated for fire lane purposes.
2. The public improvements and dedication shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated or shown on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City.
5. The City is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and the City's use thereof.
7. The City and public utilities shall at all times have a right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems or public use without the necessity of procuring permits on from anyone.
8. Any modification of this document shall be by means of plat and shall be approved by the City.

This plat is approved subject to the conditions herein and to all pating ordinances, rules, regulations and resolutions of the City of Willow Park, Texas.

WITNESS MY hand this the ____ day of _____, 2020.

By: _____
Name: PCS PROPERTIES, LLC
a Texas limited liability company
By: Paul Hensley, Member

STATE OF TEXAS
COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Paul Hensley, known to me to be the person whose name is subscribed to the foregoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
On the ____ day of _____, 2020

Notary Public in and for the State of Texas

This is to verify that I, Joshua D. Wargo, a Registered Professional Land Surveyor in the State of Texas, have plotted the above subdivision from an actual survey on the ground and all lot corners, angle points, and points of curve shall be properly marked on the ground upon completion of construction, and that this plat correctly represents the survey from which it is made.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Joshua D. Wargo, RPLS
Texas Registration No. 6391

STATE OF TEXAS
COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Joshua D. Wargo, known to me to be the person whose name is subscribed to the foregoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
On the ____ day of _____, 2020

OWNER:
PCS Properties, LLC
DEVELOPER:
WP I-20 Investments, LLC

SURVEYOR
Josh W. Wargo, RPLS
Kimley-Horn and Associates, Inc.
801 Cherry Street,
Unit 11, Suite 1300
Fort Worth, Texas 76102
Ph. 817-962-2193

FINAL PLAT
LOTS 3R1 & 3R2, BLOCK A
CROWN BLUFF ADDITION

BEING A REPLAT OF LOT 3, BLOCK A
CROWN BLUFF ADDITION
AN ADDITION TO THE CITY OF
WILLOW PARK
ACCORDING TO THE PLAT RECORDED IN
CABINET E, SLIDE 218
PLAT RECORDS, PARKER COUNTY, TEXAS
PART OF THE DAVID ADDINGTON SURVEY
ABSTRACT NO. 21
CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

Kimley»Horn

6160 Warren Parkway, Suite 210
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	CRG	JDW	9/9/2020	069274102	1 OF 1

GENERAL NOTES:

1. No portion of the subject property lies within a FEMA designated flood plain area. Flood Insurance Rate Map 48367C0429E, Effective date September 26, 2008.



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: September 15, 2020	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 2

Consider and Act on a Site Plan for a self-contained storage facility with offices. The project is located at 4600 E. IH 20 Service Road South.

BACKGROUND:

The property is zoned Commercial/IH-20 Overlay District. The property is located in Planning Area 4, as identified in the City's Comprehensive Plan. Planning Area 4 is situated along and adjacent to Interstate 20. The area is a prime location for commercial uses. This property has access to IH-20 Service Road South as well as Bankhead Highway.

The owner proposes to re-subdivide the 4.056-acre lot into a 2.57 acre lot for development of "Extra Space Storage" (south lot) and a 1.48 acre lot for future development (north lot). Extra Space Storage proposes to construct a 96,600 square foot self-contained storage facility with a leasing office. The building will be 3 stories with an overall height of 40 feet. A shared access entrance on the IH 20 Service Road will service both lots. A secondary access will be on Bankhead Highway. The drive on the west side of the property is 26-foot-wide and will also serve as a fire access lane.

Water service will be provided from an existing 12-inch water main located in the IH 20 Service Road. Both domestic water service and fire hydrants will be installed by the developer. An automatic fire sprinkler system will be installed in the building. Sanitary sewer service will be provided by an on-site sewage system installed by the developer. A stormwater drainage study has been submitted. On-site detention will be provided in accordance with City regulations.

The developer is proposing a landscape barrier on the east side of the property adjacent to the residentially zoned, undeveloped property. The topography and existing trees make this an option. The landscape barrier will also screen the detention pond.

All parking and loading spaces are on the west side of the property, adjacent to commercial zoned property. There are 14 parking spaces provided which provide parking for the leasing office as well as parking and loading area for the storage spaces adjacent to the entrance and elevator.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan as presented.

EXHIBITS:

Site Plan
Building elevations (2)
Lighting Plan
Landscape Plan (2)

9/10/2020



City of Willow Park Development Services
Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: WILLOW PARK SELF STORAGE	
() Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ (round up to nearest whole dollar)		Project Address (or description): ~1,000FT WEST OF BANKHEAD HWY & I-20 INTERSECTION	
Brief Description of the Project: SELF STORAGE FACILITY			
Existing zoning: C WITH I-20 OVERLAY		# of Existing Lots (plats only):	
Proposed zoning: N/A		# of Proposed Lots (plats only):	
Applicant/Contact Information (this will be the primary contact)			
Name: JARED EARNEY, PE		Mailing Address: 801 CHERRY ST, SUITE 1300, FORT WORTH, TX 76102	
Company: KIMLEY-HORN			
Primary Phone: 817-900-8528		E-mail: jared.earney@kimley-horn.com	
Property Owner Information (if different than above)			
Name: MICHAEL PURYEAR		Mailing Address: 5665 SE LOOP 410, SAN ANTONIO, TX 78222	
Company: PC5 PROPERTIES, LLC			
Primary Phone: 210-648-8921		E-mail: michael.puryear@holtcat.com	
Other Phone:		Fax:	
<input checked="" type="checkbox"/> Developer / () Engineer / () Surveyor Information (if applicable)			
Name: CHRISTIAN ALVARADO		Mailing Address: 1701 NUECES ST, AUSTIN, TX 78701	
Company: WP I-20 INVESTMENTS, LLC			
Primary Phone: 512-651-1012		E-mail: caa@cb-ca.com	
Other Phone:		Fax:	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature:  Date: 08 / 25 / 2020



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	For Office Use Only		
			N/A	COMPLETE	MISSING
1	JE	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	JE	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	JE	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	JE	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	JE	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	JE	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement. EXISTING AND PROPOSED TREES SHOWN ON LANDSCAPE PLANS		✓	
7	JE	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		✓	
8	JE	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	JE	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	JE	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		✓	
11	JE	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.		✓	
12	JE	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		✓	
13	JE	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	JE	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	JE	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	JE	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.		✓	
17	JE	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



City of Willow Park Development Services Department

18	JE	Driveways within 200 feet of the property line: _____ a. Are accurately located and dimensioned. _____ b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines. _____ c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline. _____ d. Typical radii are shown.			
19	N/A	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.	N/A		
20	N/A	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.	N/A		
21	N/A	Off-site streets and roads: _____ a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned. _____ b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site. _____ c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable. _____ d.. Distance to the nearest signalized intersection is indicated	N/A		
22	JE	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.		✓	
23	JE	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.		✓	
24	N/A	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.		✓	
25	JE	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.		✓	
26	JE	Paving materials, boundaries and type are indicated.		✓	
27	JE	Access easements are accurately located/ tied down, labeled and dimensioned.		✓	
28	N/A	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.	N/A		
29	JE	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.		✓	
30	N/A	Proposed dedications and reservations of land for public use including, but not limited to, rights-of way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.	N/A		
31	N/A	Screening walls are shown with dimensions and materials. An Inset is provided that shows the wall	N/A		



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.			
32	JE	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan Indicating plant species/name, height at planting, and spacing.		✓	
33	JE	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.		✓	
34	JE	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		✓	
35	JE	Boundaries of detention areas are located. Indicate above and/or below ground detention.		✓	
36	JE	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	N/A	Communication towers are shown and a fall distance/collapse zone is indicated.	N/A		
38	JE	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		✓	
39	JE	Explain in detail the proposed use(s) for each structure		✓	
40	JE	Total lot area less building footprint (by square feet): Square footage of building: Building height (stories and feet) Number of Units per Acre (apartments only):		✓	
41	JE	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:		✓	
42	N/A	Provide service verification from all utility providers	N/A		
43	JE	List any variance requested for this property, dates, and approving authority		✓	
44	JE	Provide storm water and drainage study and design		✓	
45	JE	Proposed domestic water usage (gallons per day, month, and year)		✓	
46	N/A	Are any irrigation wells proposed?	N/A		
47	JE	Applicant has received Landscaping Ordinance and requirements		✓	
48	JE	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	JE	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 112,129.91 sq. ft.

Area of lot covered with structures and impervious surfaces: 55,226.86 sq. ft.

Total number of structures: 1 Total number of habitable structures: 0

Square footage of each building: 96,600 sq. ft. _____ sq. ft. _____ sq. ft.

Proposed use for each structure:

SELF STORAGE FACILITY

Building stories: 3

Building height: 40 ft.

Total number of parking spaces: 14

Number of handicap spaces: 1

Does the site include any storm water retention or detention?

☒ Yes

☐ No

Does the project include any engineered alternatives from code requirements? Yes

☒ No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns?

Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Engineering Approval Signature: DEREK TURNER Date: 09/09/2020



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 10 ft.

Side building setback: 25 & 10 ft.

Side building setback: 25 & 10 ft.

Does the site include any utility/electric/gas/water/sewer easements?

☒ Yes

No

Does the site include any drainage easements?

☒ Yes

No

Does the site include any roadway/through fare easements?

Yes

☒ No

Staff Review: (for official use only)

Does the site plan include all the required designations?

☒ Yes

No

Are the setbacks for the building sufficient?

☒ Yes

No

Are there any easement conflicts?

Yes

☒ No

Does the proposed project pose any planning concerns?

Yes

☒ No

☒ Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date: 09/09/2020



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm? ☒ Yes ☐ No

Will the building have a fire sprinkler/suppression system? ☒ Yes ☐ No

Is the building taller than two-stories? ☒ Yes ☐ No

If yes, how many stories? 3

Will the project require installation of a new fire hydrant? ☒ Yes ☐ No

If yes, how many fire hydrants? 1

What is the size of the proposed fire connections? 6"

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections? ☒ Yes ☐ No

Is the proposed project an adequate distance to a fire hydrant? ☒ Yes ☐ No

Does the project have the minimum ^{26'}~~24'~~ hard surface? ☒ Yes ☐ No

Is the fire lane appropriate? ☒ Yes ☐ No

Does the site have the proper turning radius? ☒ Yes ☐ No

Does the proposed project pose any safety concerns? ☐ Yes ☒ No

Does the proposed project require any additional fire services? ☒ Yes ☐ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature:

MIKE LENOIR

Date: 09/09/2020



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any built improvement in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any habitable structure in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

If yes, what is the finished floor elevation for the habitable structure? N/A

If yes, please list any wet or dry flood proofing measures being used?
N/A

Staff Review: (for official use only)

Base flood elevations confirmed? Yes ☒ No

Will the project require a "post-grade" elevation certificate? Yes ☒ No

Flood proofing measures approved? N/A Yes ☒ No

Does the proposed project pose any safety concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: DEREK TURNER

Date: 09/09/2020



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 112,129.91 sq. ft.

Area of lot covered with structures and impervious surfaces: 55,226.86 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 49.25 %

Area of green space/landscaped areas: 56,903.05 sq. ft.

Percentage of green space/landscaped areas: 50.75 %

Total number of parking spaces: 14

Does the site include any vegetative erosion or storm water control? Yes

No

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns? Yes

No

Approved

Not Approved

Needs More Information or Corrections

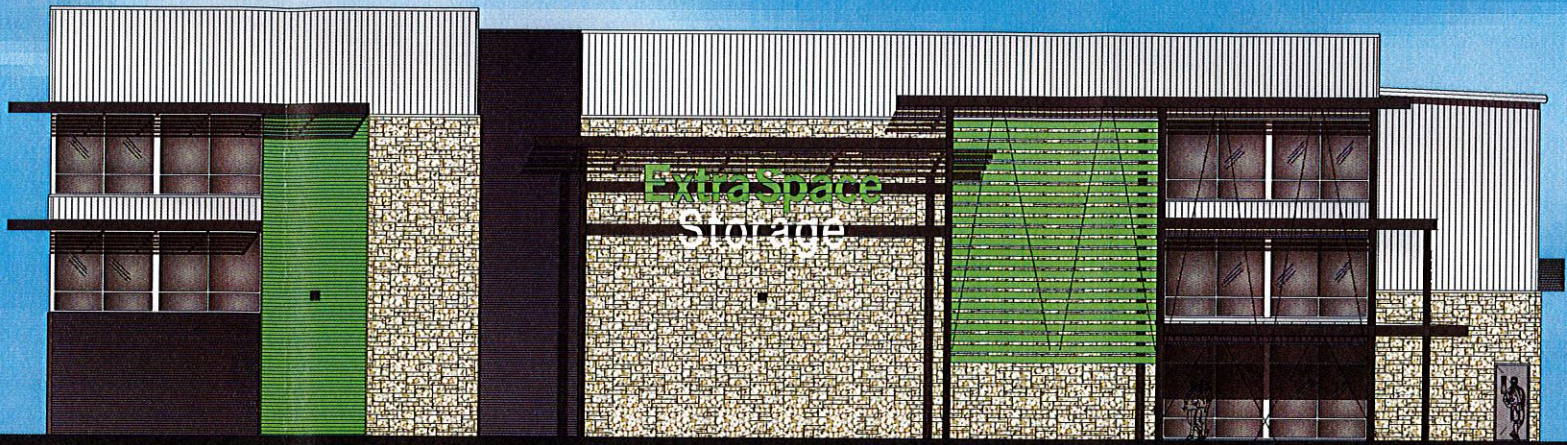
Landscaping Approval Signature:

BETTY L. CHEW

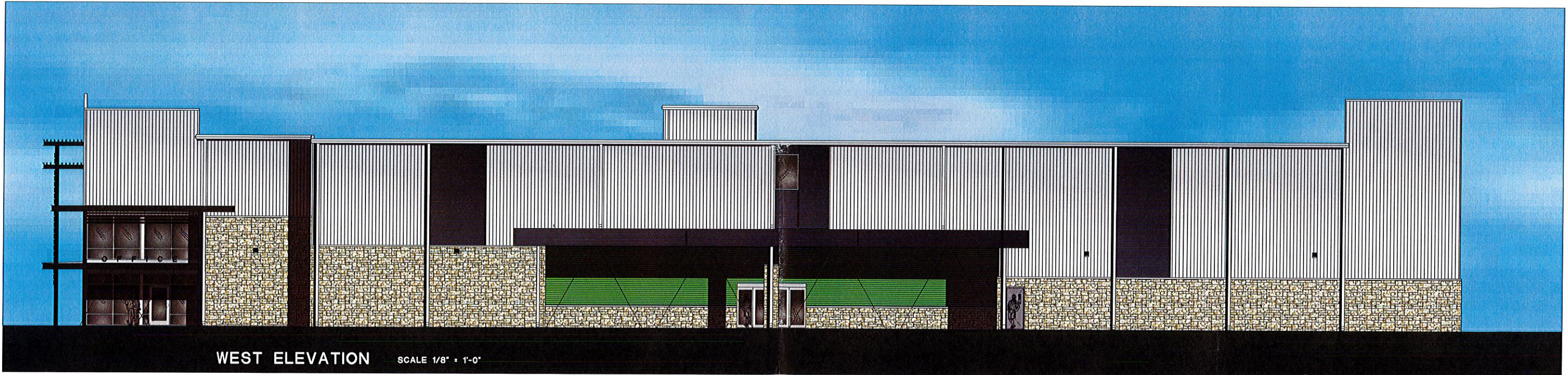
Date: 09/09/2020

MATERIAL LEGEND

TAG	TAG	DESCRIPTION	COLOR/FINISH	MANUFACTURER
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1½" DEEP VERTICAL RIB	GALVALUME	MBCI 1.2 PANEL
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED	
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	DOVE METALLIC	MBCI D PANEL
(D)		24 GA. ARCHITECTURAL STEEL PANEL 4" BOX RIB	EXR WASABI TO BE SELECTED	CORRUGATED METALS, INC CMI
(E)		STEEL FRAMING at CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED	
(F)		STOREFRONT ALUM/ GLAZING SYSTEM	ANODIZED ALUMINUM FRAME	
(G)		STEEL FRAMING SHADE ACCENTS	PAINT TO BE SELECTED	



NORTH ELEVATION at I-20 SERVICE ROAD SCALE 1/8" = 1'-0"



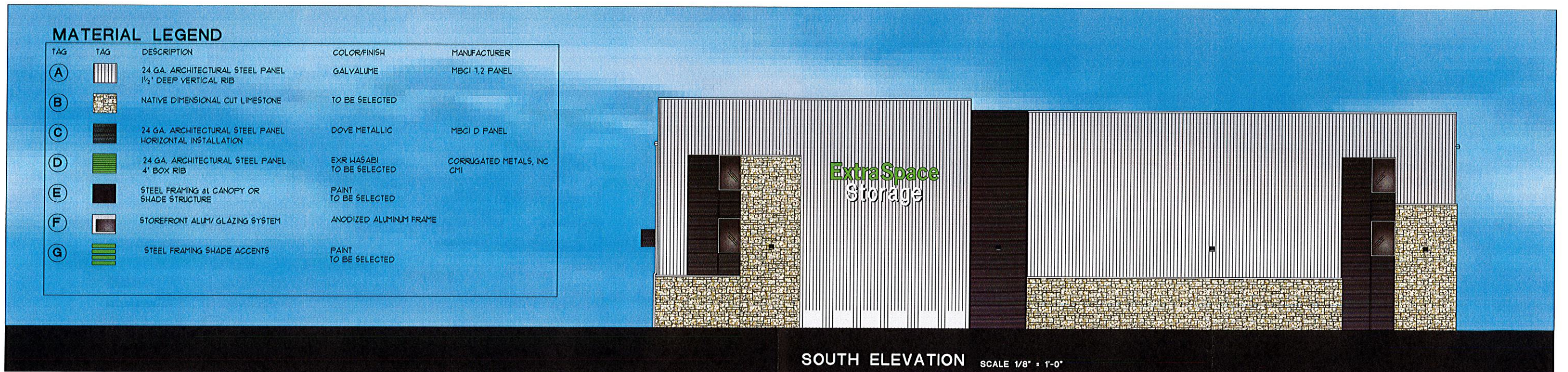
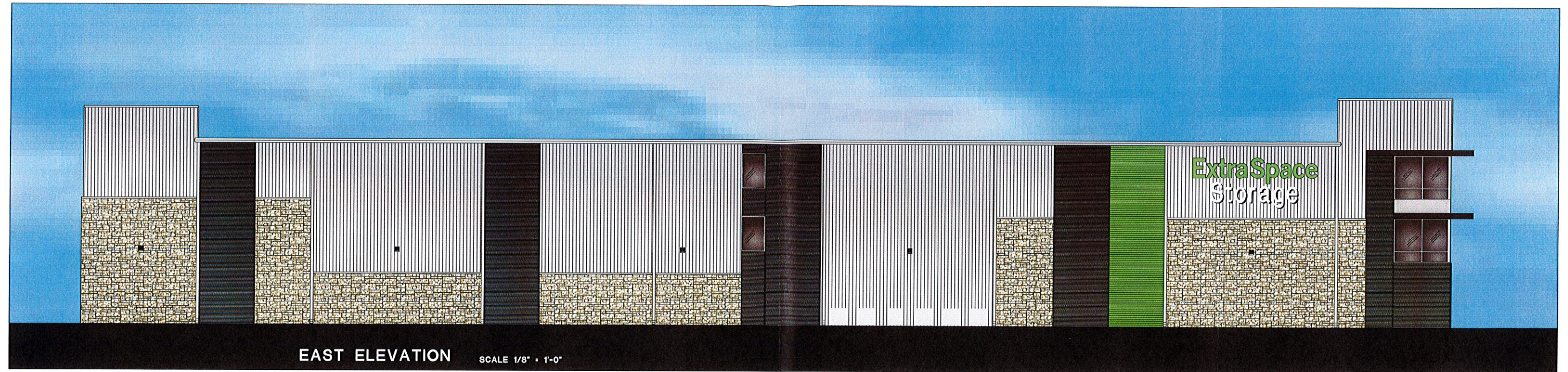
WEST ELEVATION SCALE 1/8" = 1'-0"

WP I-20 INVESTMENTS, INC
EXTRA SPACE STORAGE

I-20 SERVICE ROAD at BANKHEAD HWY
CITY OF WILLOW PARK, TX

Kaufman Design Group
ARCHITECTURE

A1
8/25/2020



MATERIAL LEGEND

TAG	TAG	DESCRIPTION	COLOR/FINISH	MANUFACTURER
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1 1/2" DEEP VERTICAL RIB	GALVALUME	MBCI 1.2 PANEL
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED	
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	DOVE METALLIC	MBCI D PANEL
(D)		24 GA. ARCHITECTURAL STEEL PANEL 4" BOX RIB	EXR WASABI TO BE SELECTED	CORRUGATED METALS, INC CMI
(E)		STEEL FRAMING at CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED	
(F)		STOREFRONT ALUM/ GLAZING SYSTEM	ANODIZED ALUMINUM FRAME	
(G)		STEEL FRAMING SHADE ACCENTS	PAINT TO BE SELECTED	

ISSUE	DATE
CITY SUBMITTAL	8/24/2020 9/7/2020

CBTX CAPITAL
EXTRA SPACE STORAGE
7301 E BANKHEAD HWY
WILLOW PARK, TEXAS 76008

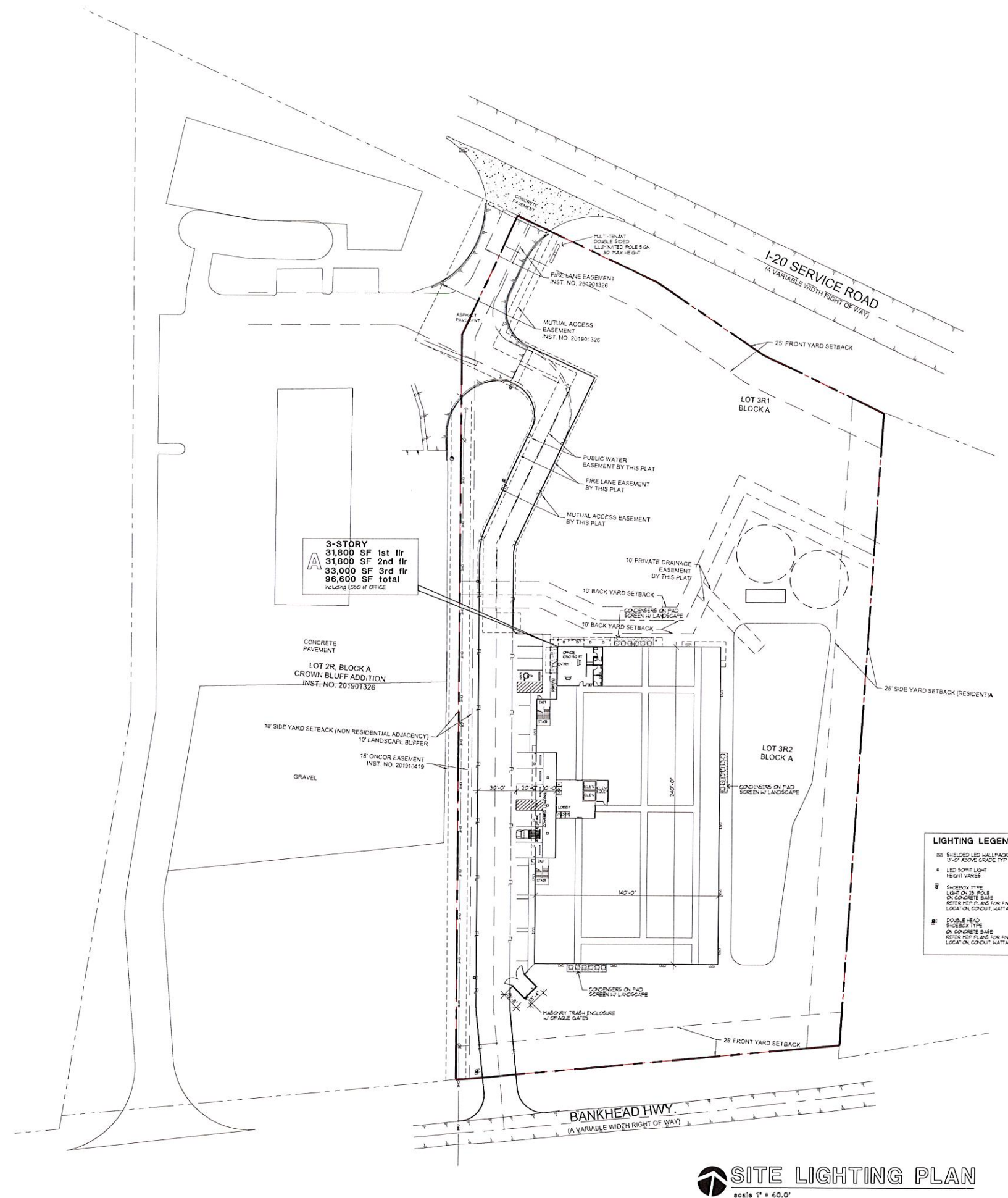
Kaufman Design Group

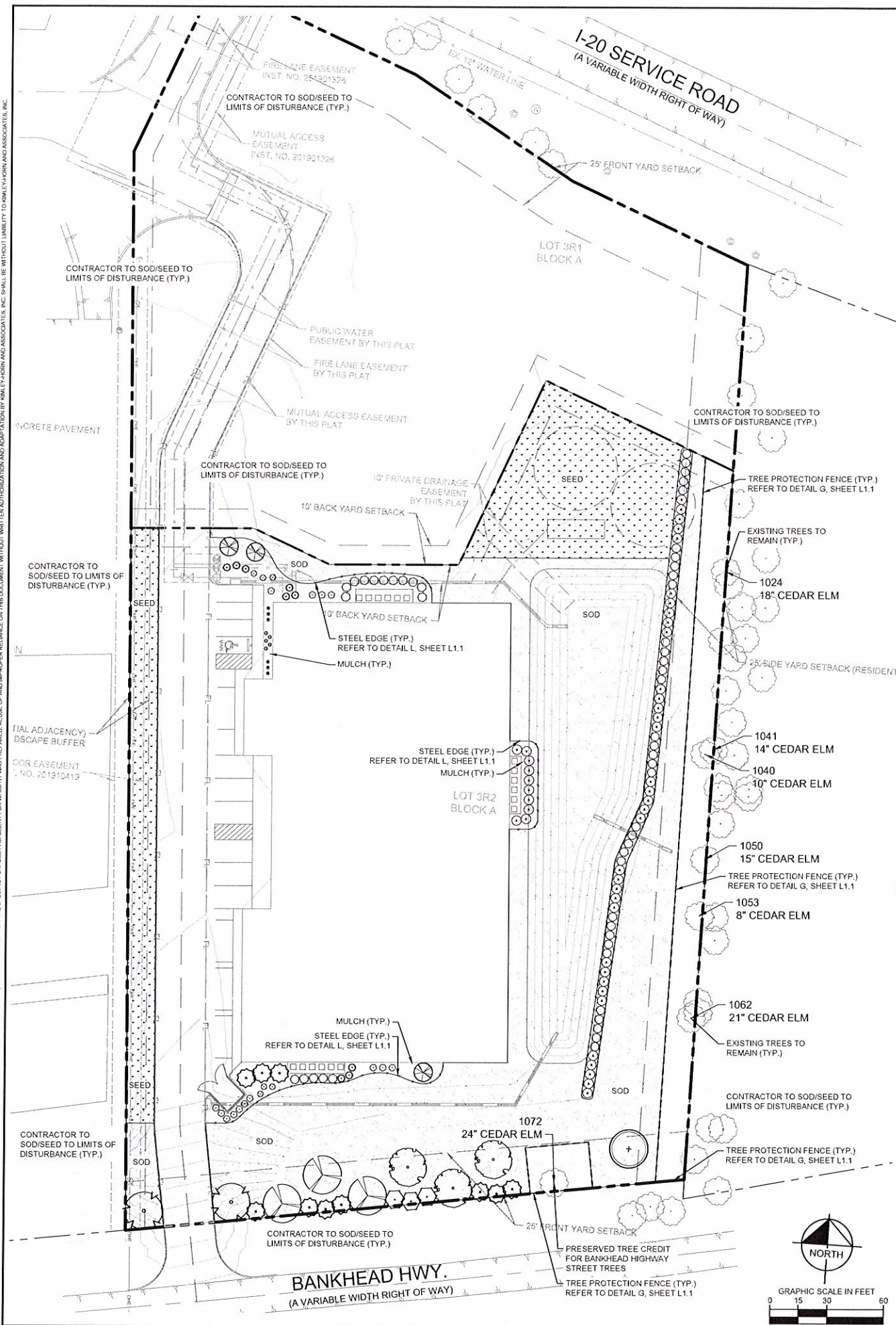
ARCHITECTURE

2371 E. LINCOLN CT.
WICHITA, KS 67207
(316) 618-0448
(316) 618-0048 fax
kaufman@cox.net

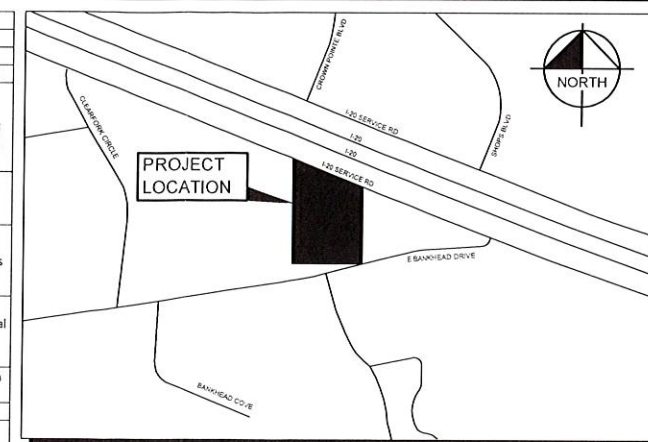
SHEET	TITLE
1	THE DEVELOPMENT PLAN

SHEET NUMBER

SA1
F SHEETS



















CITY OF WILLOW PARK LANDSCAPE CODE			
CHAPTER 14 - ZONING			
SECTION 14.06.016 CLASS V-IH20 OVERLAY			
(g) Minimum Landscaping Criteria		REQUIRED	PROVIDED
<p>(1) At least 5% of the lot, apart from the building footprint, shall be landscaped open areas with permeable surface coefficient of runoff equal to or less than 0.35, equally distributed in an aesthetically pleasing manner.</p> <p>112, 130 SF - 31,800 SF = 80,330 SF</p> <p>80,330 SF x 0.05 = 4,017 SF landscaped open areas</p>		4,017 SF Landscaped Open Area	54,713 SF Landscaped Open Area
<p>(2) Trees are required along any Freeway, Type AA Thoroughfare, Type A Thoroughfare, Type B Thoroughfare, Type C Thoroughfare as designated on the City of Willow Park thoroughfare plan as follows:</p> <p>(A) Large shade trees with a minimum 3" caliper shall be installed with the total caliper inches equal to 1" per 10 feet of frontage</p> <p>295 LF / 10" = 29.5 Cal. Inches</p> <p>29.5 Cal. Inches / 3" = 10 Large Trees</p> <p>(B) Ornamental trees with a minimum 2" caliper shall be installed with the total caliper inches equal to 1" per 15 feet of frontage</p> <p>295 LF / 15" = 19.7 Cal. Inches</p> <p>19.7 Cal. Inches / 2" = 10 Ornamental Trees</p> <p>(C) At least 60% of the required street trees shall be evergreen with year-round foliage.</p> <p>20 x 0.6 = 12 Evergreen Trees</p>		Yes	Yes
<p>(A) Large shade trees with a minimum 3" caliper shall be installed with the total caliper inches equal to 1" per 10 feet of frontage</p> <p>295 LF / 10" = 29.5 Cal. Inches</p> <p>29.5 Cal. Inches / 3" = 10 Large Trees</p>		10 Large Trees*	9 Large Trees
<p>(B) Ornamental trees with a minimum 2" caliper shall be installed with the total caliper inches equal to 1" per 15 feet of frontage</p> <p>295 LF / 15" = 19.7 Cal. Inches</p> <p>19.7 Cal. Inches / 2" = 10 Ornamental Trees</p>		10 Ornamental Trees	10 Ornamental Trees
<p>(C) At least 60% of the required street trees shall be evergreen with year-round foliage.</p> <p>20 x 0.6 = 12 Evergreen Trees</p>		12 Evergreen Trees	13 Evergreen Trees
(3) Required Interior Site Landscaping			
<p>(A) A minimum of 50% of the planter islands within the parking lot must contain at least one 3" minimum caliper shade tree.</p>		N/A	N/A
<p>(B) On structures without canopies, a minimum of 50% of the required minimum landscaping shall be symmetrically distributed around the structure. Said landscaping shall be installed within a planting bed extending a minimum of 5 feet from the exterior wall and plant materials shall contain a minimum of the following plant materials:</p> <p>(i) One ornamental tree shall be installed for every 50 linear feet of landscape area or planting bed or fraction thereof with a minimum 2" caliper.</p> <p>276 LF / 50 LF = 6 Ornamental Trees</p> <p>(ii) One shrub shall be installed for each 5 linear feet of landscape area or planting bed or fraction thereof. Said shrubs shall be a minimum of 5 gallons.</p> <p>276 LF / 5 LF = 55 Shrubs</p>		2,009 SF Landscaped Open Area	4,022 SF Landscaped Open Area
<p>(i) One ornamental tree shall be installed for every 50 linear feet of landscape area or planting bed or fraction thereof with a minimum 2" caliper.</p> <p>276 LF / 50 LF = 6 Ornamental Trees</p>		6 Ornamental Trees	6 Ornamental Trees
<p>(ii) One shrub shall be installed for each 5 linear feet of landscape area or planting bed or fraction thereof. Said shrubs shall be a minimum of 5 gallons.</p> <p>276 LF / 5 LF = 55 Shrubs</p>		55 Shrubs	67 Shrubs
(4) Screening of Parking and Traffic Circulation Areas			
<p>(A) A landscaped screen with a maximum height of 3 feet shall be provided to separate a surface parking area or driveway from the right-of-way. Landscaped screens shall consist of a combination of earthen berms and shrubby hedges. Retaining walls may be used to facilitate berming if they are not visible from the street. Earthen berms and shrubby hedges shall be designed with a curvilinear alignment.</p>		N/A	N/A
<p>(B) The landscaped screen specified above shall be located within a landscaped edge measuring a minimum of 30 feet in width adjacent to the IH-20 right-of-way and a minimum of 20 feet in width adjacent to any public street right-of-way other than that for IH-20.</p>		Yes	Yes
SECTION 14.09.002 LANDSCAPE REQUIREMENTS			
(g) General Standards			
<p>(8) Credit for existing trees. Any trees preserved on a site meeting the herein specifications shall be credited toward meeting the tree requirement of any landscaping provision of this section.</p>		7 Preserved Trees	1 Tree Credit Used



Know what's **below**.
Call before you dig.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	REMARKS
	CC	3	CERCIS CANADENSIS	EASTERN REDBUD	45 GAL.	2" CAL. MIN.	6'-8" HT. X 3'-4" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	JE	2	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	60 GAL.	3" CAL. MIN.	8-10' HT. X 4'-6" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	MG	2	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	60 GAL.	3" CAL. MIN.	8-10' HT. X 4'-6" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	PM	3	PRUNUS MEXICANA	MEXICAN PLUM	45 GAL.	2" CAL. MIN.	6'-8" HT. X 3'-4" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	QM	3	QUERCUS MUEHLENBERGII	CHINQUAPIN OAK	60 GAL.	3" CAL. MIN.	8-10' HT. X 4'-6" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	QV	3	QUERCUS VIRGINIANA	LIVE OAK	60 GAL.	3" CAL. MIN.	8-10' HT. X 4'-6" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
	SS	10	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	45 GAL.	2" CAL. MIN.	6'-8" HT. X 3'-4" W.	SINGLE, STRAIGHT LEADER, FULL & MATCHING.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
	BO	6	BERBERIS THUNBERGII 'ORANGE ROCKET'	ORANGE ROCKET BARBERRY	5 GAL. MIN.	24" H. X 24" W.	36" O.C.	FULL & MATCHING
	IX	52	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL. MIN.	24" H. X 24" W.	60" O.C.	FULL & MATCHING.
	LC	14	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL. MIN.	24" H. X 24" W.	48" O.C.	FULL & MATCHING
	MC	9	MUEHLENBERGIA CAPILLARIS	GULF COAST MUHLY	5 GAL. MIN.	24" H. X 24" W.	48" O.C.	FULL & MATCHING
	MC2	45	MYRICA CERIFERA	WAX MYRTLE	5 GAL. MIN.	30" HT. X 30" W.	60" O.C.	FULL & MATCHING.
	NP	5	NASSELLA TENUISSIMA	MEXICAN FEATHERGRASS	5 GAL. MIN.	18" H. X 18" W.	24" O.C.	FULL & MATCHING
	YC	6	YUCCA FILAMENTOSA 'COLOR GUARD'	COLOR GUARD YUCCA	5 GAL. MIN.	24" H. X 24" W.	36" O.C.	FULL & MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
	CD	39,324 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD			SOD TO HAVE TIGHT, SAND-FILLED JOINTS ROLLED. TO BE FREE OF WEEDS, PEST, AND DISEASE.
	CD2	11,764 SF	CYNODON DACTYLON	BERMUDA GRASS	SEED			PREPARE SOIL, DISPERSE SEED AT RECOMMENDED RATE.

Kimley»Horn

301 CHERRY STREET, UNIT 11, SUITE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511
WWW.KIMLEY-HORN.COM TX E 029

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes

Kimley»Horn

R.L.A. KATHERINE A. UTECHT
L.A. No. 3318 Date AUGUST 2020

PROJECT No. 661289718	DATE: AUGUST 2020	SCALE: AS SHOWN	DESIGNED BY: LKP	DRAWN BY: LKP
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**WILLOW PARK
SELF STORAGE**

LANDSCAPE PLAN
LOT 3R2, BLOCK A
CROWN BLUFF ADDITION

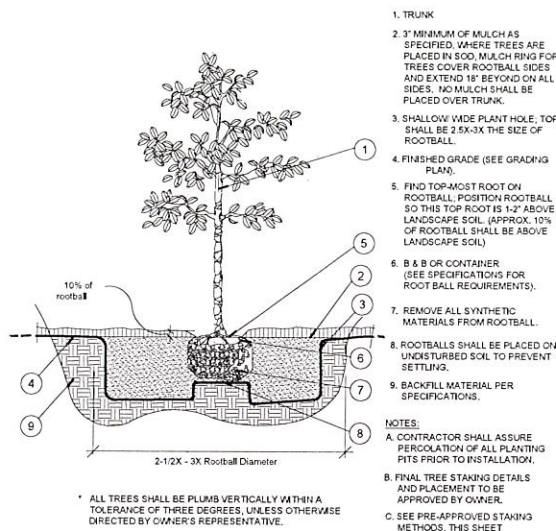
SHEET NUMBER
L1.0

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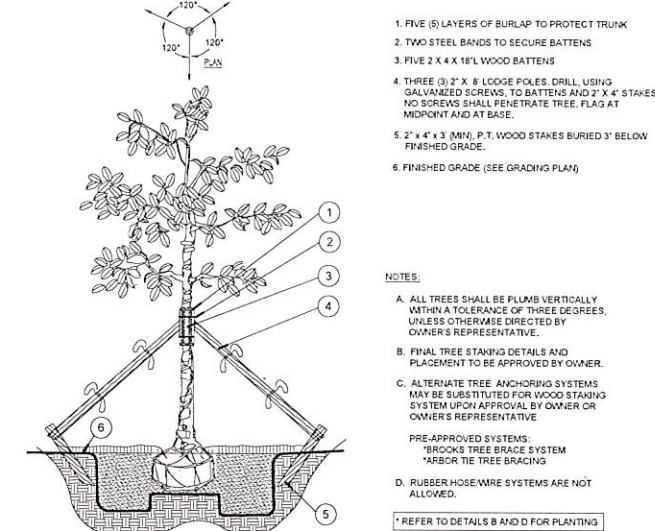
NOTES:
1. TRUNK
2. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOO, MULCH RING FOR TREES COVER ROOTBALL SIDES AND EXTEND 18" BEYOND ON ALL SIDES. NO MULCH SHALL BE PLACED OVER TRUNK.
3. SHALLOW WIDE PLANT HOLE, TOP SHALL BE 2.5X-3X THE SIZE OF ROOTBALL.
4. FINISHED GRADE (SEE GRADING PLAN).
5. FIND TOP-MOST ROOT ON ROOTBALL, POSITION ROOTBALL SO THIS TOP ROOT IS 1-2" ABOVE LANDSCAPE SOIL (APPROX. 10% OF ROOTBALL SHALL BE ABOVE LANDSCAPE SOIL).
6. B & B OR CONTAINER (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
7. REMOVE ALL SYNTHETIC MATERIALS FROM ROOTBALL.
8. ROOTBALLS SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT SETTLING.
9. BACKFILL MATERIAL PER SPECIFICATIONS.
NOTES:
A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
B. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
C. SEE PRE-APPROVED STAKING METHODS, THIS SHEET.
* ALL TREES SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

1. FINISH GRADE
2. BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.
3. FILTER CLOTH, MIRAFI 500X OR BETTER
4. SOIL MIX COMBINED WITH 30% (MIN.) EXPANDED SHALE.
5. SLOPE BOTTOM TO DRAIN
6. 6" 18" 8" AUGURED HOLE PENETRATE THROUGH OCCURRING LAYER A DEPTH OF 7" TO ASSURE PROPER PERCOLATION. INSTALL 4" PVC PIPE WITH VENTED CAP.
7. BACKFILL WITH 1/2" - 3/4" GRAVEL.
NOTES:
A. FOR A PARKING ISLAND PLANTING SITUATION, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF CURB OR EDGE OF PAVEMENT.
B. REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION.

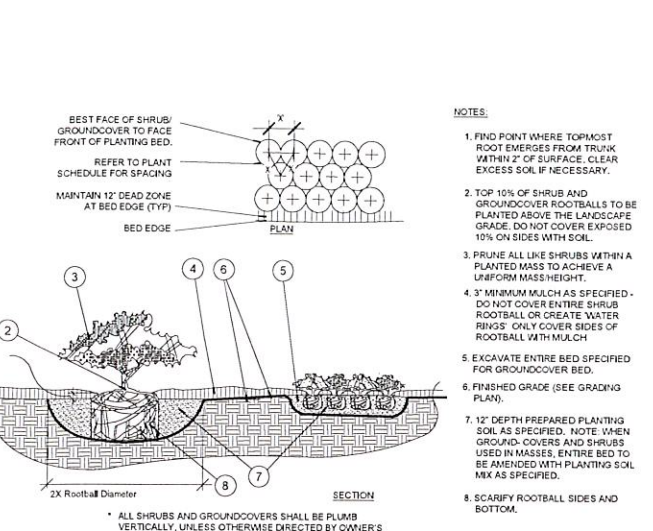
1. CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
2. CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS. SEE DETAIL I FOR PLANTER MEDANS ADJACENT TO PARKING SPACES.
3. 1" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
4. WHEN LIME STABILIZED SOIL IS ENCOUNTERED, EXCAVATE CONTINUOUS 36" DEEP (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
5. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.



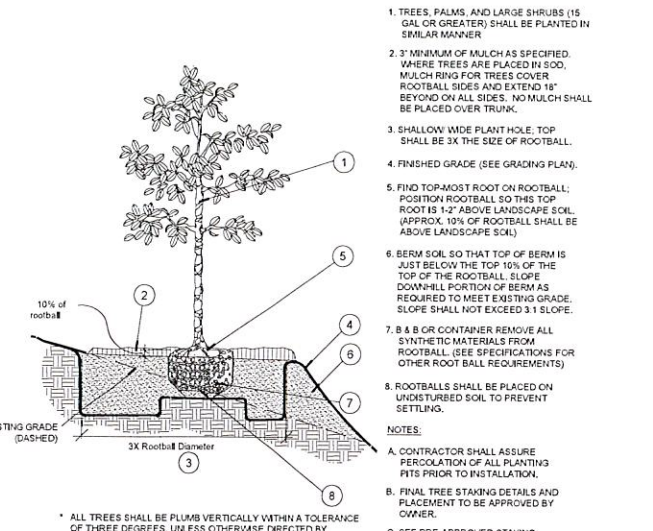
A Tree Planting
SECTION
N.T.S.



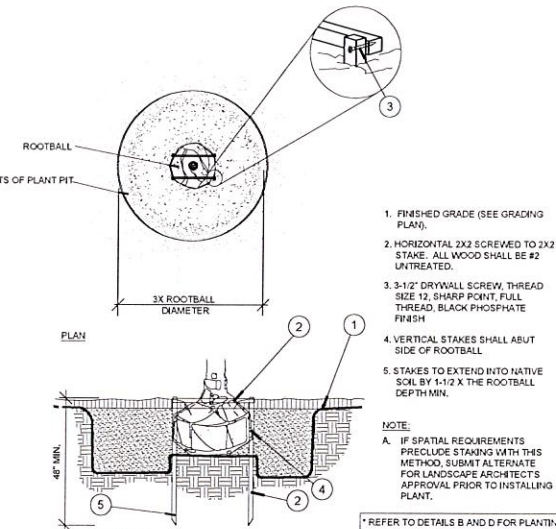
B Large Tree Staking - 100 Gal + or B&B 4" +
SECTION
N.T.S.



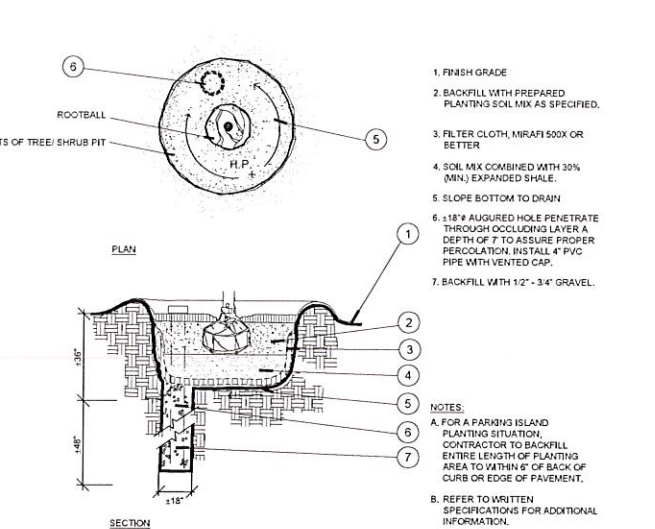
C Shrub / Groundcover Planting
PLAN / SECTION
N.T.S.



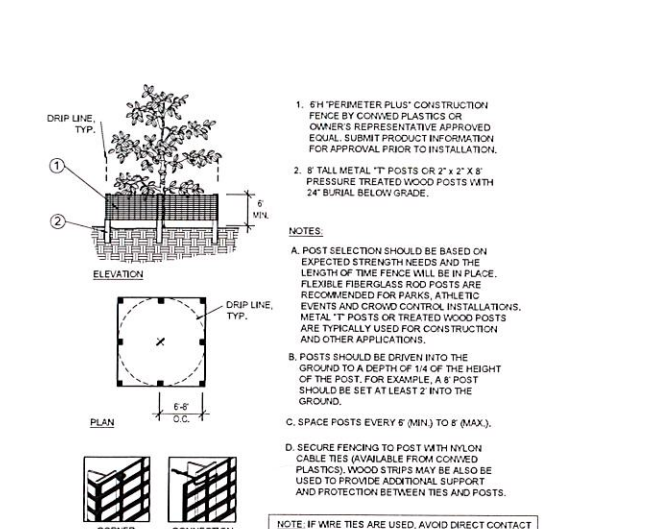
D Planting on a Slope
PLAN / SECTION
N.T.S.



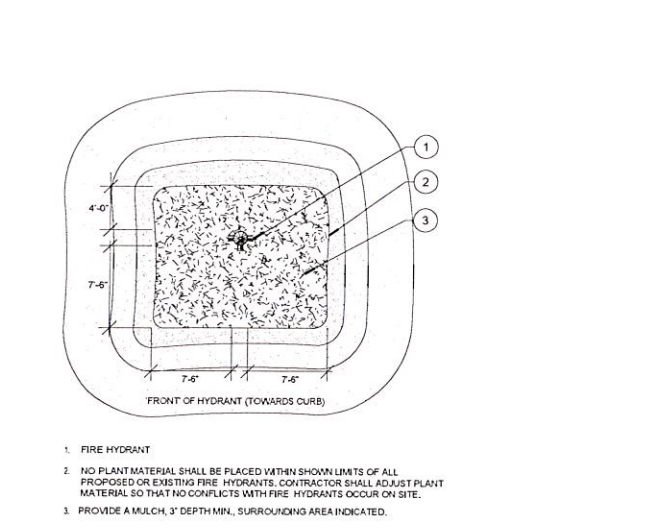
E Staking - up to 65 gal. or B&B to 3-1/2" Cal.
SECTION
N.T.S.



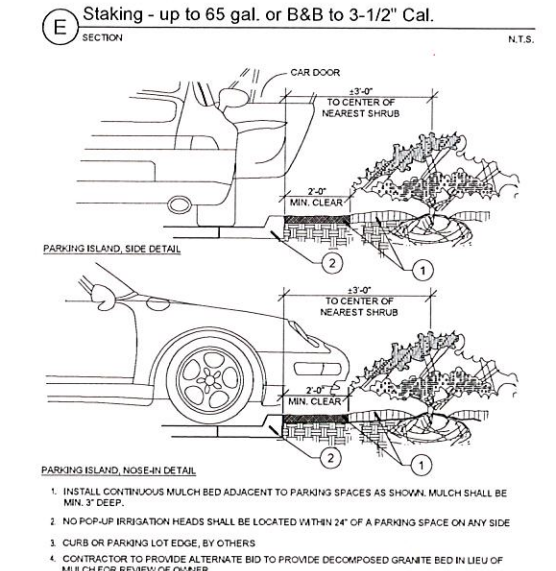
F Poor Drainage Condition
PLAN / SECTION
N.T.S.



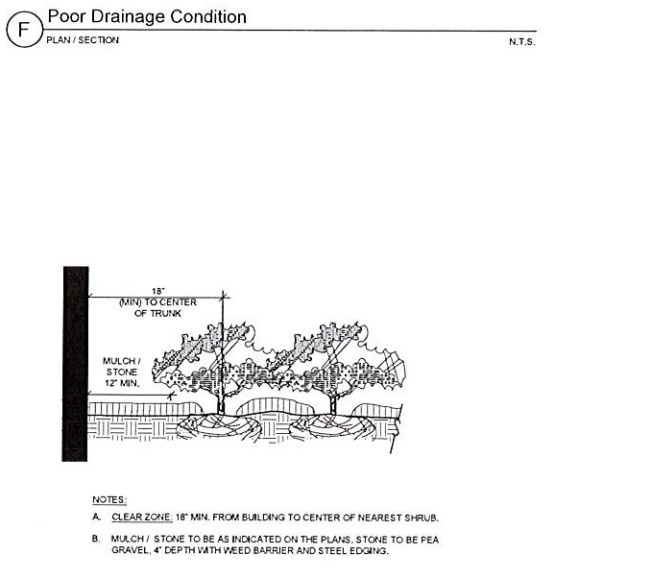
G Tree/Shrub Protector
SECTION
N.T.S.



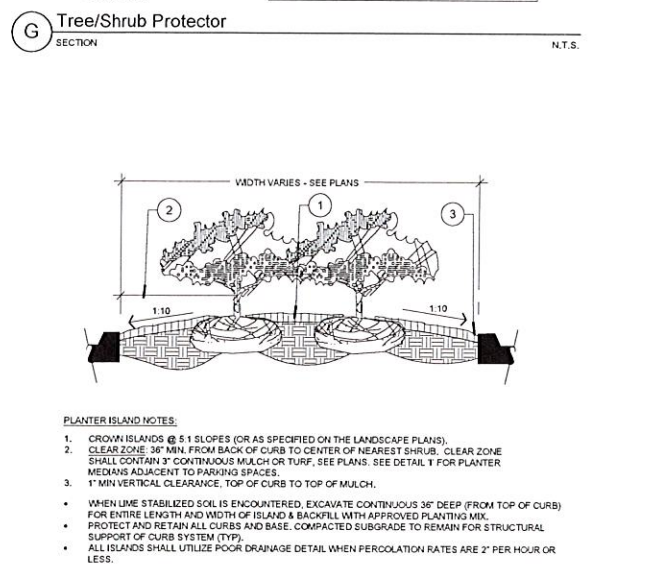
H Fire Hydrant Clear Zone
PLAN
N.T.S.



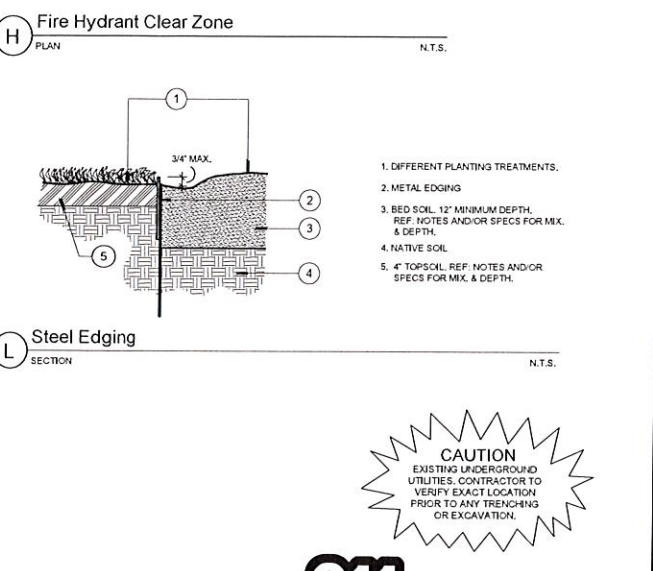
I Parking Space/Curb Planting
SECTION
N.T.S.



J Plantings Adjacent to Buildings/Walls
SECTION
N.T.S.



K Planted Parking Lot Islands / Medians
SECTION
N.T.S.



L Steel Edging
SECTION
N.T.S.

811 Know what's below.
Call before you dig.

CAUTION
EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO ANY TRENCHING OR EXCAVATION.

Kimley-Horn

801 CHERRY STREET UNIT 11, SUITE 1300, FORT WORTH, TX 76102
PHONE 817-356-6511
WWW.KIMLEY-HORN.COM TX-4528

FOR REVIEW ONLY
Not for construction or permit purposes

Kimley-Horn
K.A. KATHERINE A. LUTCH
K.A. No. 3318, Expires AUGUST 2020

PROJECT No. 051289718
DATE: AUGUST 2020
SCALE: AS SHOWN
DESIGNED BY: LKP
DRAWN BY: LKP
CHECKED BY: KAU

**WILLOW PARK
SELF STORAGE**

LANDSCAPE DETAILS
LOT 3R2, BLOCK A
CROWN BLUFF ADDITION

SHEET NUMBER
L1.1

REVISIONS
DATE
BY



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: September 15, 2020	Department: Development Services	Presented By: Betty Chew
--	--	------------------------------------

AGENDA ITEM: 3

Consider and Act on a Revised Site Plan for a sales office and service shop located on Lot 1R1, Block A, Crown Bluff Addition. The property is located at 4400 E. IH 20 Service Road South.

BACKGROUND:

The property is zoned Commercial/IH 20 Overlay District. This property is located in Planning Area 4 as identified in the City's Comprehensive Plan. Planning Area 4 represents the area adjacent to Interstate 20. Due to the high traffic volumes, the area is a prime location for commercial uses. This property is located on the south side of Interstate 20. The development will consist of a 2,400 square foot building with an 800 square foot sales office and 1,600 square feet of service shop area.

There will be 16,000 square feet of display area at the front of the property which will be asphalt pavement. The drive around the building and parking spaces are changed to asphalt pavement.

The property is accessed from the IH 20 Service Road with a single 24 foot shared entrance. No additional entrances will be permitted for these lots on IH 20 Service Road. There will be no entrance on Clear Fork Circle. A 24 foot fire lane which is the driveway to the east side of the building has been modified and approved by the Fire Department. Required parking spaces will be provided.

The building will connect to City water by extension from a 12 inch water main. Fire hydrants will be installed in accordance with ISO regulations. A private septic system will be installed on the property. Stormwater flows from south to north across the lot. It will be directed to an existing structure in the service road in front of the lot. The stormwater drainage plan has been reviewed and approved by the City Engineer. The landscape plan meets ordinance requirements. Enhanced landscaping will be provided along Clear Fork Circle. The exterior lighting plan will be submitted with the building permit.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Revised Site Plan with the lighting plan to be submitted with the building permit.

EXHIBITS:

Site Plan
Building Elevation
Floor Plan
Landscape Plan

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A

9/10/2020



City of Willow Park Development Services

Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Exit 415 RV Center	
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ 300,000 (round up to nearest whole dollar) 4400		Project Address (or description): 4026 E Interstate 20 Service Rd S	
Brief Description of the Project: Site plan for Crown Bluff 415 RV Center We are moving the water line out from under the fire lane and revising the paving plans outside of the fire lane to asphalt pavement. All other plans will remain as presented in previous site plan			
Existing zoning: commercial		# of Existing Lots (plats only): 1	
Proposed zoning: no change		# of Proposed Lots (plats only): 3 no change	
Applicant/Contact Information (this will be the primary contact)			
Name: Michael Thomas		Mailing Address: 4700 Bryant Irvin Ct, Ste 204, Fort Worth, TX 76107	
Company: MJ Thomas Engineering, LLC.			
Primary Phone: (817) 732-9839		E-mail: mickeyt@mjthomaseng.com	
Property Owner Information (if different than above)			
Name: Kelly Bourne Ross		Mailing Address: 14561 White Settlement Rd, Fort Worth, TX 76108	
Company: Exist 415 RV			
Primary Phone: (817)501-4997		E-mail: 415rvcenter@att.net	
Other Phone:		Fax: 817.840.5658	
() Developer / (x) Engineer / () Surveyor Information (if applicable)			
Name: Michael Thomas, P.E.		Mailing Address: 4700 Bryant Irvin Ct, Suite 204, Ft Worth 76107	
Company: MJ Thomas Engineering, LLC			
Primary Phone: 817.732.9839		E-mail: mickeyt@mjthomaseng.com	
Other Phone: 817.996.3446		Fax: 817.732.9841	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature:  Date: 08 / 24 / 2020



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	MT	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	MT	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	MT	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	MT	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	MT	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	MT	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		✓	
7		Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.	✓		
8	MT	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	MT	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	MT	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line. <i>TO BE REMOVED</i>		✓	
11	MT	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified: <i>TO BE REMOVED</i>		✓	
12	MT	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		✓	
13	MT	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	MT	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	MT	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16		Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.	✓		
17	MT	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



516 Ranch House Rd. Willow Park, TX 76087 (817) 441-7108 phone – (817) 441-6900 fax
www.willowpark.org



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited. <i>N/A</i>	✓		
32		The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.	✓		
33		A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street. <i>LIGHTING DESIGN REQD. WITH PERMIT</i>			✓
34	MT	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled. <i>SEPTIC SYSTEM</i>		✓	
35		Boundaries of detention areas are located. Indicate above and/or below ground detention.	✓		
36	MT	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37		Communication towers are shown and a fall distance/collapse zone is indicated.	✓		
38		Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable	✓		
39	MT	Explain in detail the proposed use(s) for each structure <i>RV SALES & SERVICE</i>			✓
40	MT	Total lot area less building footprint (by square feet): Square footage of building: Building height (stories and feet) Number of Units per Acre (apartments only):			✓
41	MT	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:			✓
42	MT	Provide service verification from all utility providers		✓	
43		List any variance requested for this property, dates, and approving authority	✓		
44	MT	Provide storm water and drainage study and design		✓	
45	MT	Proposed domestic water usage (gallons per day, month, and year)		✓	
46		Are any irrigation wells proposed?	✓		
47	MT	Applicant has received Landscaping Ordinance and requirements		✓	
48	MT	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	MT	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 110,207 sq. ft.

Area of lot covered with structures and impervious surfaces: 51,797 sq. ft.

Total number of structures: 1 Total number of habitable structures: 1

Square footage of each building: 2,400 sq. ft. _____ sq. ft. _____ sq. ft.

Proposed use for each structure:

Office for 415 RV Center with covered maintenance area

Building stories: 1

Building height: 25 ft.

Total number of parking spaces: 6

Number of handicap spaces: 1

Does the site include any storm water retention or detention? Yes ☒ No

Does the project include any engineered alternatives from code requirements? Yes ☒ No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns? Yes No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Engineering Approval Signature: DEREK TURNER Date: 09/03/2020



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 25 ft.

Side building setback: 10 ft.

Does the site include any utility/electric/gas/water/sewer easements?

Yes

No

Does the site include any drainage easements?

Yes

No

Does the site include any roadway/through fare easements?

Yes

No

Staff Review: (for official use only)

Does the site plan include all the required designations?

Yes

No

Are the setbacks for the building sufficient?

Yes

No

Are there any easement conflicts?

Yes

No

Does the proposed project pose any planning concerns?

Yes

No

LIGHTING DESIGN REQUIRED
WITH PERMIT

Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date: 09/03/2020



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm?	<u>Yes</u>	No
Will the building have a fire sprinkler/suppression system?	Yes	<u>No</u>
Is the building taller than two-stories?	Yes	<u>No</u>
If yes, how many stories? _____		
Will the project require installation of a new fire hydrant?	<u>Yes</u>	No
If yes, how many fire hydrants? <u>1</u>		
What is the size of the proposed fire connections? <u>6"</u>		

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections?	<u>Yes</u>	No
Is the proposed project an adequate distance to a fire hydrant?	<u>Yes</u>	No
Does the project have the minimum 24' hard surface?	<u>Yes</u>	No
Is the fire lane appropriate?	<u>Yes</u>	No
Does the site have the proper turning radius?	<u>Yes</u>	No
Does the proposed project pose any safety concerns?	Yes	<u>No</u>

Does the proposed project require any additional fire services?	Yes	<u>No</u>
---	-----	-----------

Approved

Not Approved

Needs More Information or Corrections

Fire Department Approval Signature:

MIKE LENOIR

Date: 08/31/2020



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? _____

Is any built improvement in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? _____

Is any habitable structure in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? na

If yes, what is the finished floor elevation for the habitable structure? na

If yes, please list any wet or dry flood proofing measures being used?

na

Staff Review: (for official use only)

Base flood elevations confirmed? Yes ☒ No

Will the project require a "post-grade" elevation certificate? Yes ☒ No

Flood proofing measures approved? Yes ☒ No

Does the proposed project pose any safety concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature:

DEREK TURNER

Date:

09/02/2020



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 110,207 sq. ft.

Area of lot covered with structures and impervious surfaces: 51,797 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 47 %

Area of green space/landscaped areas: 58,410 sq. ft.

Percentage of green space/landscaped areas: 53 %

Total number of parking spaces: 6

Does the site include any vegetative erosion or storm water control? Yes No

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns? Yes No

Approved

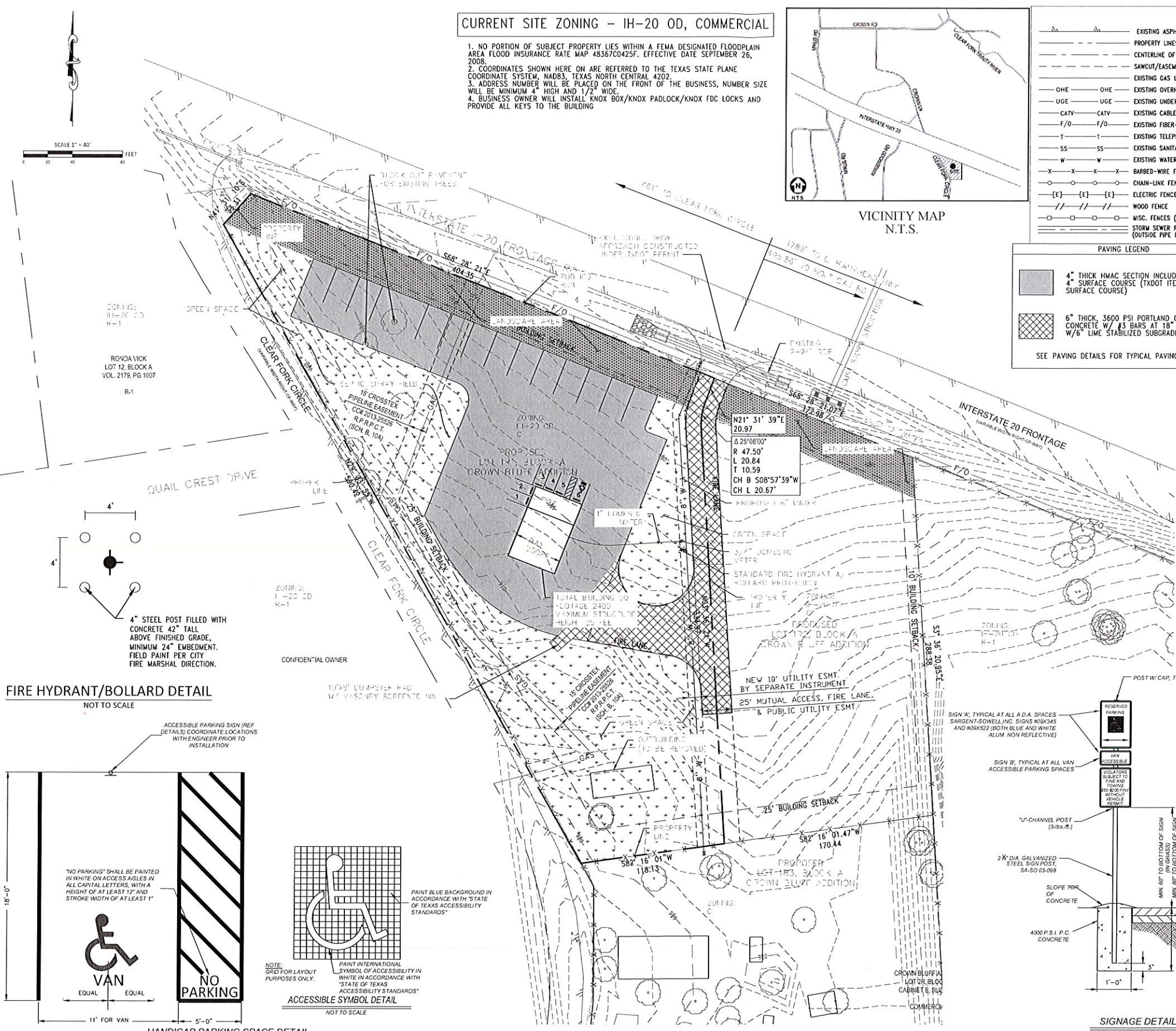
Not Approved

Needs More Information or Corrections

Landscaping Approval Signature:

BETTY L. CHEW

Date: 09/03/2020



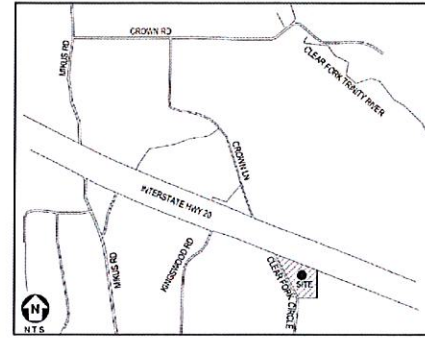
CURRENT SITE ZONING - IH-20 OD, COMMERCIAL

1. NO PORTION OF SUBJECT PROPERTY LIES WITHIN A FEMA DESIGNATED FLOODPLAIN AREA FLOOD INSURANCE RATE MAP 48367C0425F. EFFECTIVE DATE SEPTEMBER 26, 2008.

2. COORDINATES SHOWN HERE ON ARE REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, TEXAS NORTH CENTRAL 4202.

3. ADDRESS NUMBER WILL BE PLACED ON THE FRONT OF THE BUSINESS, NUMBER SIZE WILL BE MINIMUM 4" HIGH AND 1/2" WIDE.

4. BUSINESS OWNER WILL INSTALL KNOX BOX/KNOX PADLOCK/KNOX FDC LOCKS AND PROVIDE ALL KEYS TO THE BUILDING



LEGEND

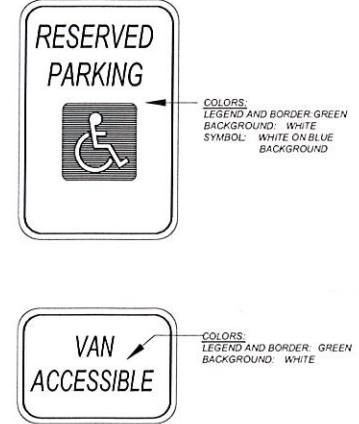
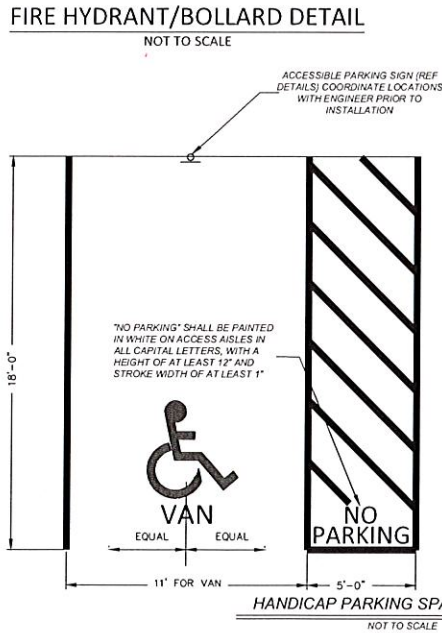
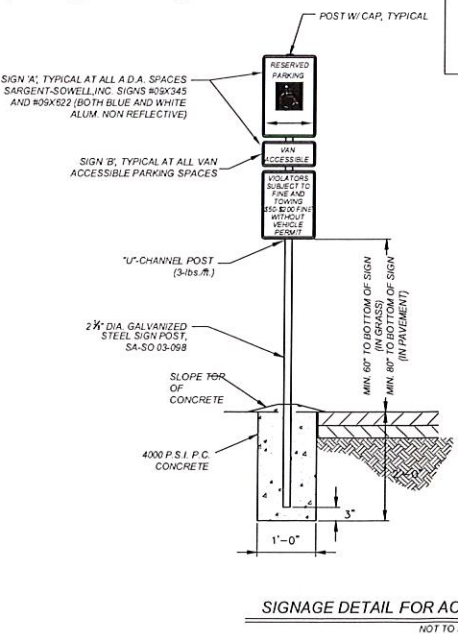
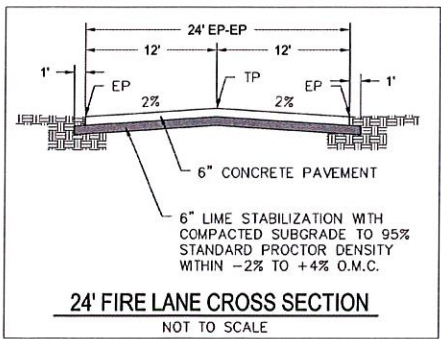
EXISTING FEATURES	PROPOSED FEATURES
EXISTING ASPHALT PAVEMENT	FIRE HYDRANT
PROPERTY LINES	WATER VALVE
CENTERLINE OF ROAD	FIRE RISER
SAWCUT/EASEMENT	PLUG
EXISTING GAS LINE	WATER METER
EXISTING OVERHEAD ELECTRIC LINES	IRRIGATION METER
EXISTING UNDERGROUND ELECTRIC LINES	DETECTOR CHECK
EXISTING CABLE/TELEVISION LINES	CURB INLET
EXISTING FIBER-OPTIC LINES	GRATE INLET
EXISTING TELEPHONE LINES	STORM SEWER MANHOLE
EXISTING SANITARY SEWER LINES	SANITARY SEWER MANHOLE
EXISTING WATER LINES	
BARBED-WIRE FENCE	
CHAIN-LINK FENCE	
ELECTRIC FENCE	
WOOD FENCE	
MISC. FENCES (AS APPLICABLY NOTED)	
STORM SEWER PIPE (OUTSIDE PIPE DIA. SHOWN)	

PAVING LEGEND

4" THICK HWAC SECTION INCLUDES: 4" SURFACE COURSE (TXDOT ITEM 340, TYPE D SURFACE COURSE)	SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS
6" THICK, 3600 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS AT 18" O.C.E.W. W/ 6" LIME STABILIZED SUBGRADE (FIRE LANE)	

SITE PLAN DATA TABLE
LOT 1R1, BLOCK A

ACREAGE	2.53 ACRES
EXISTING ZONING	COMMERCIAL
PROPOSED USE	RV SALES & SERVICE
PROPOSED STRUCTURES	OFFICE & SERVICE SHOP
SALES OFFICE	800 SQ. FT.
SERVICE SHOP	1600 SQ. FT.
PARKING REQUIRED	
1 PER 200 (OFFICE USE)	4
1 PER 1000 (SHOP USE)	1.6
PARKING PROVIDED	6 (INCLUDING 1 HC)
F.A.R.	0.018
PERCENT IMPERVIOUS	47%
OPEN SPACE/LANDSCAPE	53%
RV DISPLAY SPACES PROVIDED	14



MJ THOMAS ENGINEERING, LLC

STATE OF TEXAS
MICHAEL A. THOMAS
93640
08/25/2020

SITE PLAN
415 RV CENTER
LOT 41R1, BLOCK A CROWN BLUFF ADDITION
CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

PROJECT	803-801
DATE	08/25/20
DESIGNED	FILE
DRAWN	FILE
CHECKED	FILE
BY	
REVISION	
NO.	

SHEET

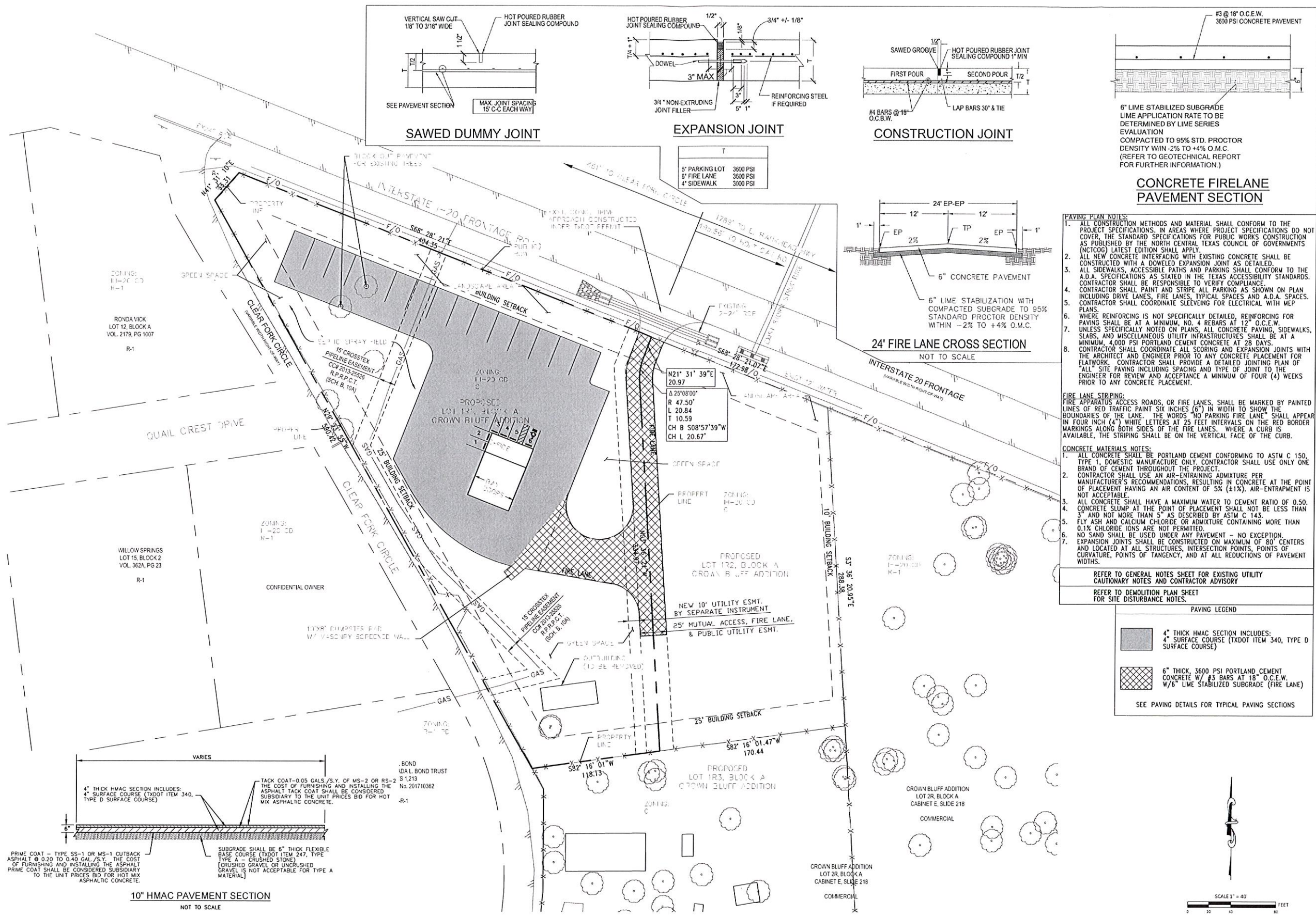
C1.0



PAVING PLAN
415 RV CENTER
LOT 41R1, BLOCK A, CROWN BLUFF ADDITION
CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

NO.	REVISION	BY	DATE	PROJECT	DESIGNED	DRAWN	CHECKED	DATE
				415 RV CENTER				

C3.0

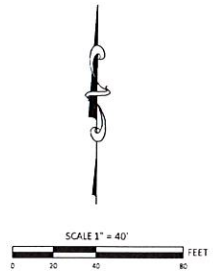


- PAVING PLAN NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIAL SHALL CONFORM TO THE PROJECT SPECIFICATIONS. IN AREAS WHERE PROJECT SPECIFICATIONS DO NOT COVER, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) LATEST EDITION SHALL APPLY.
 - ALL NEW CONCRETE INTERFACING WITH EXISTING CONCRETE SHALL BE CONSTRUCTED WITH A DOWELED EXPANSION JOINT AS DETAILED.
 - ALL SIDEWALKS, ACCESSIBLE PATHS AND PARKING SHALL CONFORM TO THE A.D.A. SPECIFICATIONS AS STATED IN THE TEXAS ACCESSIBILITY STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY COMPLIANCE.
 - CONTRACTOR SHALL PAINT AND STRIPE ALL PARKING AS SHOWN ON PLAN INCLUDING DRIVE LANES, FIRE LANES, TYPICAL SPACES AND A.D.A. SPACES. CONTRACTOR SHALL COORDINATE SLEEVENING FOR ELECTRICAL WITH MEP PLANS.
 - WHERE REINFORCING IS NOT SPECIFICALLY DETAILED, REINFORCING FOR PAVING SHALL BE AT A MINIMUM, NO. 4 REBARS AT 12" O.C.E.W.
 - UNLESS SPECIFICALLY NOTED ON PLANS, ALL CONCRETE PAVING, SIDEWALKS, SLABS, AND MISCELLANEOUS UTILITY INFRASTRUCTURES SHALL BE AT A MINIMUM, 4,000 PSI PORTLAND CEMENT CONCRETE AT 28 DAYS.
 - CONTRACTOR SHALL COORDINATE ALL SCORING AND EXPANSION JOINTS WITH THE ARCHITECT AND ENGINEER PRIOR TO ANY CONCRETE PLACEMENT FOR FLATWORK. CONTRACTOR SHALL PROVIDE A DETAILED JOINTING PLAN OF "ALL" SITE PAVING INCLUDING SPACING AND TYPE OF JOINT TO THE ENGINEER FOR REVIEW AND ACCEPTANCE A MINIMUM OF FOUR (4) WEEKS PRIOR TO ANY CONCRETE PLACEMENT.
- FIRE LANE STRIPING:**
FIRE APPARATUS ACCESS ROADS, OR FIRE LANES, SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 25 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
- CONCRETE MATERIALS NOTES:**
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C 150, TYPE 1, DOMESTIC MANUFACTURE ONLY. CONTRACTOR SHALL USE ONLY ONE BRAND OF CEMENT THROUGHOUT THE PROJECT.
 - CONTRACTOR SHALL USE AN AIR-ENTRAINING ADMIXTURE PER MANUFACTURER'S RECOMMENDATIONS, RESULTING IN CONCRETE AT THE POINT OF PLACEMENT HAVING AN AIR CONTENT OF 5% (±1%). AIR-ENTRAPMENT IS NOT ACCEPTABLE.
 - ALL CONCRETE SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.50.
 - CONCRETE SLUMP AT THE POINT OF PLACEMENT SHALL NOT BE LESS THAN 3" AND NOT MORE THAN 5" AS DESCRIBED BY ASTM C 143.
 - FLY ASH AND CALCIUM CHLORIDE OR ADMIXTURE CONTAINING MORE THAN 0.1% CHLORIDE IONS ARE NOT PERMITTED.
 - NO SAND SHALL BE USED UNDER ANY PAVEMENT - NO EXCEPTION.
 - EXPANSION JOINTS SHALL BE CONSTRUCTED ON MAXIMUM OF 80' CENTERS AND LOCATED AT ALL STRUCTURES, INTERSECTION POINTS, POINTS OF CURVATURE, POINTS OF TANGENCY, AND AT ALL REDUCTIONS OF PAVEMENT WIDTHS.
- REFER TO GENERAL NOTES SHEET FOR EXISTING UTILITY
CAUTIONARY NOTES AND CONTRACTOR ADVISORY
- REFER TO DEMOLITION PLAN SHEET
FOR SITE DISTURBANCE NOTES.

PAVING LEGEND

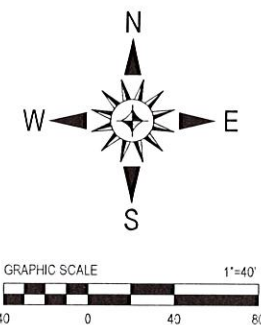
	4" THICK HMA/C SECTION INCLUDES: 4" SURFACE COURSE (TXDOT ITEM 340, TYPE D SURFACE COURSE)
	6" THICK, 3600 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS AT 18" O.C.E.W. W/ 6" LIME STABILIZED SUBGRADE (FIRE LANE)


SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS



*******CAUTION*******

EXISTING UTILITIES AND UNDERGROUND FACILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



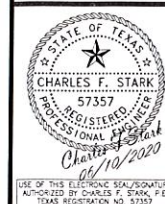
LEGEND	
SYMBOL	DESCRIPTION
--- 100 ---	EXISTING CONTOUR
	PROPOSED CONTOUR
• 100.00	PROP. SPOT ELEVATION
• M.G.	MATCH EX. GRADE

[illegible]

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10156
Texas Registered Survey Firm F-10156
www.barronstark.com



Barron-Stark
Engineers



MASS GRADING PLAN
415 RV CENTER
LOT 41R1, BLOCK A, CROWN BLUFF ADDITION
CITY OF WILLOW PARK
PARKER COUNTY TEXAS

CLIENT No.	406
PROJECT No.	9623
DESIGN:	BLO
DRAWN:	BLO
CHECKED:	CFS
DATE:	MAY 2020
SHEET	
C5.0	

USER BRAD CHILDERS
PLOTTED ON 6/10/2020 11:46 AM
FILE NAME N:\BARRON STARK SWIFT ENCL466 - 415 RV CENTER\6623 - RV SITE CROWN BLUFF ADD\60 DWG\466-9623 C4.0 MASS GRADING PLAN.DWG

KELLY
ROSS

P.O. BOX 2230
WEATHERFORD, TX 76086
(817) 599 - 4278
(817) 341 - 4242 METRO
(817) 599 - 4279 FAX



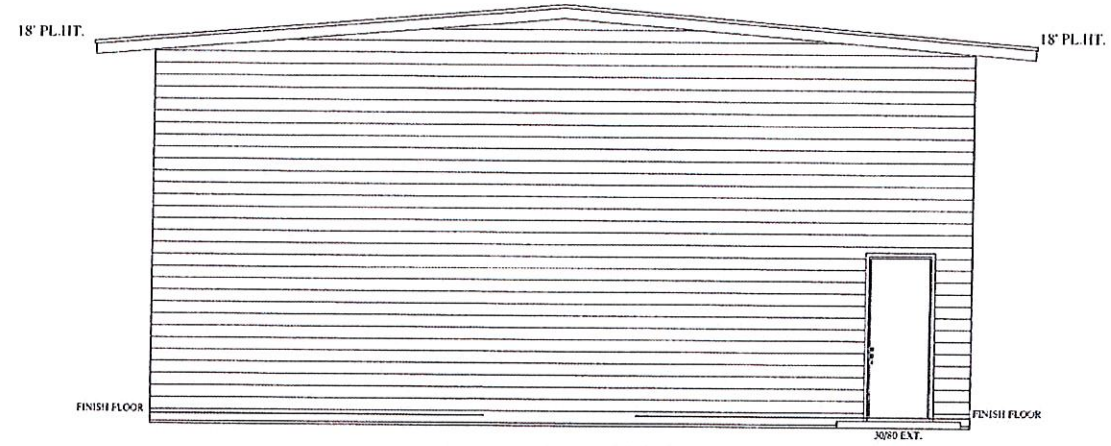
ELEVATIONS
1-20 E.
WILLOW PARK, TEXAS

Job No : 200141
Drawn : DWP
Checked: PJB
Date : 02-04-2020
Revised:

Sheet Number

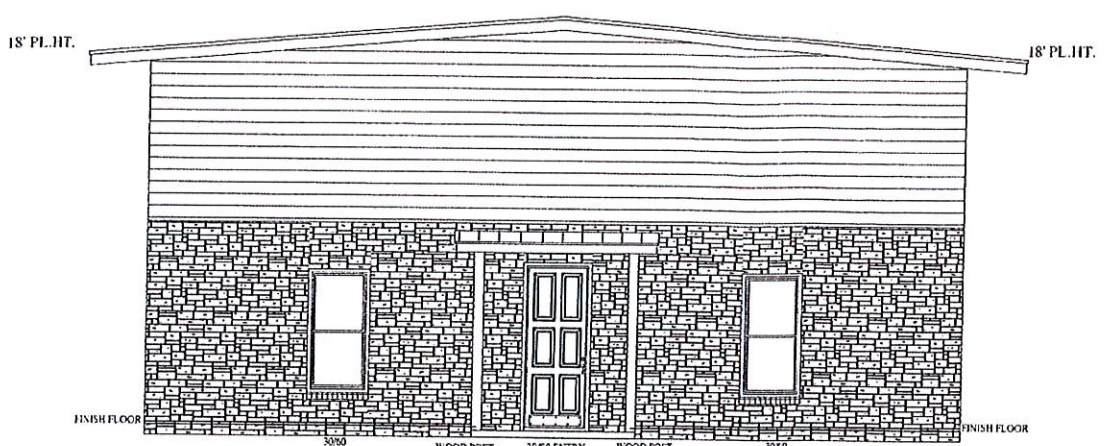
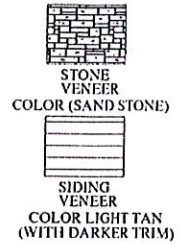
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of 3 Sheets



BACK ELEVATION

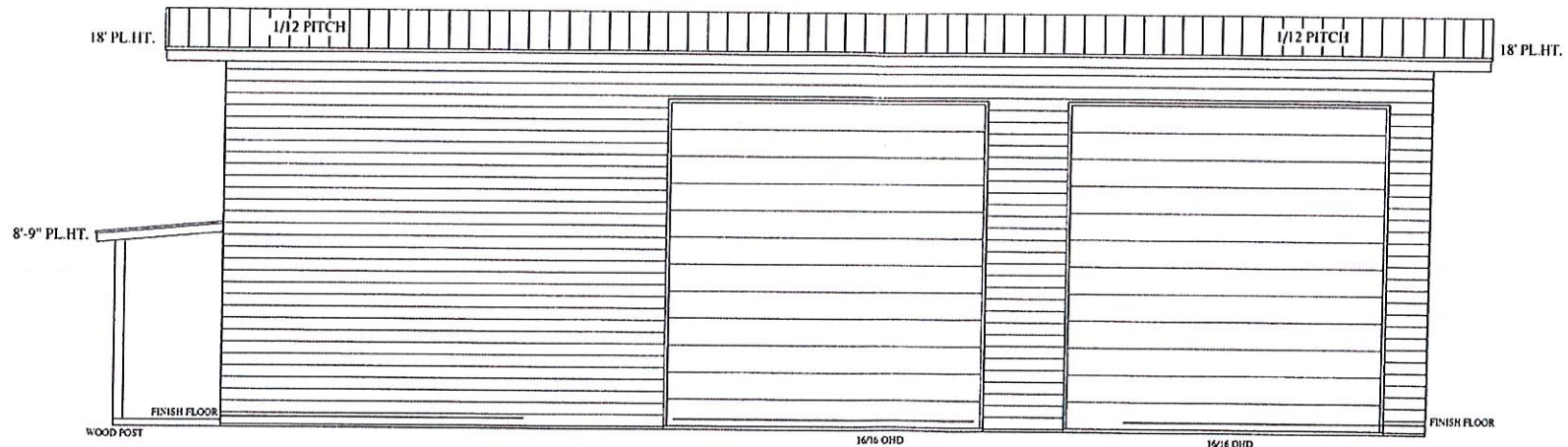
SCALE 1/4" = 1'-0"



FRONT ELEVATION

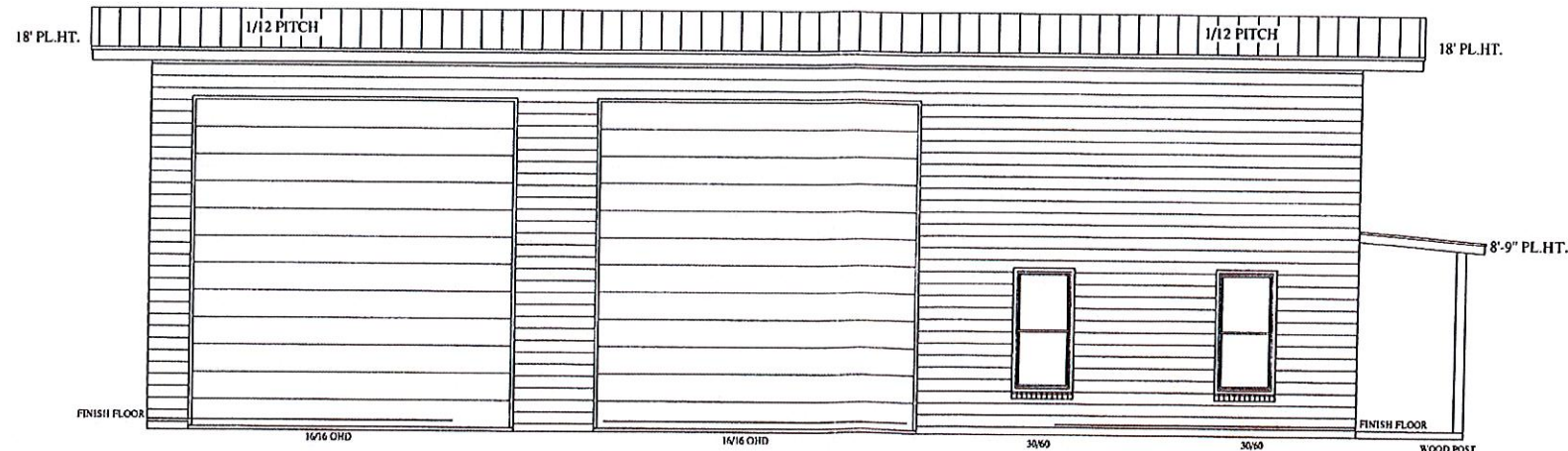
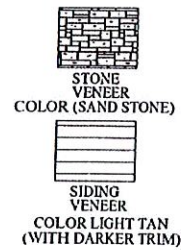
SCALE 1/4" = 1'-0"

STREET ELEVATION TOTAL SQFT 659.65 SQFT
MASONRY SQFT (SQFT) 345.5 SQFT



LEFT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

ELEVATIONS
SCALE: 1/4"=1'-0"



BARNETT - HERRON
ENGINEERING INC.
TEXAS REGISTERED
ENGINEERING FIRM
F-2004

P.O. BOX 2230
WEATHERFORD, TX 76088
(817) 599 - 4278
(817) 341 - 4242 METRO
(817) 599 - 4279 FAX



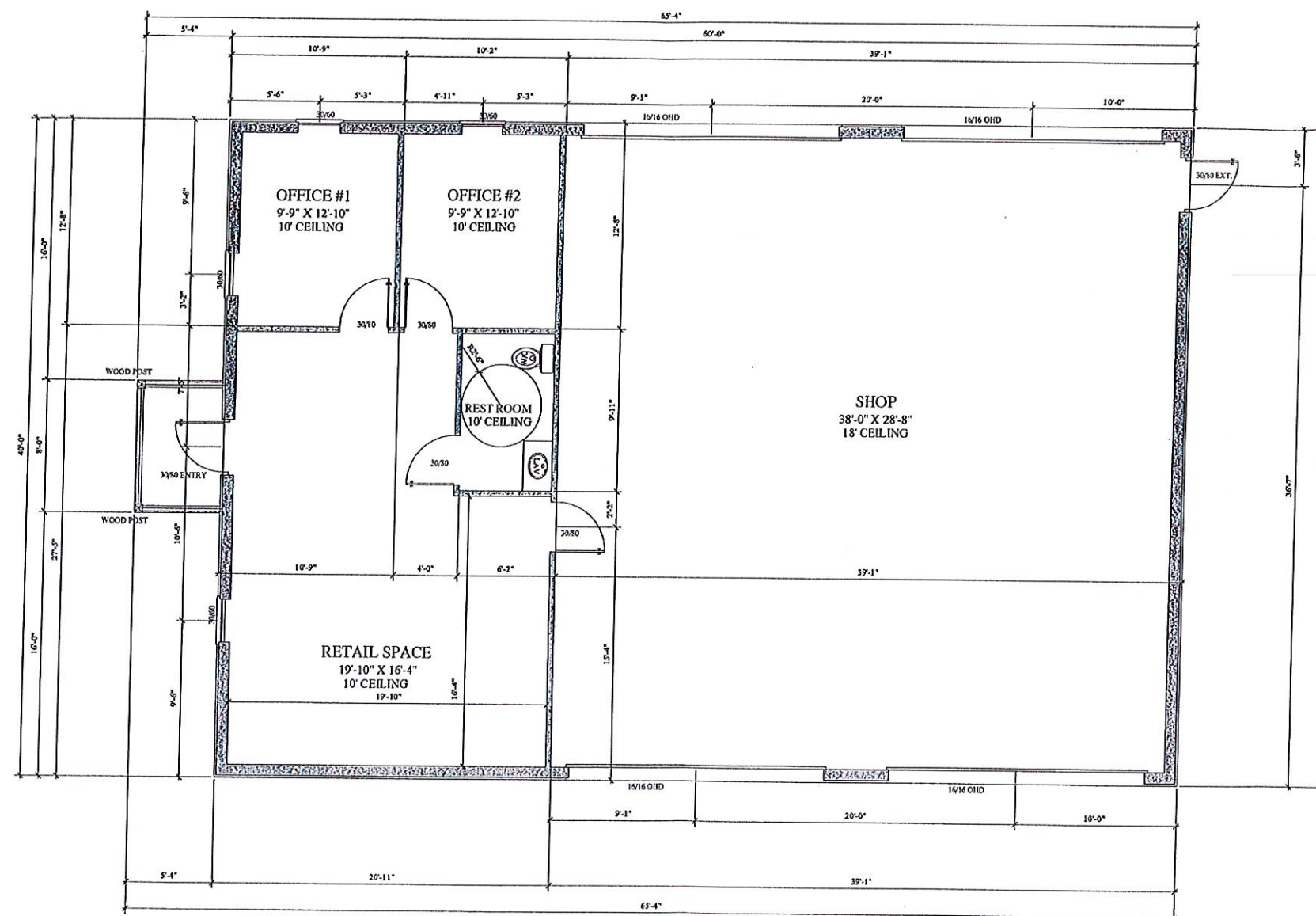
ELEVATIONS
4026 1-20 E.
WILLOW PARK, TEXAS

Job No : 200141
 Drawn : DWP
 Checked: PJB
 Date : 02-04-2020
 Revised:

Sheet Number

2

of 3 Sheets



AREAS	
OFFICE	837 SQ. FT.
SHOP	1,563 SQ. FT.
PORCH	42 SQ. FT.
TOTAL LIVING	2,442 SQ. FT.

FLOOR PLAN

— SCALE ————— $\frac{1}{4}'' = 1'-0''$ —————

FLOOR PLAN
SCALE: 1/4"=1'-0"



BARNETT - HERRON
ENGINEERING INC.
TEXAS REGISTERED
ENGINEERING FIRM
F-2004

PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
LO	LIVE OAK	6	4" CAL.	12-14'	6-8'	NURSERY GROWN	
CO	QUERCUS VIRGINIANA	3	4" CAL.	12-14'	6-8'	NURSERY GROWN	
CE	QUERCUS MUHLENBERGIA	10	4" CAL.	12-14'	6-8'	NURSERY GROWN	
BO	ULMUS CRASSIFOLIA	5	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CH	BURR OAK	11	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
VT	QUERCUS MACROCARPA	16	30 GAL.	8-10'	4-5'	M.T., CONT. GROWN	
	LAGERSTROEMIA INDICA 'WATERMELON RED'					(MIN. 2 1/2" CAL.)	
	VITEX					M.T., CONT. GROWN	
	VITEX AGNUS-CASTUS					(MIN. 2 1/2" CAL.)	

LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY, LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
4. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.

CITY REQUIREMENTS

SEC. 14.06.016 IH-20 OVERLAY DISTRICT

- (g)(1) MINIMUM 5% SITE TO BE LANDSCAPE
SITE AREA 110,278 SF
REQUIRED LANDSCAPE 5,514 SF (5.00%)
PROVIDED LANDSCAPE 59,078 SF (53.57%)
- (g)(2)(A) STREET FRONTAGE SHADE TREES
1" SHADE TREES PER 10 LF FRONTAGE
INTERSTATE 20 FRONTAGE
405' = 40.5 = 41" SHADE TREES REQUIRED
10 43" SHADE TREES PROVIDED
5 - 3" CAL. TREES - FRONTAGE
7 - 4" CAL. TREES - COMMON DRIVE
- CLEAR FORK CIRCLE
591' / 10 = 59.1 = 60" SHADE TREES REQUIRED
60" SHADE TREES PROVIDED
(12 - 4" CAL. + 3 EXISTING)
- (g)(2)(B) STREET FRONTAGE ORNAMENTAL TREES
1" SHADE TREES PER 15 LF FRONTAGE
INTERSTATE 20 FRONTAGE
405' = 27" ORNAMENTAL TREES REQUIRED
15 27.5" ORNAMENTAL TREES PROVIDED
(11 - 2 1/2" CALIPER)
- CLEAR FORK CIRCLE
591' / 15 = 39.4 = 40" ORNAMENTAL TREES REQUIRED
40" ORNAMENTAL TREES PROVIDED
(16 - 2 1/2" CALIPER)

LANDSCAPE LEGEND

- COMMON BERMUDA SOD (CYNODON DACTYLON)
- SOD INSTALLATION NOTES:
- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 - c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
 - d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
 - e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
 - f. ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.

appr. by:
drawn by:
date: 02-05-20

revisions
05-01-20



Leeming
Design Group
Landscape Architecture



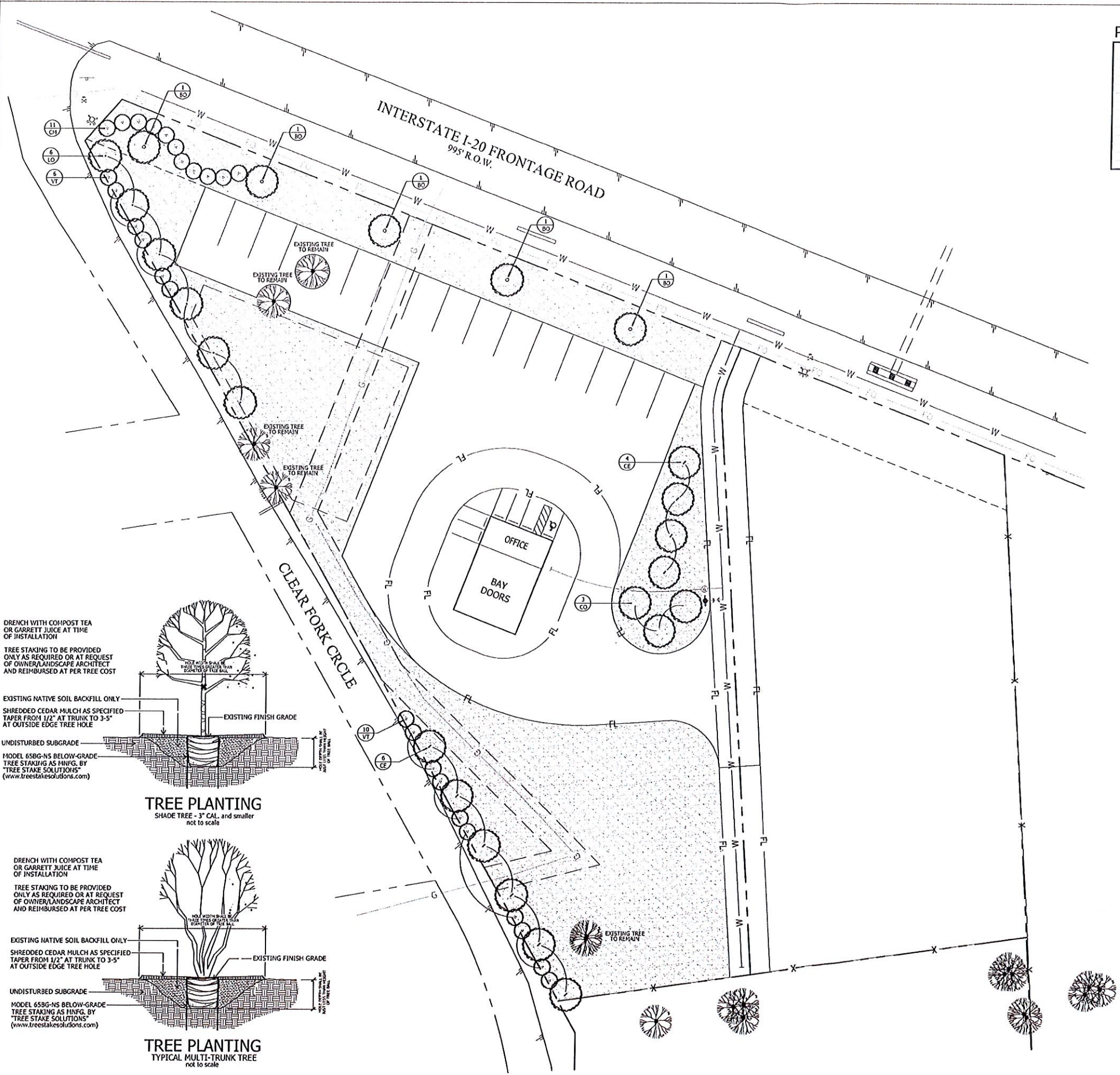
4913 Buck Shaw Drive, Suite 110-12 North Houston, Texas 77040
(817) 577-0089 Fax (817) 577-5096
www.leemingdesigngroup.com

LANDSCAPE PLAN

RV CENTER
INTERSTATE 20 FRONTAGE ROAD
WILLOW PARK, TEXAS

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sheet
1-1



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY
SHREDDED CEDAR MULCH AS SPECIFIED
TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE
MODEL 65BG-NS BELOW-GRADE
TREE STAKING AS MFG. BY
"TREE STAKE SOLUTIONS"
(www.treestakesolutions.com)

TREE PLANTING
SHADE TREE - 3" CAL. and smaller
not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY
SHREDDED CEDAR MULCH AS SPECIFIED
TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE
MODEL 65BG-NS BELOW-GRADE
TREE STAKING AS MFG. BY
"TREE STAKE SOLUTIONS"
(www.treestakesolutions.com)

TREE PLANTING
TYPICAL MULTI-TRUNK TREE
not to scale



scale: 1" = 30'-0"

