



City of Willow Park
Planning & Zoning Commission
Regular Meeting
516 Ranch House Rd, Willow Park, TX 76087
Tuesday November 27, 2018 6:00 pm
Agenda

Call to Order

Determination of Quorum

Approval of minutes for August 28th, 2018, September 25, 2018 and October 23, 2018

Items to be considered and acted upon

1. Consider and Act on a request for a Special Use Permit for a hotel (60' main building height) in the Commercial/IH-20 Overlay District on Lot 12R, Block B, Crown Pointe Addition located 338 Shops Blvd.
 - a. Open Public Hearing
 - b. Close Public Hearing
 - c. Make Recommendation
2. Consider and Act on a Site Plan for a hotel in the Commercial/IH-20 Overlay District on Lot 12R, Block B, Crown Pointe Addition located at 338 Shops Blvd.
3. Consider and Act on a request for a Special Use Permit to construct and operate a Construction Equipment sales, rental and service business in the Commercial/IH-20 Overlay District on Lot 2, Block A, Crown Bluff Addition located at 4500 IH-20 Service Road South.
 - a. Open Public Hearing
 - b. Close Public Hearing
 - c. Make Recommendation
4. Consider and Act on a Site Plan for a Construction Equipment Retail Sales, Rental and Service Business on Lot 2, Block A, Crown Bluff Addition, located at 4500 I-H 20 Service Road South.
5. Consider and Act on a Final Plat of a Replat of Lot 2, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas, located between the I-H-20 Service Road and Bankhead Hwy.



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6. Consider and Act on a Final Plat of a Replat on Lot 1R, Block 1, The Village at Willow Park Addition, City of Willow Park, Parker County, Texas, located in the 100 Block of Willow Bend Drive.
7. Consider and Act on a final Plat of Willow Park Baptist Addition being 35.816 acres, Wesley Franklin Survey, Abstract No. 468, City of Willow Park, Parker County, Texas.
8. Consider and Act on a request to rezone from R-3 Multifamily District to PD Planned Development District, 8.01 acres J. Ozer Survey, Abstract No. 1029, City of Willow Park, Parker County, Texas, located at 8892 East Bankhead Hwy.

I certify that the above notice of this meeting was posted on the bulletin board at the municipal complex of the City of Willow Park, Texas on Monday November 19th, 2018 at 5:00 pm.

Director of Development Services _____

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact Mr. Bernie Parker, at (817) 441-7108 (ext 104) or by fax (817) 441-6900 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date:
November 27, 2018

Department:
Development Services

Presented By:
Betty Chew

AGENDA ITEM: 1

Consider and act on a request for a Special Use Permit for a hotel (60' main building height) in the Commercial/IH-20 Overlay District on Lot 12R, Block B, Crown Pointed Addition located at 338 Shops Blvd.

BACKGROUND:

The Applicant Willow Par Hotel Investments, LLC is requesting a Special Use Permit to construct a hotel, Springhill Suites by Marriott, on the Shops Blvd at Checkout Lane (private drive). The maximum height for structure in the IH-20 Overlay District is 50 Feet. The IH-20 Overlay District for granting a special use permit for additional height. The overall height of the 4 story hotel is 60' 2". The hotel will meet all building codes and fire codes. The site location of the hotel will not present any site restrictions for adjacent properties.

Property owners were notified by mail and Notice of Public Hearing has been posted and published.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends consideration of a Special Use Permit for construction of Springhill Suites by Marriott hotel with an overall height of 60' 2" as requested.

EXHIBITS:

SUP Application
Site Plan
Building Elevation

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



SPECIAL USE PERMIT APPLICATION

City of Willow Park
516 Ranch House Rd
Willow Park, TX 76087
817-441-7108

APPLICANT INFORMATION

Name of applicant/agent:

CHUCK STARK / BARRON STARK ENG.

Street address of applicant/agent:

6221 SOUTHWEST BLVD.

City/State/Zip Code of applicant/agent:

FT. WORTH, TX 76132

Email:

chucksc@barronstark.com

Telephone # of applicant/agent:

817-296-9550

NOTE: Email is the primary form of contact with applicants.

FAX number of applicant/agent:

Are you the owner of the property?

☐

Yes

☒

No

Are you the owner's agent?

☒

Yes

☐

No

NOTE: If you are not the owner of the property, you must attach a letter from the property owner giving you permission to submit this application.

DESCRIPTION OF REQUEST

Current Zoning Classification:

C/IH-20

Street address of property:

TBD/LOT 12R, BLOCK B

Proposed Use of property:

HOTEL

Describe the nature of the proposed activity and any particular characteristics related to the use of the property:

WAIVER OF HEIGHT REQ. TO ALLOW FOR FOUR STORY STRUCTURE (60'-2")

PROPERTY OWNER INFORMATION

Name of property owner:

WILLOW PARK HOTEL INVESTMENTS, LLC

Street address of property owner:

PO BOX 121128

Reason for Special Use Permit:

BUILDING HEIGHT

City / State / Zip Code of property owner

ARLINGTON, TX 76012

Telephone number of applicant/agent

FAX number of applicant/agent **817-705-5178**

Survey or Map attached as required by application

☒

Yes

☐

No

Note: A map or plot plan of the property and drawings of the proposed

construction must be submitted with this application. The applicants or their representatives must be present at their scheduled public hearing.

I hereby certify that I am, or that I represent the legal owner of the property described above and do hereby submit this request for a Special Use Permit to the Planning and Zoning Commission for consideration.

Date _____

Print Name **CHUCK STARK**

Signature

FOR OFFICE USE ONLY

Date of Planning & Zoning Public Hearing

Taxes, Liens and Assessments Paid?

☐

Yes

☐

No

Case Number

Special Use Permit Approved:

☐

Yes

☐

No

Date of City Council Meeting:

**Willow Park Hotel Investments, LLC
PO Box 121128
Arlington, TX 76012**

Honorable Mayor & City Council
City of Willow Park, Texas
516 Ranch House Road
Willow Park, TX 76087

Re: Special Use Permit Request
Springhill Suite Hotel
Crown Pointe Addition

Mayor & Council:

This letter shall serve as the authorization of Willow Park Hotel investments, LLC, the owner of Lot 12R, Block B, Crown Pointe Addition, for Barron-Stark Engineers, LP to submit and process a Special Use Permit request on our behalf for the proposed Springhill Suites hotel to be constructed within the Crown Pointe Addition. Barron-Stark Engineers, LP is our designated agent for this request.

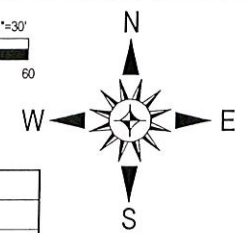
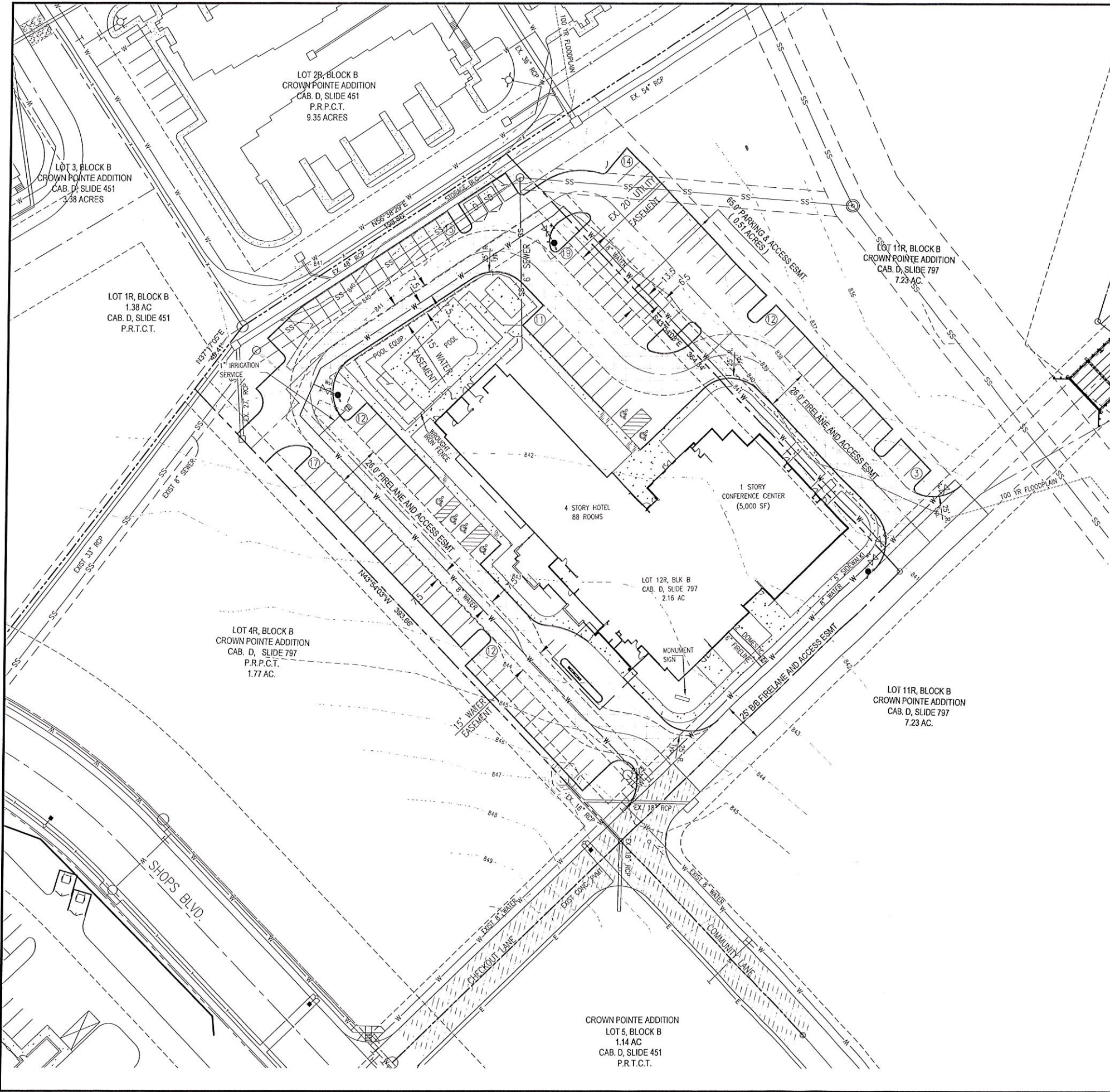
Please feel free to contact me at 817-705-5178 if there are any additional questions.

Sincerely,

Willow Park Hotel Investments, LLC

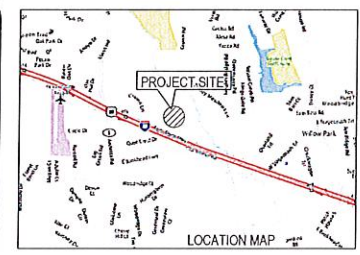


Jeeten Masters
General Partner



SITE PLAN DATA TABLE	
TOTAL ACREAGE	2.67 Acres
BUILDING FOOTPRINTS	22,650 SF - 0.52 Acres
CONCRETE PARKING	52,390 SF - 1.20 Acres
CONCRETE / SIDEWALKS	9,100 SF - 0.21 Acres
PERCENT IMPERVIOUS	72.2
OPEN SPACE	27.8
F.A.R.	.24
PARKING REQUIRED	113 PARKING SPACES
TOTAL PARKING PROVIDED	115 PARKING SPACES
ADA PARKING PROVIDED	6
EXISTING ZONING	PD
PROPOSED USE	HOTEL
PROPOSED STRUCTURES	1 - 4 STORY HOTEL 1 - STORAGE

- SYMBOLS LEGEND**
- SANITARY SEWER MANHOLE
 - Ⓢ TELEPHONE PEDESTAL
 - Ⓢ ONCOR VAULT
 - Ⓢ WATER METER
 - Ⓢ AT&T VAULT
 - Ⓢ ONCOR VAULT
 - Ⓢ MAIL BOX
 - Ⓢ ELECTRIC TRANSFORMER SITE
 - Ⓢ WATER VALVE
 - Ⓢ FIRE HYDRANT
 - Ⓢ AIR CONDITIONER
 - Ⓢ GRATE INLET
 - Ⓢ PROTECTION BOLLARD
 - Ⓢ MAIL BOX
 - Ⓢ FLAG POLE
 - Ⓢ LIGHT POLE
 - Ⓢ LIGHT POLE
 - Ⓢ EXISTING WATER VALVE
 - Ⓢ FIRE DEPARTMENT CONNECTION
 - Ⓢ EXISTING POWER POLE
 - Ⓢ EXISTING SANITARY SEWER MANHOLE
 - Ⓢ FIRE LANE



APPROVED BY CITY OF WILLOW PARK

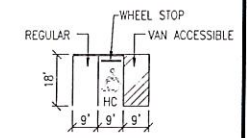
APPROVED BY: _____ CITY COUNCIL
CITY OF WILLOW PARK

SIGNED: _____ MAYOR _____ DATE _____

SIGNED: _____ CITY ADMINISTRATOR _____ DATE _____

GENERAL NOTES:

- ALL HANDICAP PARKING SPACES SHALL MEET TAS/ADA REGULATIONS.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6' HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER. 9'x18' TYPICAL.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.



TYPICAL PARKING LAYOUT

REVISIONS

NO.	DESCRIPTION	DATE

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(817) 231-8100 (F) 817-231-8144
Texas Registered Survey Firm F-1019490
www.barronstark.com

Barron-Stark-Swift
Consulting Engineers
Together

USE OF THE ELECTRONIC SEAL/SIGNATURE
AUTHORIZED BY CHARLES F. STARK, P.E.
TEXAS REGISTRATION NO. 57357

SITE PLAN

SPRINGHILL SUITES by MARRIOTT

LOT 12R, BLOCK B - CROWN POINTE ADDITION

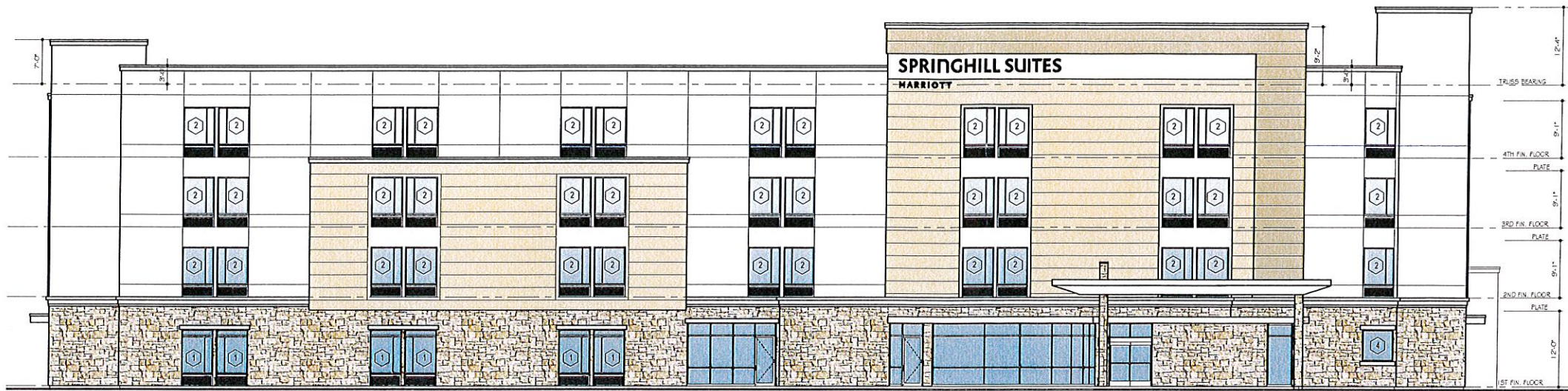
CITY OF WILLOW PARK

PARKER COUNTY, TEXAS

CLIENT No.	378
PROJECT No.	9511
DESIGN:	PWD
DRAWN:	PWD
CHECKED:	CFS
DATE:	OCTOBER 2018

SHEET

1 of 1



1 PRELIMINARY FRONT SIDE (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"



2 PRELIMINARY REAR SIDE (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES
- A. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM
 - B. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS
 - C. IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANKUTS, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE LENGTH OF THE DOWNSPOUT. ALL DOWNSPOUTS MUST HAVE C. EANKUTS.
 - D. DESIGN GUTTERS, DOWNSPOUTS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
 - E. EIFS COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH
 - F. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL
- ARCHITECTURAL
- A13 EIFS FACADE BUILD-OUT
 - A15 PREFINISHED ALUMINUM WINDOW AS SCHEDULED
 - A16 PREFINISHED ALUMINUM STOREFRONT AS SCHEDULED
 - A17 PAINTED H.W. DOOR AND FRAME
 - A18 METAL PANEL TRIM AREA - COLOR AND TEXTURE TO MATCH ADJACENT WINDOW
 - A19 BACKLITTED, THERMO-PLASTIC SPRINGHILL SIGN - RECESSED IN EIFS FACE AND WRAPS END OF BUILDING FACE. MARRIOTT SIGN TO BE SURFACE MTD CHANNEL LETTERS. SEE SIGNAGE PACKAGE. SIGN LETTERS ARE TO BE THE BRAND COLOR BY DAY, WHITE AT NIGHT (DUAL COLOR FILM). WHERE THE BUILDING COLOR IS MEDIUM TO DARK TONED, WHITE FACE LETTERS BY DAY & NIGHT SHOULD BE USED
 - A20 PROVIDE METAL COPING CAP AT PARAPETS
 - A29 OPTIONAL HOTEL SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER OUTLETS FOR EASY ACCESS
 - A30 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION
 - A167 PROVIDE CLEARANCE SIGNAGE AT PORTE COCHERE. SEE SIGNAGE MANUAL
- ENGINEERING
- E41 PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS

- COLOR SELECTION IS ONLY FOR THE PRESENTATION PURPOSE. FINAL SELECTION OF THE PRODUCT AND COLORS SHALL BE MADE DURING CONSTRUCTION.
- EXTERIOR FINISH KEY
- STONE E-1
 - EIFS 1 E-2
 - EIFS 2 E-3
 - EIFS 3 E-4

PRELIMINARY - FOR REVIEW ONLY

REVISIONS	BY

SPRINGHILL SUITES by MARRIOTT

INTERSTATE HIGHWAY 20
WILLOW PARK, TEXAS

PRELIMINARY

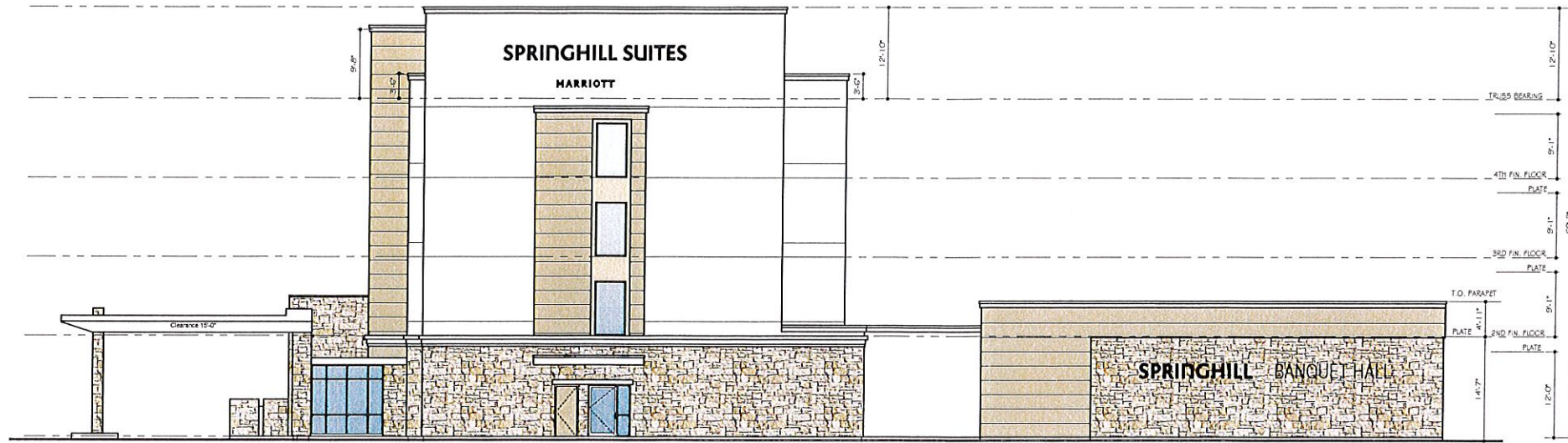
REGISTERED ARCHITECT
STATE OF TEXAS
10-15-18

1029 LONG PRAIRIE ROAD
SUITE C
FLOWER MOUND, TX 75022
817-538-9258
RSSARCHITECTS.COM

10-29-2018

Job 17020

Sheet A-306



2 PRELIMINARY
RIGHT SIDE (EAST) ELEVATION
SCALE: 1/8" = 1'-0"



1 PRELIMINARY
LEFT SIDE (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
- IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE LENGTH OF THE DOWNSPOUT. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
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- EIF & COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH.
- PANT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.

ARCHITECTURAL

- EIFS FACADE BUILD-OUT
- PREFINISHED ALUMINUM WINDOW AS SCHEDULED
- PREFINISHED ALUMINUM STOREFRONT AS SCHEDULED
- PAINTED H.M. DOOR AND FRAME
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- PROVIDE CLEARANCE SIGNAGE AT PORTE COCHERE. SEE SIGNAGE MANUAL.

ENGINEERING

- PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS

COLOR SELECTION IS ONLY FOR THE PRESENTATION PURPOSE. FINAL SELECTION OF THE PRODUCT AND COLORS SHALL BE MADE DURING CONSTRUCTION.

EXTERIOR FINISH KEY

- | | | |
|--|--------|-------|
| | STONE | (E-1) |
| | EIFS 1 | (E-2) |
| | EIFS 2 | (E-3) |
| | EIFS 3 | (E-4) |

PRELIMINARY - FOR REVIEW ONLY

REVISIONS BY
SPRINGHILL SUITES by MARRIOTT
INTERSTATE HIGHWAY 20
WILLOW PARK, TEXAS



1029 LONG PRAIRIE ROAD
SUITE E
FLOWER MOUND, TX 75022
817.258.9228
RSSARCHITECTS.COM



Date 10-28-2018
Job 17020
Sheet
A-307



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date:
November 27, 2018

Department:
Development Services

Presented By:
Betty Chew

AGENDA ITEM: 2

Consider and act on a Site Plan for a hotel in the Commercial/IH-20 Overlay District on Lot 12R, Block B, Crown Pointe Addition located at 338 Shops Blvd.

BACKGROUND:

The property is zoned Commercial/IH-20 Overlay District. This property is located in Planning Area 3, as identified in the City's Comprehensive Plan. Planning area 3 is situated along Interstate 20 making the area attractive to commercial and retail uses. Existing commercial development "The Shops" as well as "Texas Health Hospital" provide the foundation for the development of the area. The hotel will serve as an additional amenity to the area.

The 22,650 square foot hotel will have 88 rooms and a 5,000 square foot conference center. The hotel will be accessed from Shops Blvd and Checkout Lane, a private drive. A 0.51 acre parking area and access easement are located on Lot 1R adjacent to the north of the site. Fire lanes and access drives on the property are 26 feet wide to facilitate access for fire apparatus.

All infrastructure water, sanitary sewer, fire hydrants and streets are available for the development.

The building location, parking, landscaping, and fire lanes have been reviewed and meet the Zoning and Subdivision Ordinance requirements.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan for Lot 12R, Block B, Crown Pointe Addition, as presented, with the following required for final approval:

The off-site parking and access agreement required.

Stormwater drainage study and drainage improvement plans required.

Finished floor elevations required for structures in 100 year flood plain.

EXHIBITS:

Site Plan
Landscape Plan
Elevation Drawings

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park Development Services
Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field - Incomplete applications be rejected

Project Information		Project Name: SPRINGHILL SUITES	
() Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ (round up to nearest whole dollar)		Project Address (or description): TDD	
Brief Description of the Project: 88 ROOM HOTEL			
Existing zoning: C-TH-20		# of Existing Lots (plats only):	
Proposed zoning: C-TH-20		# of Proposed Lots (plats only):	
Applicant/Contact Information (this will be the primary contact)			
Name: WILLOW PARK HOTEL INVESTMENTS, LLC		Mailing Address:	
Company: P.O. Box 121128 ARLINGTON, TX 76012			
Primary Phone: 817-705-5178		E-mail: henamasters@hotmail.com	
Property Owner Information (if different than above)			
Name: SAME AS APPLICANT		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
() Developer / <input checked="" type="checkbox"/> Engineer / () Surveyor Information (if applicable)			
Name: CHUCK STARK		Mailing Address:	
Company: BARRON - STARK ENGINEERS 6221 SOUTHWEST BLVD. FT. WORTH, TX 76132			
Primary Phone: 817-296-9550		E-mail: chucks@barronstark.com	
Other Phone:		Fax:	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: _____

Date: 10/8/18



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	✓	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; Indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	✓	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	✓	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	✓	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	✓	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	N/A	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		N/A	
7	✓	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		✓	
8	✓	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	✓	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	N/A	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		N/A	
11	N/A	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.		N/A	
12	N/A	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		N/A	
13	✓	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	✓	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	✓	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	N/A	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.			✓
17	✓	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



City of Willow Park Development Services Department

18	✓	<p>Driveways within 200 feet of the property line:</p> <p>_____ a. Are accurately located and dimensioned.</p> <p>_____ b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.</p> <p>_____ c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.</p> <p>_____ d. Typical radii are shown.</p>	✓	
19	N/A	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.	N/A	
20	✓	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.	✓	
21	✓	<p>Off-site streets and roads:</p> <p>_____ a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.</p> <p>_____ b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.</p> <p>_____ c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.</p> <p>_____ d.. Distance to the nearest signalized intersection is indicated</p>	✓	
22	✓	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.	✓	
23	✓	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.	✓	
24	✓	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.	✓	
25	✓	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.	✓	
26	✓	Paving materials, boundaries and type are indicated.	✓	
27	✓	Access easements are accurately located/ tied down, labeled and dimensioned.	✓	
28	✓	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. <u>A parking easement or shared parking agreement is required and is provided in draft format.</u>	✓	✓
29	✓	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.	✓	
30	N/A	Proposed dedications and reservations of land for public use including, but not limited to, rights-of way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.	N/A	
31	✓	Screening walls are shown with dimensions and materials. An inset is provided that shows the wall	N/A	



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.			
32	✓ N/A	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan Indicating plant species/name, height at planting, and spacing.		✓	
33		A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street. <i>WITH MEP</i>			✓
34	✓	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		✓	
35	N/A	Boundaries of detention areas are located. Indicate above and/or below ground detention.			
36	✓	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	N/A	Communication towers are shown and a fall distance/collapse zone is indicated.		N/A	
38	✓	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		✓	
39	✓	Explain in detail the proposed use(s) for each structure <i>HOTEL</i>		✓	
40	✓	Total lot area less building footprint (by square feet): Square footage of building: Building height (stories and feet) Number of Units per Acre (apartments only):		✓	
41	✓	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:		✓	
42		Provide service verification from all utility providers			✓
43	N/A	List any variance requested for this property, dates, and approving authority			
44	✓	Provide storm water and drainage study and design			✓
45		Proposed domestic water usage (gallons per day, month, and year)			
46	NO	Are any Irrigation wells proposed?			N/A
47	✓	Applicant has received Landscaping Ordinance and requirements			
48		Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review			
49		Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review			



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 2.14 AC sq. ft.

Area of lot covered with structures and impervious surfaces: 74.5 % sq. ft.

Total number of structures: 1 Total number of habitable structures: 1

Square footage of each building: _____ sq. ft. _____ sq. ft. _____ sq. ft.

Proposed use for each structure:

HOTEL & CONF. ROOM

Building stories: 4

Building height: 60'2" ft.

Total number of parking spaces: 115

Number of handicap spaces: 6

Does the site include any storm water retention or detention? Yes ☒ No ☐

Does the project include any engineered alternatives from code requirements? Yes ☒ No ☐

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns? Yes ☐ No ☐

STORM WATER DRAINAGE STUDY

FINISHED FLOOR ELEVATIONS FOR BLDGS. in

100 yr. Flood ZONE

Approved

Not Approved

Needs More Information or Corrections

Engineering Approval Signature: DEREK TURNER Date: 11/13/2018



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25' ft. Rear building setback: 25' ft.

Side building setback: 10' ft. Side building setback: 10' ft.

Does the site include any utility/electric/gas/water/sewer easements? ☒ Yes ☐ No

Does the site include any drainage easements? ☒ Yes ☐ No

Does the site include any roadway/through fare easements? Yes ☒ No

Staff Review: (for official use only)

Does the site plan include all the required designations? ☒ Yes ☐ No

Are the setbacks for the building sufficient? ☒ Yes ☐ No

Are there any easement conflicts? Yes ☒ No

Does the proposed project pose any planning concerns? Yes ☐ No

PARKING AND ACCESS AGREEMENT
FINISHED FLOOR ELEVATIONS.

Approved

Not Approved

☒ Needs More Information or Corrections

Building Official Approval Signature:

BETTY CHEW

Date:

11/14/2018



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm? ☒ Yes ☐ No

Will the building have a fire sprinkler/suppression system? ☒ Yes ☐ No

Is the building taller than two-stories? ☒ Yes ☐ No

If yes, how many stories? 4

Will the project require installation of a new fire hydrant? ☒ Yes ☐ No

If yes, how many fire hydrants? 3

What is the size of the proposed fire connections? 6"

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections? ☒ Yes ☐ No

Is the proposed project an adequate distance to a fire hydrant? ☒ Yes ☐ No

Does the project have the minimum 24' hard surface? 26' RECD. ☒ Yes ☐ No

Is the fire lane appropriate? ☒ Yes ☐ No

Does the site have the proper turning radius? ☒ Yes ☐ No

Does the proposed project pose any safety concerns? Yes ☒ No

Does the proposed project require any additional fire services? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature:

MIKE LENOIR

Date:

11/13/2018



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? ☒ Yes ☐ No

If yes, what is the base flood elevation for the area? 839.25

Is any built improvement in the 100-year flood plain? ☒ Yes ☐ No

If yes, what is the base flood elevation for the area? 839.25

Is any habitable structure in the 100-year flood plain? ☐ Yes ☒ No

If yes, what is the base flood elevation for the area? _____

If yes, what is the finished floor elevation for the habitable structure? _____

If yes, please list any wet or dry flood proofing measures being used?

Staff Review: (for official use only)

Base flood elevations confirmed? ☒ Yes ☐ No

Will the project require a "post-grade" elevation certificate? ☒ Yes ☐ No

Flood proofing measures approved? ☐ Yes ☒ No

Does the proposed project pose any safety concerns? ☐ Yes ☐ No

FINISHED FLOOR ELEVATIONS NEEDED
VERIFY

Approved

Not Approved

☒ Needs More Information or Corrections

Flood Plain Manager Approval Signature:

DEREK TURNER

Date:

11/13/2018



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 2.16 ACRES sq. ft.

Area of lot covered with structures and impervious surfaces: 74.5 % sq. ft.

Percentage of lot covered with structures and impervious surfaces: _____ %

Area of green space/landscaped areas: 25.5 % sq. ft.

Percentage of green space/landscaped areas: _____ %

Total number of parking spaces: 115

Does the site include any vegetative erosion or storm water control? Yes ☐ No ☒

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns? Yes ☐ No ☒

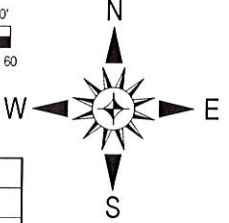
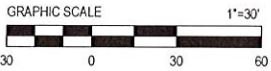
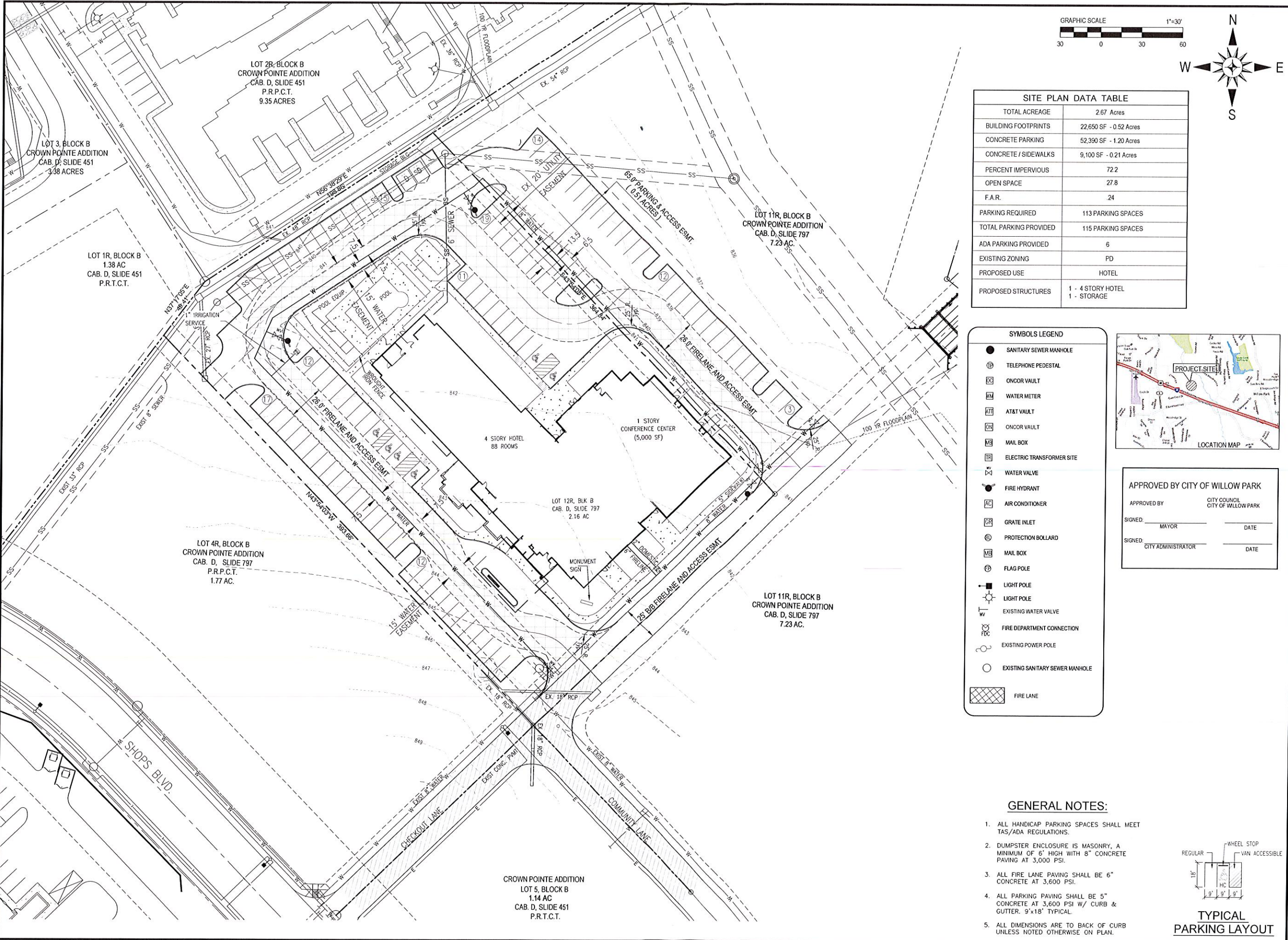
☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Landscaping Approval Signature:

BETTY CHEW Date: 11/14/2018



SITE PLAN DATA TABLE	
TOTAL ACREAGE	2.67 Acres
BUILDING FOOTPRINTS	22,650 SF - 0.52 Acres
CONCRETE PARKING	52,390 SF - 1.20 Acres
CONCRETE / SIDEWALKS	9,100 SF - 0.21 Acres
PERCENT IMPERVIOUS	72.2
OPEN SPACE	27.8
F.A.R.	.24
PARKING REQUIRED	113 PARKING SPACES
TOTAL PARKING PROVIDED	115 PARKING SPACES
ADA PARKING PROVIDED	6
EXISTING ZONING	PD
PROPOSED USE	HOTEL
PROPOSED STRUCTURES	1 - 4 STORY HOTEL 1 - STORAGE

- SYMBOLS LEGEND**
- SANITARY SEWER MANHOLE
 - Ⓢ TELEPHONE PEDESTAL
 - ⓧ ONCOR VAULT
 - Ⓜ WATER METER
 - ⓐ AT&T VAULT
 - Ⓞ ONCOR VAULT
 - Ⓜ MAIL BOX
 - Ⓢ ELECTRIC TRANSFORMER SITE
 - Ⓢ WATER VALVE
 - Ⓢ FIRE HYDRANT
 - Ⓢ AIR CONDITIONER
 - Ⓢ GRATE INLET
 - Ⓢ PROTECTION BOLLARD
 - Ⓜ MAIL BOX
 - Ⓢ FLAG POLE
 - Ⓢ LIGHT POLE
 - Ⓢ LIGHT POLE
 - Ⓢ EXISTING WATER VALVE
 - Ⓢ FIRE DEPARTMENT CONNECTION
 - Ⓢ EXISTING POWER POLE
 - EXISTING SANITARY SEWER MANHOLE
 - ▨ FIRE LANE



APPROVED BY CITY OF WILLOW PARK

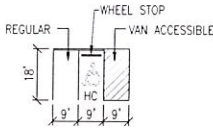
APPROVED BY _____ CITY COUNCIL
CITY OF WILLOW PARK

SIGNED _____ MAYOR _____ DATE _____

SIGNED _____ CITY ADMINISTRATOR _____ DATE _____

GENERAL NOTES:

- ALL HANDICAP PARKING SPACES SHALL MEET TAS/ADA REGULATIONS.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6' HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER. 9'x18" TYPICAL.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.



TYPICAL PARKING LAYOUT

REVISIONS

NO.	DESCRIPTION	DATE

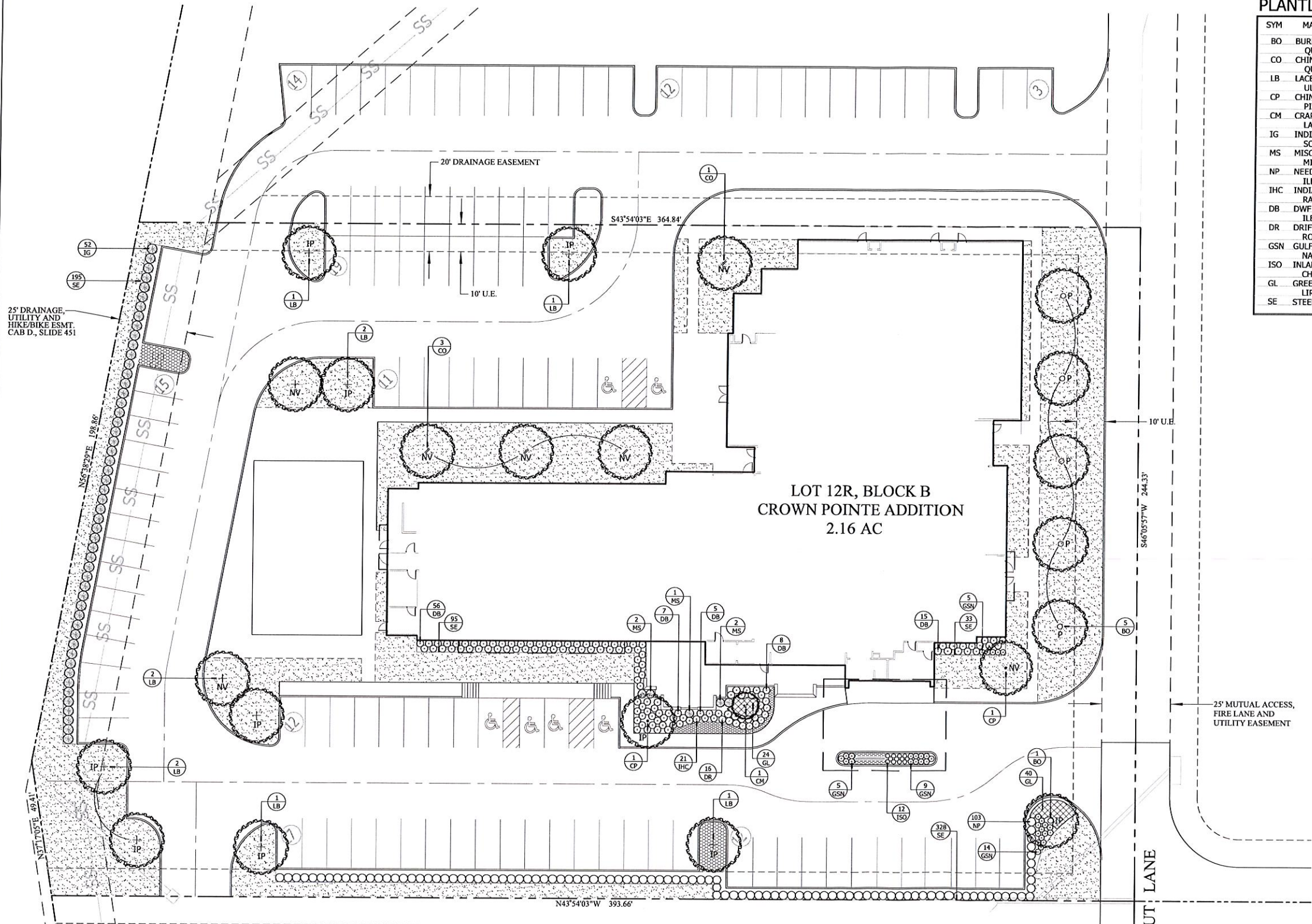
8221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(F) 817.231.8100 (T) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10154060
www.barronstark.com

Barron-Stark-Swift
Consulting Engineers
Together.

USE OF THIS ELECTRONIC SEAL/SIGNATURE
AUTHORIZED BY CHARLES F. STARK, P.E.
TEXAS REGISTRATION NO. 97357

SITE PLAN
SPRINGHILL SUITES by MARRIOTT
LOT 12R, BLOCK B - CROWN POINTE ADDITION
CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

CLIENT No. 376
PROJECT No. 9511
DESIGN: PWD
DRAWN: PWD
CHECKED: CFS
DATE: OCTOBER 2018
SHEET
1 of 1



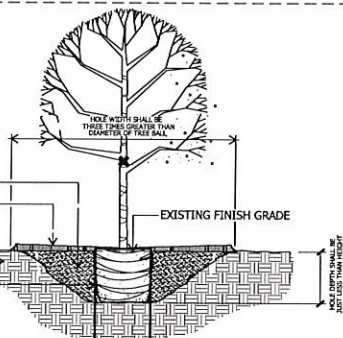
25' DRAINAGE, UTILITY AND HIKE/BIKE ESMT. CAB D., SLIDE 451

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY
SHREDDED CEDAR MULCH AS SPECIFIED
TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE
MODEL 658C-NS BELOW-GRADE
TREE STAKING AS MFG. BY
"TREE STAKE SOLUTIONS"
(www.treestakesolutions.com)



TREE PLANTING
SHADE TREE - 3" CAL. and smaller
not to scale

CITY REQUIREMENTS

H.1. INTERIOR LANDSCAPING
GROSS PARKING 37,902 SF
INTERIOR LANDSCAPE AREA
REQUIRED 3,790 SF (10%)
PROVIDED 3,989 SF (10.52%)

1 TREE PER 400 SF REQUIRED INTERIOR LANDSCAPE
3790 = 9.48 = 10 TREES REQUIRED
400 = 10 TREES PROPOSED

ALL PARKING TO BE SCREENED FOR R.O.W.'S & ADJACENT PROPERTY
PROVIDED AS REQUIRED

H.2. PERIMETER LANDSCAPING

1 TREE PER 50 LF
CHECKOUT LANE
244 = 4.88 = 5 TREES REQUIRED
50 = 5 TREES PROPOSED

I. NONVEHICULAR OPEN SPACE
MINIMUM 15% SITE TO BE LANDSCAPE
TOTAL SITE AREA 94,292 SF
REQUIRED 92,292 x 15% = 14,144 SF
PROVIDED 20,831 SF (22.09%)

1 TREE REQUIRED PER 2500 SF NONVEHICULAR OPEN SPACE
NONVEHICULAR (areas not in interior or buffers) 16,842 SF
16,842 SF = 6.74 = 7 TREES REQUIRED
2500 SF = 7 TREES PROPOSED

PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	6	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CO	QUERCUS MACROCARPA	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CH	CHINKAPIN OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LB	LACEBARK ELM	10	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CP	ULMUS PARVIFOLIA SEMPERVIRENS	2	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CM	CHINESE PISTACHE	6	3" CAL.	10-12'	4-5'	CONTAINER GROWN	
IG	CRABE MYRTLE	6	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
MS	LAGERSTROEMIA INDICA 'BASHAM PINK'	52	5 GAL.	30"	18"	FULL	42"oc
NP	SORGHASTRUM NUTANS	5	5 GAL.	24"	18"	FULL	36"oc
IHC	MISCANTHUS	103	5 GAL.	26"	18"	FULL	36"oc
DB	MISCANTHUS SINENSIS 'MORNING LIGHT'	21	5 GAL.	15"	15"	FULL	30"oc
DR	NEEDLEPOINT HOLLY	91	5 GAL.	15"	15"	FULL	30"oc
GSN	ILEX CORNUTA 'NEEDLEPOINT'	16	3 GAL.	12"	12"	FULL	30"oc
ISO	INDIAN HAWTHORN	33	3 GAL.	12"	12"	FULL	24"oc
GL	GULFSTREAM NANDINA	12	1 GAL.	10"	10"	FULL	18"oc
SE	NANDINA DOMESTICA 'GULF STREAM'	64	1 GAL.	10"	10"	FULL	18"oc
	INLAND SEA OATS	651	LIN. FT.	REF.	DETAIL		
	CHASMANTHIUM LATIFOLIUM						
	GREEN LIRIOPE						
	LIRIOPE MUSCARI						
	STEEL EDGING						

LANDSCAPE LEGEND

COMMON
BERMUDA SOD
(CYNODON DACTYLON)

COBBLE STONE
(SEE NOTE BELOW)

SOD INSTALLATION NOTES:

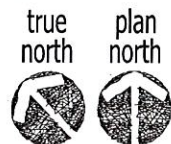
- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

COBBLESTONE INSTALLATION NOTES:

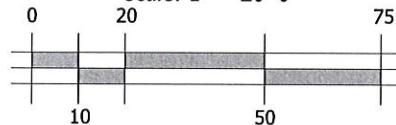
- LANDSCAPE CONTRACTOR SHALL INSPECT COBBLESTONE AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- INSTALL FILTER FABRIC OVER ENTIRE AREA TO RECEIVE COBBLE.
- PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO LARGE COBBLE IN DESIGNATED AREAS.

LANDSCAPE NOTES

- PLANT LIST FOR SHEETS L-1, L-2 AND L-3.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
- APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
VITAL EARTH COMPOST
BACK-TO-EARTH SOIL CONDITIONER
LIVING EARTH COMPOST
SOIL BUILDING SYSTEMS COMPOST
SILVER CREEK MATERIALS COMPOST
- TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON SHEET L-1.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.



scale: 1" = 20'-0"



appr. by:
drawn by:
date: 10-11-18

revisions



Leeming
Design Group
Landscape Architecture
4913 Rude Snow Drive, Suite 101-B, North Richland Hills, Texas 76180
(817) 577-0889 Fax: (817) 577-0896
leemingdesigngroup@leemingdesign.com

LANDSCAPE PLAN

SPRINGHILL SUITES
LOT 12R, BLOCK B, CROWN POINTE ADDITION
WILLOW PARK, TEXAS

file name:
c:\WillowPark\Springhill\
Landscape\SpringhillWP.dwg
sheet
L-1



1 PRELIMINARY
FRONT SIDE (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"



2 PRELIMINARY
REAR SIDE (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
 - REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
 - IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE LENGTH OF THE DOWNSPOUT. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
 - DESIGN GUTTERS, DOWNSPOUTS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL OVERFLOWS TO DRAIN IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
 - E/F S COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH.
 - PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
- ARCHITECTURAL**
- E/F S FACADE BUILD OUT.
 - PREFINISHED ALUMINUM WINDOW AS SCHEDULED.
 - PREFINISHED ALUMINUM STOREFRONT AS SCHEDULED.
 - PAINTED H.W. DOOR AND FRAME.
 - METAL PANEL, TRIM AREA - COLOR AND TEXTURE TO MATCH ADJACENT WINDOW.
 - BACKLIT, THERMOPLASTIC SPRINGHILL SIGN - RECESSED IN E/F S FACE AND WRAPS END OF BUILDING FACE. MARRIOTT SIGN TO BE SURFACE MOUNTED. LETTERS - SEE SIGNAGE PACKAGE. SIGN LETTERS ARE TO BE THE BRAND COLOR BY DAY, WHITE AT NIGHT. DUAL COLOR FILM, WHERE THE BUILDING COLOR IS MEDIUM TO DARK TONED, WHITE FACE LETTERS BY DAY & NIGHT SHOULD BE USED.
 - PROVIDE METAL COPING CAP AT PARAPETS.
 - OPTIONAL HOTEL SIGNAGE PACKAGE. PROVIDE REQUIRED SACKING. LOCATE POWER CUTOFF FOR EASY ACCESS.
 - OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED. INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION.
 - PROVIDE CLEARANCE SIGNAGE AT PORTE COCHERE. SEE SIGNAGE MANUAL.
- ENGINEERING**
- PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS.

COLOR SELECTION IS ONLY FOR THE PRESENTATION PURPOSE. FINAL SELECTION OF THE PRODUCT AND COLORS SHALL BE MADE DURING CONSTRUCTION.

EXTERIOR FINISH KEY

	STONE (E-1)
	EIFS 1 (E-2)
	EIFS 2 (E-3)
	EIFS 3 (E-4)

PRELIMINARY - FOR REVIEW ONLY

REVISIONS	BY
SPRINGHILL SUITES by MARRIOTT	
INTERSTATE HIGHWAY 20 WILLOW PARK, TEXAS	
PRELIMINARY	
1029 LONG PRAIRIE ROAD SUITE E FLOWER MOUND, TX 75022 817.538.9258 R.S.Architects.COM	
Date: 10-23-2018	
Job: 17020	
Sheet:	
A-306	



2 PRELIMINARY
RIGHT SIDE (EAST) ELEVATION
SCALE: 1/8" = 1'-0"



1 PRELIMINARY
LEFT SIDE (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
- IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE LENGTH OF THE DOWNSPOUT. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
- DESIGN GUTTERS, DOWNSPOUTS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. OVERFLOWS TO DRAIN IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- E.I.F.S. COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH.
- PANT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.

ARCHITECTURAL

- E.F.S. FACADE BUILD-OUT.
- PRE-FINISHED ALUMINUM WINDOW AS SCHEDULED.
- PRE-FINISHED ALUMINUM STOREFRONT AS SCHEDULED.
- PAINTED I.M. DOOR AND FRAME.
- METAL PANEL, TRIM AREA - COLOR AND TEXTURE TO MATCH ADJACENT WINDOW.
- BACKLITTED THERMO-PLASTIC SPRINGHILL SIGN - RECESSED IN E.F.S. FACE AND WRAPS END OF BUILDING FACE. MARSHALL SIGN TO BE SURFACE MTD CHANNEL LETTERS. SEE SIGNAGE PACKAGE. SIGN LETTERS ARE TO BE THE BRAND COLOR BY DAY, WHITE AT NIGHT (DUAL-COLOR FILM) WHERE THE BUILDING COLOR IS MEDIUM TO DARK TONED, WHITE FACE LETTERS BY DAY & NIGHT SHOULD BE USED.
- PROVIDE METAL CORNING CAP AT PARAPETS.
- OPTIONAL HOTEL SIGNAGE PACKAGE, PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS.
- OPTIONAL MARSHALL SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION.
- PROVIDE CLEARANCE SIGNAGE AT PORTE COCHERE. SEE SIGNAGE MANUAL.

ENGINEERING

- PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS.

COLOR SELECTION IS ONLY FOR THE PRESENTATION PURPOSE. FINAL SELECTION OF THE PRODUCT AND COLORS SHALL BE MADE DURING CONSTRUCTION.

EXTERIOR FINISH KEY

- | | |
|----------|-----|
| STONE | E-1 |
| E.F.S. 1 | E-2 |
| E.F.S. 2 | E-3 |
| E.F.S. 3 | E-4 |

PRELIMINARY - FOR REVIEW ONLY

REV: 01/01/18 BY: []
SPRINGHILL SUITES by MARRIOTT
INTERSTATE HIGHWAY 20
WILLOW PARK, TEXAS



1029 LONG PRAIRIE ROAD
SUITE E
FLOWER MOUND, TX 75022
817.538.9258
RSS-ARCHITECTS.COM



Date: 10-28-2018

Job: 17050

Sheet:

A-307



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 3

Consider and Act on a request for a Special Use Permit to construct and operate a Construction Equipment Sales, Rental and Service business in the Commercial/IH-20 Overlay District on Lot 2, Block A, Crown Bluff Addition located at 4500 IH-20 Service Road South.

BACKGROUND:

The applicant Holt Cat Texas First Rentals is requesting a Special Use Permit to develop this 4.50 acre property with a construction equipment rental, sales, and service facility. The proposed 10,172 square foot building will have 3,182 square foot office and sales area, 4,769 square foot service and shop and a 2,221 square foot wash bay. The office building will have masonry facade with a metal roof. The site will be improved with concrete pavement, landscaping, screening, and fencing. These improvements will be installed along the IH-20 Service Road as well as the secondary entrance on Bankhead Hwy.

Property owners were notified by mail and Notice of Public Hearing has been published and posted.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff would recommend consideration of a Special Use Permit for the construction of Hold Cat Texas First Rentals as requested.

EXHIBITS:

SUP Application
Site Plan

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



SPECIAL USE PERMIT APPLICATION

City of Willow Park
516 Ranch House Rd
Willow Park, TX 76087
817-441-7108

APPLICANT INFORMATION

Name of applicant/agent:
BEFCO ENGINEERING, INC. (C/O JOSEPH WILLRICH, P.E.)

Street address of applicant/agent:
485 N. JEFFERSON, P.O. BOX 615

City/State/Zip Code of applicant/agent:
LA GRANGE, TEXAS 78945

Email: joseph@befcoengineering.com

Telephone # of applicant/agent: Office: 979-968-6474
Cell: 512-983-0605
FAX number of applicant/agent: Fax: NA

NOTE: Email is the primary form of contact with applicants.

Are you the owner of the property?

☐ Yes ☒ No

Are you the owner's agent?

☒ Yes ☐ No

NOTE: If you are not the owner of the property, you must attach a letter from the property owner giving you See attached owner permission to submit this application. authorizations.

DESCRIPTION OF REQUEST

Current Zoning Classification:
C, IH-20 Overlay

Street address of property:
To Be Determined

Proposed Use of property:
Construction Equipment Sales, Rental, Service,
Storage and Display

Describe the nature of the proposed activity and any particular characteristics related to the use of the property:
Construction equipment rental store including sales, rental and service of construction equipment. Construction equipment will also be stored and displayed on-site. See attached project summary letter.

PROPERTY OWNER INFORMATION

Name of property owner:
Subject property currently has two owners, see attached property owner information list.

Street address of property owner:
See attached

Reason for Special Use Permit:
Develop and operate a construction equipment rental store

City / State / Zip Code of property owner
See attached

Telephone number of applicant/agent Same as above
FAX number of applicant/agent

Survey or Map attached as required by application

☒ Yes ☐ No

See attached proposed plat and
SUP site plan.

Note: A map or plot plan of the property and drawings of the proposed construction must be submitted with this application. The applicants or their representatives must be present at their scheduled public hearing.

I hereby certify that I am, or that I represent the legal owner of the property described above and do hereby submit this request for a Special Use Permit to the Planning and Zoning Commission for consideration.

Date 11/2/18

Print Name Joseph Willrich, P.E. with BEFCO Engineering, Inc.

Signature

FOR OFFICE USE ONLY

Date of Planning & Zoning Public Hearing

Taxes, Liens and Assessments Paid?

Case Number

☐ Yes ☐ No

Special Use Permit Approved:

Date of City Council Meeting:

☐ Yes ☐ No



SUP APPLICATION
City of Willow Park Development Services
Universal Application

Please **PRINT CLEARLY** to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Texas First Rentals - Willow Park	
<input type="radio"/> Residential		<input checked="" type="radio"/> Commercial	
Valuation: \$ 750,000 (Site Work Valuation) (round up to nearest whole dollar)		Project Address (or description): To Be Determined By City	
Brief Description of the Project: Construction Equipment Rental Store, including sales, rental, service, storage and display of construction equipment			
Existing zoning: C, IH-20 Overlay		# of Existing Lots (plats only): 2	
Proposed zoning: Concurrent SUP Application		# of Proposed Lots (plats only): 2	
Applicant/Contact Information (this will be the primary contact)			
Name: Joseph Willrich		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474; 512-983-0605		E-mail: joseph@befcoengineering.com	
Property Owner Information (if different than above)			
Name: Subject property currently has two owners, see attached property owner information list and authorization for BEFCO to act as agent.		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
() Developer / (X) Engineer / () Surveyor Information (if applicable)			
Name: Joseph Willrich, P.E.		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474		E-mail: joseph@befcoengineering.com	
Other Phone: 512-983-0605		Fax: NA	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



BEFCO ENGINEERING, INC.

Consulting Engineering/Land Surveying

P.O. BOX 615 485 NORTH JEFFERSON

LA GRANGE, TEXAS 78945-0615

979 / 968-6474 FAX 979 / 968-3056

www.befcoengineering.com E-mail: office@befcoengineering.com

Texas Registered Engineering Firm F-2011 Texas Licensed Surveying Firm #10001700

November 2, 2018

**Mr. Bernie Parker
Assistant City Manager of
Planning and Development
City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087**

**RE: Specific Use Permit (SUP) Request
Texas First Rentals - Willow Park**

Mr. Parker:

Holt Cat Texas First Rentals is under contract to purchase the 8.19-acre Lot 2, Block A Crown Bluff Addition and the 0.50-acre Susan Ware property recorded in Vol.2292, Pg. 1147. The two properties are currently owned by Martin Land Sales, Inc. and Susan Ware. Texas First Rentals intends to replat the approximate 8.69 acres into two platted lots – Lot 2R and Lot 3, Block A Crown Bluff Addition. The Texas First Rentals project will be developed on Lot 2R and is approximately 4.50 acres. The property is currently zoned commercial with the IH-20 overlay district. The proposed use requires a Specific Use Permit (SUP) due to its location in the IH-20 overlay district. A replat application and site plan application is being concurrently submitted with this Specific Use Permit request.

Texas First Rentals is a subsidiary of Holt Cat and is a construction equipment rental, sales, and service facility. Texas First Rentals intends to construct a new 10,172 square foot dealership building for sales, office, service and wash rack facilities. Other improvements include a shared access driveway onto the IH-20 frontage road, proposed driveway to Bankhead Drive, crushed limestone or crushed concrete base yard for equipment storage, equipment display along IH-20, fencing, gate and perimeter paving improvements.

Adjacent zoning to the subject SUP is as follows:

- North: IH-20
- South: Bankhead\City ETJ
- East: Commercial
- West: Commercial

The site plan application that is concurrently being submitted includes building elevations, landscape and lighting plans. Based on the property's location along IH-20, existing zoning of the property and adjacent zoning districts, we feel the SUP request for Construction

Equipment Sales, Rental, Service, Storage and Display is a reasonable request. We look forward to working with you and your staff on this SUP request. Please call me at 512-983-0605 if you need any further information or have any questions.

Very truly yours,

BEECO ENGINEERING, INC.



Joseph Willrich, P.E.

Attachments: SUP Application
 Property Owner Information
 Agent Authorization
 Proposed Plat
 SUP Site Plan

Texas First Rentals – Willow Park

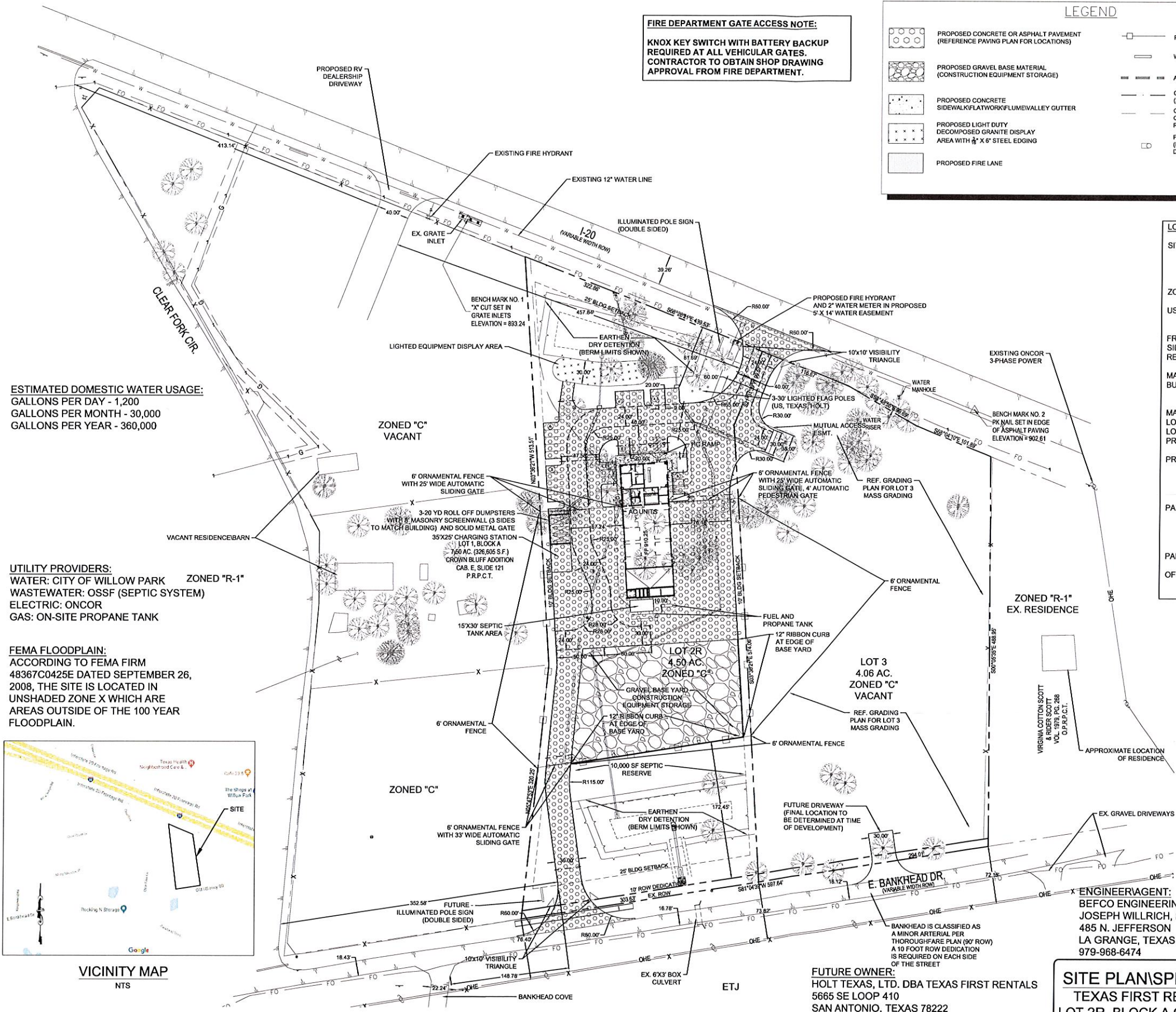
Current Property Owner Information:

Owner Information of 8.19 Acre Lot 2, Block A Crown Bluff Addition:

Martin Land Sales, Inc.
Contact – Jim Martin
P.O. Box 1840
Aledo, Texas 76008
817-538-6846

Owner Information of +/-0.50 Acres recorded in Vol. 2292, Pg 1147:

Susan Ware
110 Walters Lane
Weatherford, Texas 76087-7382



FIRE DEPARTMENT GATE ACCESS NOTE:
KNOX KEY SWITCH WITH BATTERY BACKUP
REQUIRED AT ALL VEHICULAR GATES.
CONTRACTOR TO OBTAIN SHOP DRAWING
APPROVAL FROM FIRE DEPARTMENT.

LEGEND

	PROPOSED CONCRETE OR ASPHALT PAVEMENT (REFERENCE PAVING PLAN FOR LOCATIONS)		PROPOSED 6' ORNAMENTAL FENCE/GATE
	PROPOSED GRAVEL BASE MATERIAL (CONSTRUCTION EQUIPMENT STORAGE)		WHEEL STOP
	PROPOSED CONCRETE SIDEWALK/FLATWORK/FLUME/VALLEY GUTTER		ADA ACCESSIBLE ROUTE
	PROPOSED LIGHT DUTY DECOMPOSED GRANITE DISPLAY AREA WITH 1/2" X 6" STEEL EDGING		CONDUIT SLEEVES WITH PULL STRING (FUTURE USE) (2-4" SCH. 40 PVC)
	PROPOSED FIRE LANE		CONDUIT SLEEVES (REF. MEP FOR FINAL SIZES, QUANTITY, AND LOCATION. LINE SHOWN MAY REPRESENT MULTIPLE CONDUITS)
			PROPOSED PARKING LOT LIGHT POLE (REF. MEP PLANS FOR FINAL LOCATION, CONDUIT & DETAILS)



LOT 2R SITE SUMMARY

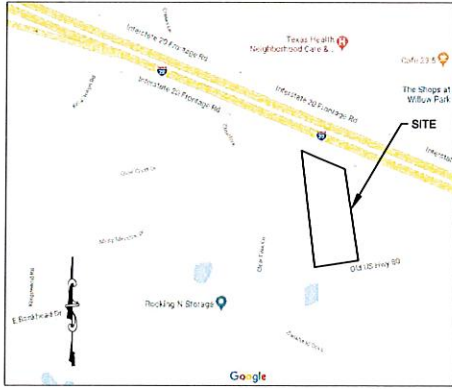
SITE AREA:	PROPOSED LOT 2R: 4.50 ACRES PROPOSED LOT 3: 4.06 ACRES LOT 3 IS ONLY BEING MASS GRADED AS PART OF THIS SITE PLAN.
ZONING:	C, IH-20 OVERLAY, SUP
USE:	CONSTRUCTION EQUIPMENT SALES, RENTAL, SERVICE, STORAGE, DISPLAY
FRONT SETBACK:	25 FEET
SIDE SETBACK:	10 FEET
REAR SETBACK:	25 FEET
MAX. BUILDING HEIGHT:	40 FEET
BUILDING HEIGHT PROPOSED:	23'-2" (HIGHEST PEAK AT SERVICE SHOP) 21'-0" (TOP OF PARAPET AT SALES/OFFICE)
MAX. LOT COVERAGE (STRUCTURE):	60%
LOT COVERAGE PROPOSED:	5.2%
LOT AREA LESS BUILDING SF:	185,848 SF OR 4.27 ACRES
PROPOSED IMPERVIOUS COVER:	2.80 ACRES (62.2%)
PROPOSED BUILDING:	3,182 SF (SALES/OFFICE) 4,769 SF (SERVICE SHOP) 2,221 SF (WASH RACK) 10,172 SF TOTAL
PARKING REQUIRED:	10 SF SALES OFFICE - 16 REQUIRED 10 SF SERVICE SHOP - 5 REQUIRED NO PARKING REQUIRED FOR WASH RACK TOTAL REQUIRED - 21 SPACES
PARKING PROVIDED:	30 SPACES
OF WHICH:	1 SPACES REGULAR HANDICAP (1 REQUIRED) 1 SPACES VAN HANDICAP (1 REQUIRED)

- NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 2. ALL REGULAR PARKING SPACES ARE 18'X20'.
 3. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT FOR GATE ACCESS REQUIREMENTS.
 4. FIRELANE MARKINGS TO BE PROVIDED AS REQUIRED BY CITY OF WILLOW PARK FIRE DEPARTMENT. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT ON STRIPING REQUIREMENTS.
 5. FIRE LANES ARE TO MAINTAIN MINIMUM VERTICAL CLEARANCE OF 14'.
 6. REFERENCE ARCHITECTURAL PLANS FOR GATE AND FENCE DETAILS.
 7. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER SCREENING, PAD AND GATE DETAILS.
 8. ALL PARKING STRIPE COLORS SHALL BE APPROVED BY OWNER.
 9. CITY CODE IS 2012 IBC AND 2012 NEC. PROJECT TO BE DESIGNED PER CITY CODE.
 10. REFERENCE GRADING AND DRAINAGE PLANS FOR PROPOSED CONTOURS, DETAILED SPOT ELEVATIONS, STORM SEWER AND DETENTION POND DESIGN/PLANS.
 11. REFERENCE SITE DEMOLITION PLAN FOR EXISTING IMPROVEMENTS TO BE REMOVED.
 12. REFERENCE PHOTOMETRIC PLAN FOR SITE LIGHTING ILLUMINATION, DETAILS AND FIXTURES.

ESTIMATED DOMESTIC WATER USAGE:
GALLONS PER DAY - 1,200
GALLONS PER MONTH - 30,000
GALLONS PER YEAR - 360,000

UTILITY PROVIDERS:
WATER: CITY OF WILLOW PARK
WASTEWATER: OSSF (SEPTIC SYSTEM)
ELECTRIC: ONCOR
GAS: ON-SITE PROPANE TANK

FEMA FLOODPLAIN:
ACCORDING TO FEMA FIRM
48367C0425E DATED SEPTEMBER 26,
2008, THE SITE IS LOCATED IN
UNSHADED ZONE X WHICH ARE
AREAS OUTSIDE OF THE 100 YEAR
FLOODPLAIN.



VICINITY MAP
NTS

FUTURE OWNER:
HOLT TEXAS, LTD. DBA TEXAS FIRST RENTALS
5665 SE LOOP 410
SAN ANTONIO, TEXAS 78222
PHONE: (210) 304-8548
CONTACT: NEAL CARMICHAEL

SITE PLAN/SPECIFIC USE PERMIT
TEXAS FIRST RENTALS-WILLOW PARK
LOT 2R, BLOCK A CROWN BLUFF ADDITION
MASS GRADING ON LOT 3, BLOCK A

OWNER:
SUSAN WARE
110 WALTERS LANE
WEATHERFORD, TEXAS 76087

ENGINEER/AGENT:
BEFCO ENGINEERING, INC.
JOSEPH WILLRICH, P.E.
485 N. JEFFERSON
LA GRANGE, TEXAS 78945
979-968-6474

MARTIN LAND SALES, INC.
JIM MARTIN
P.O. BOX 1840
ALEDO, TEXAS 76008
817-538-6846



HOLT CAT TEXAS FIRST RENTALS
TEXAS FIRST RENTALS WILLOW PARK
WILLOW PARK, TEXAS

REVISION:

1.	
2.	
3.	

DRAWN BY: JGW
CHECKED BY: JGW
BEFCO JOB NO: 18-7212
PLOT SCALE: 1" = 60'

SHEET TITLE
SITE PLAN

DATE ISSUED: 11/15/18
SHEET

C5



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 4

Consider and Act on a Site Plan for a Construction Equipment Retail Sales, Rental and Service Business on Lot 2, Block A, Crown Bluff Addition, located at 4500 I-H 20 Service Road South.

BACKGROUND:

The property is zoned Commercial/IH-20 Overlay District. This property is located in Planning Area 4, as identified in the City's Comprehensive Plan. Planning Area 4 is situated along and adjacent to Interstate 20. The area is a prime location for commercial uses. This property has frontage on IH-20 Service Road South as well as Bankhead Highway.

The owner proposes to re-subdivide the 8.56 acre lot into a 4.50 acre lot for development of Texas First Rentals (western lot) and a 4.06 acre lot for future development (eastern lot). Texas First Rentals proposes to construct a 10,172 square foot dealership for sales, office, service and wash rack facility. A shared access entrance on the IH-20 Service Road is proposed to service both lots. A secondary gated access will be on Bankhead Highway. The site plan shows asphalt paving in the retail area at the front of the site. The IH-20 Overlay District requires concrete pavement.

Water service will be provided by the City from an existing 12 inch water main located in the IH-20 Service Road. Both domestic water service and fire hydrants will be installed by the developer. Wastewater service will be provide by an on-site sewage facility installed by the developer. A Stormwater drainage study has been submitted. On-site detention will be provided in accordance with City Regulations.

The building, parking, landscaping, stormwater drainage and fire lanes have been reviewed.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan for Lot 2R, Block A, Crown Bluff Addition.

EXHIBITS:

Site Plan
Landscape Plan
Elevation Drawings

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



SITE PLAN APPLICATION
City of Willow Park Development Services
Universal Application

Please **PRINT CLEARLY** to avoid delays

Please complete each field - Incomplete applications be rejected

Project Information		Project Name: Texas First Rentals - Willow Park	
() Residential		(x) Commercial	
Valuation: \$ 750,000 (Site Work Valuation) (round up to nearest whole dollar)		Project Address (or description): To Be Determined By City	
Brief Description of the Project: Construction Equipment Rental Store, including sales, rental, service, storage and display of construction equipment (Lot 2R), mass grading of Lot 3			
Existing zoning: C, IH-20 Overlay		# of Existing Lots (<i>plats only</i>): 2	
Proposed zoning: Concurrent SUP Application		# of Proposed Lots (<i>plats only</i>): 2	
Applicant/Contact Information (<i>this will be the primary contact</i>)			
Name: Joseph Willrich		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474; 512-983-0605		E-mail: joseph@befcoengineering.com	
Property Owner Information (<i>if different than above</i>)			
Name: Subject property currently has two owners, see attached property owner information list and authorization for BEFCO to act as agent.		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
() Developer / (x) Engineer / () Surveyor Information (<i>if applicable</i>)			
Name: Joseph Willrich, P.E.		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474		E-mail: joseph@befcoengineering.com	
Other Phone: 512-983-0605		Fax: NA	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: _____

John Wiltch Date: 11 / 2 / 18



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	X	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	X	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	X	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	X	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	X	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	X	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		✓	
7	X	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		✓	
8	X	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	X	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	X	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		✓	
11	X	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.		✓	
12	X	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		✓	
13	X	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	X	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	X	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	X	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.		✓	
17	X	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



City of Willow Park Development Services Department

18	X	<p>Driveways within 200 feet of the property line:</p> <p><u> X </u> a. Are accurately located and dimensioned.</p> <p><u> X </u> b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.</p> <p><u> X </u> c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.</p> <p><u> X </u> d. Typical radii are shown.</p>		✓	
19	NA	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.		N/A	
20	X	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.		✓	
21	X	<p>Off-site streets and roads:</p> <p><u> NA </u> a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.</p> <p><u> NA </u> b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.</p> <p><u> NA </u> c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.</p> <p><u> NA </u> d.. Distance to the nearest signalized Intersection is indicated</p>		N/A	
22	X	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.		✓	
23	X	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.		✓	
24	X	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.		✓	
25	X	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.		✓	
26	X	Paving materials, boundaries and type are indicated.		✓	
27	X	Access easements are accurately located/ tied down, labeled and dimensioned.		✓	
28	NA	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.		N/A	
29	X	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.		✓	
30	X	Proposed dedications and reservations of land for public use including, but not limited to, <u>rights-of way</u> , easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.		✓	
31	NA	Screening walls are shown with dimensions and materials. An inset is provided that shows the wall		N/A	



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.			
32	NA	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan Indicating plant species/name, height at planting, and spacing.		N/A	
33	X	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.		✓	
34	X	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		✓	
35	X	Boundaries of detention areas are located. Indicate above and/or below ground detention.		✓	
36	X	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	NA	Communication towers are shown and a fall distance/collapse zone is indicated.		N/A	
38	X	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		✓	
39	X	Explain in detail the proposed use(s) for each structure Approximate 10,172 square foot building, front portion of building is a sales/office use, remainder of building is a service shop and construction equipment wash rack at the rear of the building.		✓	
40	X	Total lot area less building footprint (by square feet): 185,848 SF or 4.27 acres Square footage of building: 10,172 sf Building height (stories and feet) 1 story, 23'-2" highest peak at shop, 21'-0" top of parapet at sales Number of Units per Acre (apartments only): NA		✓	
41	X	Parking required by use with applicable parking ratios indicated for each use: 21 spaces required at (1/200 sf sales/office and 1/1000 sf service shop) Parking Provided Indicated: 30 spaces provided Handicap parking as required per COWP ordinance and TAS/ADA requirements: 2 required, 2 provided		✓	
42	X	Provide service verification from all utility providers		✓	
43	SUP	List any variance requested for this property, dates, and approving authority		✓	
44	X	Provide storm water and drainage study and design		✓	
45	X	Proposed domestic water usage (gallons per day, month, and year)		✓	
46	NA	Are any Irrigation wells proposed?		N/A	
47	X	Applicant has received Landscaping Ordinance and requirements		✓	
48	X	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	X	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	



City of Willow Park Development Services Department

Storm Water Pollution Program (Construction Sites One Acre and Greater Only) SWPPP Book\NOI's will be submitted prior to issuance of permit.

- a. A signed SWPPP: (If required) Please submit during the site plan review process or prior to the issuance of any building permit(s)
- b. Copy of site plan with illustrations and descriptions of all proposed Best Management Practices (BPMs)
- c. Estimated dates of major grading activities
- d. Estimated date work may cease temporarily or permanently on any portion of the site
- f. Copy of signed and certified Notice of Intent (NOI) from permitting (TCEQ)
- g. Copy of construction Site Notice from TCEQ

TXDOT PERMITS (if applicable)

Barron Stark has submitted for TXDOT driveway permits for the Texas First Rentals project and the adjacent Lot 1, Block A Crown Bluff Addition. We would request that the City of Willow Park make submittal for our proposed water service tie-in and fire hydrant lead tie-in to TXDOT On-Line Utility Permit System since the tie-ins occur in TxDOT right-of-way.

The following forms will be reviewed by the different departments along with the site plan. Please complete all "APPLICANT QUESTIONS" on the continuing pages.



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Texas First Rentals - Lot 2R - 4.50 acres or 196,020 sf
Mass grading of Lot 3 - 4.06 acres or 176,854 sf

Total gross lot area of the development: _____ sq. ft.

Area of lot covered with structures and impervious surfaces: 2.80 acres or 121,968 sq. ft.

Total number of structures: 1 Total number of habitable structures: _____ (Non Residential Structure)

Square footage of each building: 10,172 sq. ft. _____ sq. ft. _____ sq. ft.

Proposed use for each structure:

Dealership building for a construction equipment rental store. Front portion of building will be for sales\office,

middle portion of building will be a service shop for construction equipment and the rear portion of the building will

be a wash rack for the purposes of washing\cleaning equipment.

Building stories: 1

23'-2" (highest peak at shop)
21'-0" (top parapet at sales\office)
Building height: _____ ft.

Total number of parking spaces: 30

Number of handicap spaces: 2

Does the site include any storm water retention or detention?

☒ Yes

☐ No

Does the project include any engineered alternatives from code requirements? Yes

☒ No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns?

Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Engineering Approval Signature: DEREK TURNER

Date: 11/13/2018

516 Ranch House Rd. Willow Park, TX 76087 (817) 441-7108 phone - (817) 441-6900 fax
www.willowpark.org



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 10 ft.

Side building setback: 10 ft.

Does the site include any utility/electric/gas/water/sewer easements?

☒ Yes

Proposed water easement
for water meter and fire
hydrant

☐ No

Does the site include any drainage easements?

Yes

☐ No

Does the site include any roadway/through fare easements?

Yes

☐ No

Staff Review: (for official use only)

Does the site plan include all the required designations?

☒ Yes

☐ No

Are the setbacks for the building sufficient?

☒ Yes

☐ No

Are there any easement conflicts?

Yes

☐ No

Does the proposed project pose any planning concerns?

Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Building Official Approval Signature:

Betty CHEW

Date:

11/14/2018



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

- Will the building have a fire alarm? ☒ Yes ☐ No
- Will the building have a fire sprinkler/suppression system? Yes ☒ No
- Is the building taller than two-stories? Yes ☒ No
- If yes, how many stories? 1 Story
- Will the project require installation of a new fire hydrant? ☒ Yes ☐ No
- If yes, how many fire hydrants? 1 (Per Discussion with Mike Lenoir, 1 fire hydrant will be added near the proposed driveway at IH-20)
- What is the size of the proposed fire connections? Fire Hydrant will have a 6 inch lead.

Staff Review: (for official use only)

- Does the proposed project include the sufficient fire connections? ☒ Yes ☐ No
- Is the proposed project an adequate distance to a fire hydrant? ☒ Yes ☐ No
- Does the project have the minimum 24' hard surface? ☒ Yes ☐ No
- Is the fire lane appropriate? ☒ Yes ☐ No
- Does the site have the proper turning radius? ☒ Yes ☐ No
- Does the proposed project pose any safety concerns? Yes ☒ No

- Does the proposed project require any additional fire services? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature:

MIKE LENOIR

Date: 11/13/2018



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain?	Yes	<input type="radio"/> No
If yes, what is the base flood elevation for the area? <u>NA</u>		
Is any built improvement in the 100-year flood plain?	Yes	<input type="radio"/> No
If yes, what is the base flood elevation for the area? <u>NA</u>		
Is any habitable structure in the 100-year flood plain?	Yes	<input type="radio"/> No
If yes, what is the base flood elevation for the area? <u>NA</u>		
If yes, what is the finished floor elevation for the habitable structure? <u>NA</u>		
If yes, please list any wet or dry flood proofing measures being used?		
<u>NA</u>		

Staff Review: (for official use only)

Base flood elevations confirmed? <u>N/A</u>	Yes	No
Will the project require a "post-grade" elevation certificate?	Yes	<input checked="" type="radio"/> No
Flood proofing measures approved?	<input checked="" type="radio"/> Yes	No
Does the proposed project pose any safety concerns?	Yes	<input checked="" type="radio"/> No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature:

DEREK TURNER

Date: 11/13/2018



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Texas First Rentals - Lot 2R - 4.50 acres or 196,020 sf
Mass Grading - Lot 3 - 4.06 acres or 176,854 sf

Total gross lot area of the development: _____ sq. ft.

Area of lot covered with structures and impervious surfaces: 2.80 acres or 121,968 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 62.2 %

Area of green space/landscaped areas: 1.7 acres or 74,052 (includes grassed detention areas) sq. ft.

Percentage of green space/landscaped areas: 37.8 %

Total number of parking spaces: 30

Does the site include any vegetative erosion or storm water control?

☒ Yes

☐ No

Site will be stabilized with permanent landscaping/grass where buildings and impervious surfaces are not proposed.
Project is providing grassed detention ponds for storm water control.

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns?

☐ Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Landscaping Approval Signature:

BETTY CHEW

Date:

11/14/2018



BEFCO ENGINEERING, INC.

Consulting Engineering/Land Surveying

P.O. BOX 615 485 NORTH JEFFERSON

LA GRANGE, TEXAS 78945-0615

979 / 968-6474 FAX 979 / 968-3056

www.befcoengineering.com E-mail: office@befcoengineering.com

Texas Registered Engineering Firm F-2011 Texas Licensed Surveying Firm #10001700

November 2, 2018

**Mr. Bernie Parker
Assistant City Manager of
Planning and Development
City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087**

**RE: Site Plan Application
Texas First Rentals - Willow Park**

Mr. Parker:

Holt Cat Texas First Rentals is under contract to purchase the 8.19-acre Lot 2, Block A Crown Bluff Addition and the 0.50-acre Susan Ware property recorded in Vol.2292, Pg. 1147. The two properties are currently owned by Martin Land Sales, Inc. and Susan Ware. Texas First Rentals intends to replat the approximate 8.69 acres into two platted lots – Lot 2R and Lot 3, Block A Crown Bluff Addition. The Texas First Rentals project will be developed on Lot 2R and is 4.50 acres. Lot 3 is 4.06 acres and is reserved for future development; however, Lot 3 will be cleared and mass graded during the development of Texas First Rentals on Lot 2R and that design is part of the site plan application. The property is currently zoned commercial with the IH-20 overlay district. The proposed use requires a Specific Use Permit (SUP) due to its location in the IH-20 overlay district. A replat application and SUP is being concurrently submitted with this site plan application.

Texas First Rentals is a subsidiary of Holt Cat and is a construction equipment rental, sales, and service facility. Texas First Rentals intends to construct a new 10,172 square foot dealership building for sales, office, service and wash rack facilities. Other improvements include a shared access driveway onto the IH-20 frontage road, proposed driveway to Bankhead Drive, crushed limestone or crushed concrete base yard for equipment storage, equipment display along IH-20, fencing, gate and perimeter paving improvements.

A proposed shared access driveway to IH-20 is proposed as part of the site plan application to serve both Lot 2R and Lot 3. Barron Stark has submitted the driveway permit applications for this shared access driveway and the adjacent Lot 1, Block A Crown Bluff Addition driveway to TxDOT. Texas First Rentals is also proposing a driveway access point to Bankhead Drive.

Water service for the property is being provided by the City of Willow Park via existing 12-inch water line located along the IH-20 frontage. A water meter and fire hydrant will be set

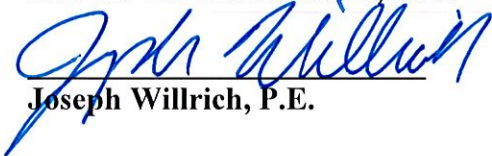
adjacent to the proposed driveway. Wastewater service is not available to the property and the project will provide its own on-site sewage facility (OSSF). This system is anticipated to be an aerobic system and will be permitted by a licensed installer with the City of Willow Park. The site plan is currently reserving 10,000 square foot septic field area which will allow up to 640 gallons per day. Electric service will be obtained from Oncor and attached is email correspondence with Oncor on service. Gas service is not available to the property and the project will have a propane tank.

Two detention ponds are proposed on the property with one on the north side of the property discharging to IH-20 and one on the south side of the property discharging to Bankhead. Please reference the drainage study letter and applicable drainage calculations in the site plan set. An erosion control plan and details are included in the site plan application. A SWPPP book and NOI's will be prepared and submitted prior to issuance of a building permit.

We look forward to working with you and your staff on this site plan application. Please call me at 512-983-0605 if you need any further information or have any questions.

Very truly yours,

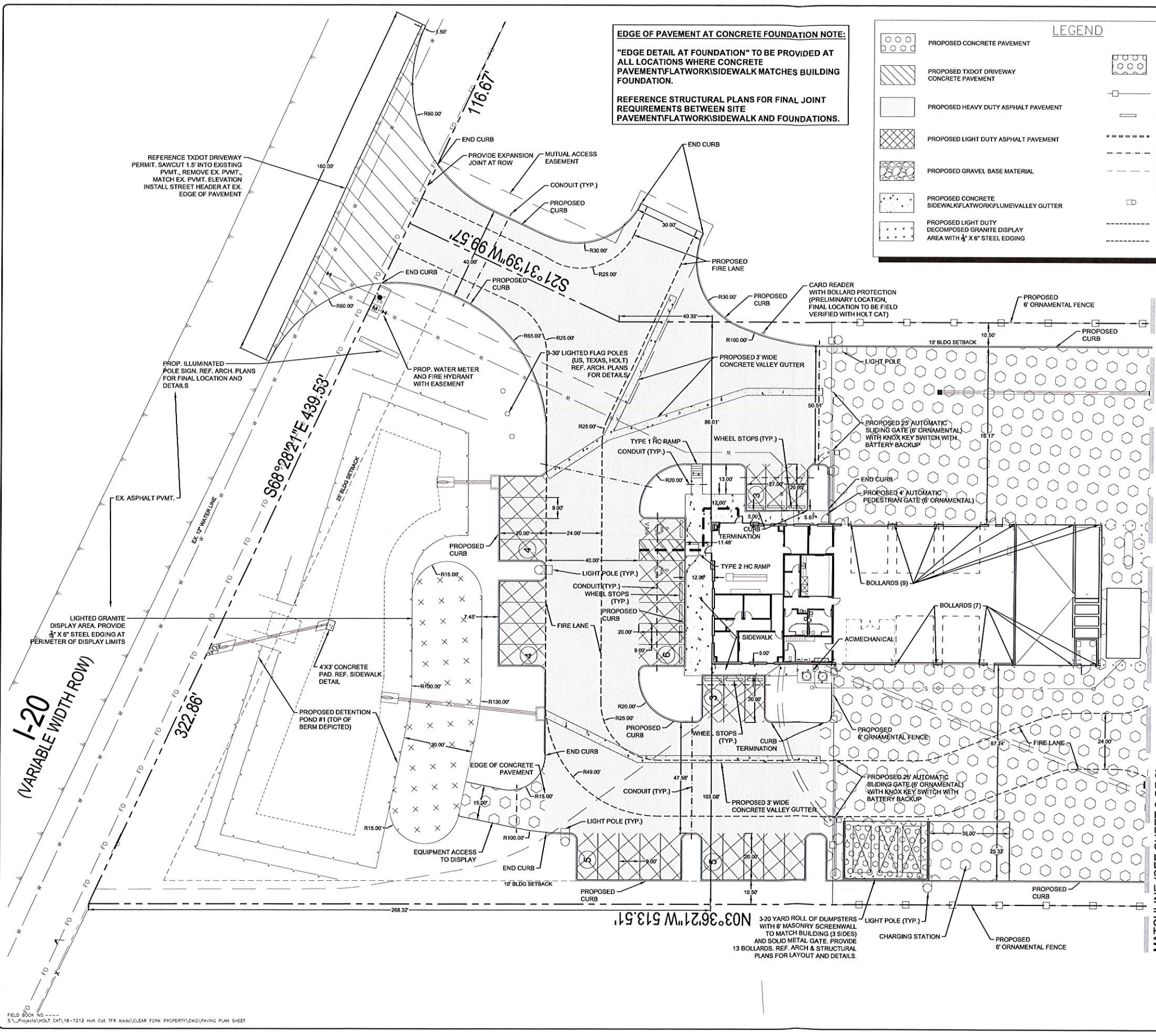
BEFCO ENGINEERING, INC.



Joseph Willrich, P.E.

Attachments: Universal Planning
 Site Plan Application
 Property Owner Information
 Agent Authorization
 Drainage Study Letter
 Site Plan
 Site Civil Plans\Drainage Plans
 Landscape Plan
 Building Elevations
 Photometric Plan
 Oncor Service Email





EDGE OF PAVEMENT AT CONCRETE FOUNDATION NOTE:
"EDGE DETAIL AT FOUNDATION" TO BE PROVIDED AT ALL LOCATIONS WHERE CONCRETE PAVEMENT/FLATWORK/SIDEWALK MATCHES BUILDING FOUNDATION.
REFERENCE STRUCTURAL PLANS FOR FINAL JOINT REQUIREMENTS BETWEEN SITE PAVEMENT/FLATWORK/SIDEWALK AND FOUNDATIONS.

LEGEND

	PROPOSED CONCRETE PAVEMENT		STRUCTURAL FOUNDATION (FUEL AND DUMPSTER PAD)	
	PROPOSED TxDOT DRIVEWAY CONCRETE PAVEMENT		PROPOSED 6\" ORNAMENTAL FENCE/GATE	
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT		WHEEL STOP	
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		ADA ACCESSIBLE ROUTE	
	PROPOSED GRAVEL BASE MATERIAL		CONDUIT SLEEVES WITH PULL STRING (FUTURE USE) (24\"/>	CONDUIT SLEEVES (REF. MEP FOR FINAL SIZES, QUANTITY, AND LOCATION. LINE SHOWN MAY REPRESENT MULTIPLE CONDUITS)
	PROPOSED CONCRETE SIDEWALK/FLATWORK/FLUME/VALLEY GUTTER		PROPOSED PARKING LOT LIGHT POLE (REF. MEP PLANS FOR FINAL LOCATION, CONDUIT & DETAILS)	
	PROPOSED LIGHT DUTY DECOMPOSED GRANITE DISPLAY AREA WITH 1/4\" X 6\" STEEL EDGING		FIRELANE	

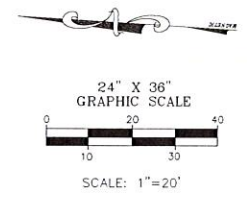
PAVING AND STRIPING NOTES

1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
2. REFERENCE MEP PLANS AND IRRIGATION PLANS FOR CONDUIT/SLEEVE LOCATIONS INCLUDING SIZE, QUANTITY AND LOCATION. LOCATIONS SHOWN ON THIS PLAN ARE PRELIMINARY. LINES MAY REPRESENT MULTIPLE CONDUITS.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS PRIOR TO FINE GRADING AND PAVING. EXISTING UTILITIES REQUIRING ADJUSTMENT TO BE MADE, COORDINATED AND PAID FOR BY CONTRACTOR.
4. REFERENCE JOINT DETAILS FOR PAVEMENT JOINT REQUIREMENTS.
5. CONTRACTOR TO SUBMIT A FINAL JOINTING PLAN TO THE ENGINEER AND OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
6. ALL EXISTING CONCRETE SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.
7. TRAFFIC CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO THE CURRENT APPROVED TxDOT REQUIREMENTS. REFERENCE TxDOT DRIVEWAY PERMIT FOR STANDARD TRAFFIC CONTROL SHEETS.
8. REFERENCE GEOTECHNICAL ENGINEERING REPORT PREPARED BY ALPHA TESTING, INC. DATED 07.22.16 (HG161416) AND ALL ADDENDA FOR ALL GRADING, EARTHWORK, PAVEMENT AND SUBGRADE RECOMMENDATIONS.
9. ALL PAVEMENT STRIPING COLOR TO BE SELECTED BY OWNER.
10. ALL CURB RADII ARE 3 FEET UNLESS NOTED OTHERWISE.
11. ALL REGULAR PARKING SPACES ARE 9 FEET WIDE 20 FEET DEEP UNLESS NOTED OTHERWISE.
12. ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
13. WHERE NEW PAVEMENT/SIDEWALK/CURB/FLUME TIES TO EXISTING PAVEMENT, CONNECTION SHALL BE DOWELED INTO EXISTING.
14. REF. MEP/STRUCTURAL FOR LIGHT POLE DESIGN.
15. REF. ARCHITECTURAL PLANS FOR EXACT PLACEMENT OF PIPE BOLLARDS.
16. PROVIDE TRAFFIC CONTROL AS REQUIRED BY TxDOT AND CITY FOR DRIVEWAY CONSTRUCTION PER TxDOT STANDARD TRAFFIC CONTROL PLAN SHEETS.
17. PROVIDE CONCRETE SPLASH BLOCKS AT ANY LOCATION A DOWNSPOUT DISCHARGES AT GRADE ON BASE MATERIAL OR LANDSCAPE AREAS. SPLASH BLOCKS TO BE 18\"/>
18. KNOX ACCESS AT ALL GATES ARE TO BE COORDINATED AND APPROVED BY CITY FIRE DEPARTMENT BY CONTRACTOR.
19. FIRELANE MARKINGS TO BE PROVIDED AS REQUIRED BY CITY FIRE DEPARTMENT. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT ON STRIPING REQUIREMENTS.
20. FIRE LANES ARE TO MAINTAIN MINIMUM VERTICAL CLEARANCE OF 14'.
21. REFERENCE ARCHITECTURAL PLANS FOR SIGNAGE DETAILS.
22. SEE SITE PLAN SHEET FOR ADDITIONAL NOTES.

MEP SITE PLAN NOTE:
CONDUITS SHOWN IS BASED ON INFORMATION SHOWN ON THE MEP SITE PLAN DATED xx.xx.xx. CHANGES TO THE MEP SITE PLAN THAT OCCUR AFTER THIS DATE ARE NOT REFLECTED ON THIS PLAN. CONTRACTOR TO REVIEW MEP SITE PLAN PRIOR TO CONSTRUCTION OF IMPROVEMENTS SHOWN ON THIS PLAN.

CURB NOTE:
ALL CURB ADJACENT TO ASPHALT PAVEMENT SHALL BE 18\"/>

CURB HEIGHT IS VARIABLE. TYPICAL IS 6 INCHES; HOWEVER, SOME RAISED CURB IS LOWER THAN 6 INCHES IN HEIGHT. CONTRACTOR TO REVIEW GRADING PLAN FOR LOCATIONS.



BEFCO ENGINEERING, INC.
18045
LoGrange, Texas 75945
(979) 968-6474

HOLT CAT TEXAS FIRST RENTALS
TEXAS FIRST RENTALS WILLOW PARK
WILLOW PARK, TEXAS

REVISION:

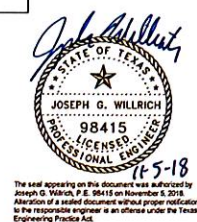
1.	
2.	
3.	

DRAWN BY: JGW
CHECKED BY: JGW
BEFCO JOB NO: 18-7212
PLOT SCALE 1" = 20'

SHEET TITLE
PAVING
PLAN
SHEET
1 OF 2

DATE ISSUED: 11/5/18
SHEET

C6
OF 31



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Engineering Firm
F-2011



CURB NOTE:
ALL CURB ADJACENT TO ASPHALT PAVEMENT SHALL BE 18" SEPARATE CURB & GUTTER. ALL CURB ADJACENT TO CONCRETE PAVEMENT SHALL BE INTEGRAL.

CURB HEIGHT IS VARIABLE. TYPICAL IS 6 INCHES; HOWEVER, SOME RAISED CURB IS LOWER THAN 6 INCHES IN HEIGHT. CONTRACTOR TO REVIEW GRADING PLAN FOR LOCATIONS.

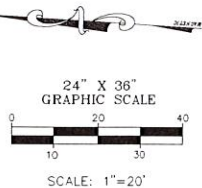
MEP SITE PLAN NOTE:
CONDUITS SHOWN IS BASED ON INFORMATION SHOWN ON THE MEP SITE PLAN DATED xx.xx.xx. CHANGES TO THE MEP SITE PLAN THAT OCCUR AFTER THIS DATE ARE NOT REFLECTED ON THIS PLAN. CONTRACTOR TO REVIEW MEP SITE PLAN PRIOR TO CONSTRUCTION OF IMPROVEMENTS SHOWN ON THIS PLAN.

EDGE OF PAVEMENT AT CONCRETE FOUNDATION NOTE:
"EDGE DETAIL AT FOUNDATION" TO BE PROVIDED AT ALL LOCATIONS WHERE CONCRETE PAVEMENT/FLATWORK/SIDEWALK MATCHES BUILDING FOUNDATION.

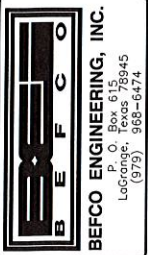
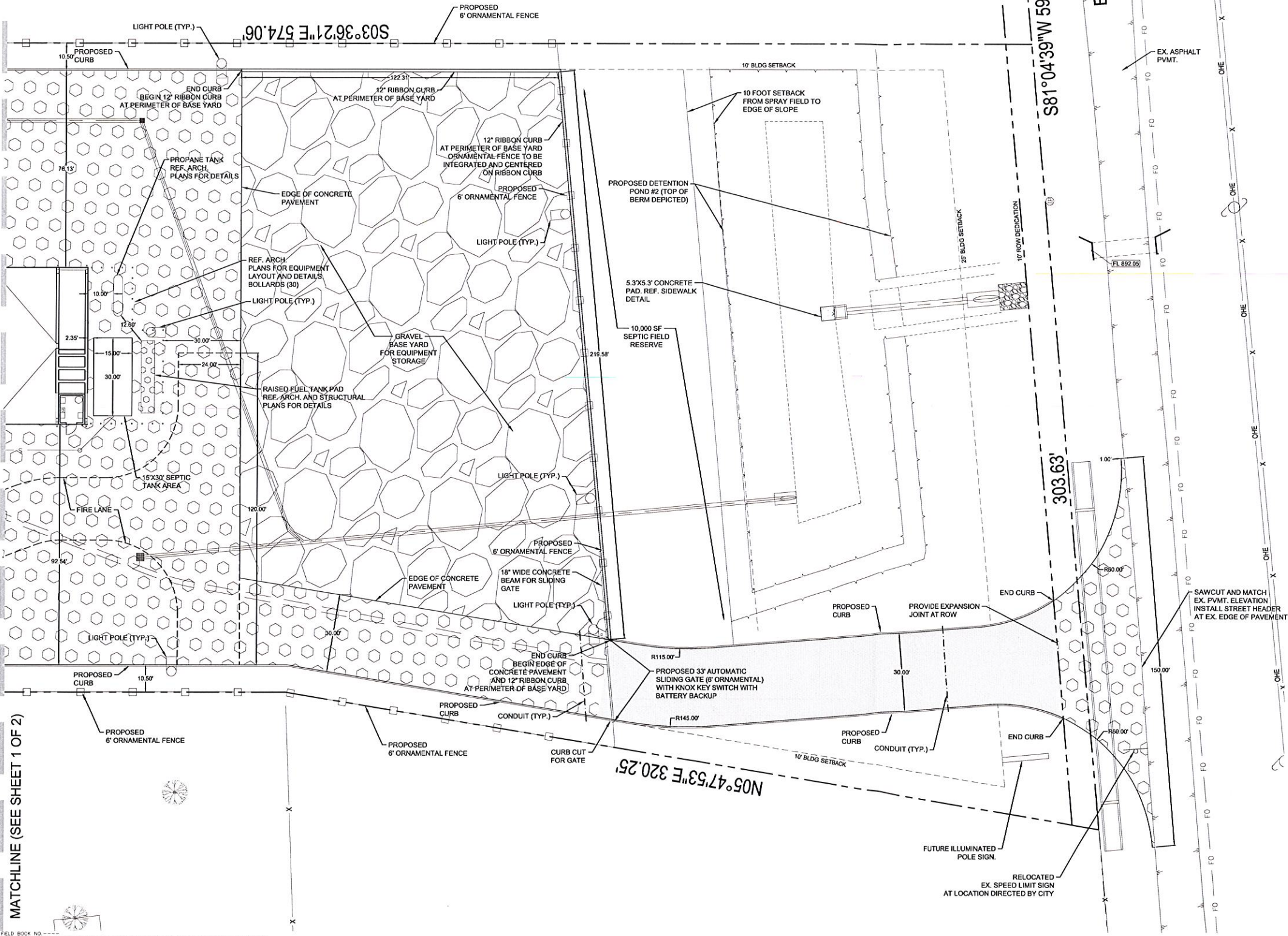
REFERENCE STRUCTURAL PLANS FOR FINAL JOINT REQUIREMENTS BETWEEN SITE PAVEMENT/FLATWORK/SIDEWALK AND FOUNDATIONS.

PAVING AND STRIPING NOTES

1. SEE SHEET 1 OF 2.



LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED TxDOT DRIVEWAY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED GRAVEL BASE MATERIAL
	PROPOSED CONCRETE SIDEWALK/FLATWORK/FLUME/WALLEY GUTTER
	PROPOSED LIGHT DUTY DECOMPOSED GRANITE DISPLAY AREA WITH 4\"/>
	STRUCTURAL FOUNDATION (FUEL AND DUMPSTER PAD)
	PROPOSED 6\"/>
	WHEEL STOP
	ADA ACCESSIBLE ROUTE
	CONDUIT SLEEVES WITH PULL STRING (FUTURE USE) (2\"/>
	CONDUIT SLEEVES (REF. MEP FOR FINAL SIZES, QUANTITY, AND LOCATION. LINE SHOWN MAY REPRESENT MULTIPLE CONDUITS)
	PROPOSED PARKING LOT LIGHT POLE (REF. MEP PLANS FOR FINAL LOCATION, CONDUIT & DETAILS)
	FIRELANE



HOLT CAT TEXAS FIRST RENTALS
TEXAS FIRST RENTALS WILLOW PARK
WILLOW PARK, TEXAS

REVISION:
1.
2.
3.

DRAWN BY: JGW
CHECKED BY: JGW

BEFCO JOB NO:
18-7212

PLOT SCALE
1" = 20'

SHEET TITLE
PAVING
PLAN
SHEET
2 OF 2

DATE ISSUED: 11/5/18

SHEET

C7

OF 31



The seal appearing on this document was authorized by Joseph G. Willrich, P.E. 98415 on November 5, 2018. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

Texas Registered
Engineering Firm
F-2011



MATCHLINE (SEE SHEET 1 OF 2)


FIELD BOOK NO. ---
S:_projects\HOLT CAT\18-7212 HOLT CAT TFR AND CLEAR FORK PROPERTY\DWG\PAVING PLAN SHEET

PLANTLIST

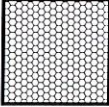
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
LO	LIVE OAK	10	4" CAL.	12-14'	6-8'	NURSERY GROWN	
BO	QUERCUS VIRGINIANA	7	4" CAL.	12-14'	6-8'	NURSERY GROWN	
LB	BURR OAK	4	3" CAL.	10-12'	5-7'	NURSERY GROWN	
VT	QUERCUS MACROCARPA	11	30 GAL.	8-10'	4-5'	MIN. 2" CAL., M.T. CONTAINER GROWN	
ERC	ULMUS PARVIFOLIA SEMPERVIRENS	23	5 GAL.	15"	20"	FULL	36"oc
RY	VITEX	18	5 GAL.	12"	15"	FULL	36"oc
PLY	VITEX AGNUS-CASTUS	27	1 GAL.	10"	10"	FULL	18"oc
MFG	EASTERN RED CEDAR	58	LIN. FT.	REF. DETAIL			
SE	JUNIPERUS VIRGINIANA						
	RED YUCCA						
	HESPERALOE PARVIFOLIA						
	PALE LEAF YUCCA						
	YUCCA PALLIDA						
	MEX. FEATHERGRASS						
	NASSELLA TENUISSIMA						
	STEEL EDGING						

ALL GRADING ON ADJACENT LOTS 1 AND 3 SHALL BE REVEGETATED WITH COMMON BERMUDA HYDROMULCH

LANDSCAPE LEGEND



COMMON BERMUDA SOD (CYNODON DACTYLON)



COBBLE STONE (SEE NOTE BELOW)

SOD INSTALLATION NOTES:

- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

COBBLESTONE INSTALLATION NOTES:

- LANDSCAPE CONTRACTOR SHALL INSPECT COBBLESTONE AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- INSTALL FILTER FABRIC OVER ENTIRE AREA TO RECIEVE COBBLE.
- PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO LARGE COBBLE IN DESIGNATED AREAS.

HYDROMULCH INSTALLATION NOTES (for Lots 1 and 3 as required):

- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- SEED SHALL BE HULLED, TREATED LAWN-TYPE SEED, DELIVERED TO SITE IN ORIGINAL SEALED CONTAINERS. MINIMUM PURITY GERMINATION SHALL BE 90%.
- FERTILIZER SHALL BE COMPLETE FERTILIZER, DRT, FREE-FLOWING, AND BALANCED IN COMPOSITION, CONFORMING TO ALL STATE LAWS.
- ALL HYDROMULCH AREAS SHALL BE WATERED BY TEMPORARY MEASURES UNTIL GERMINATION.

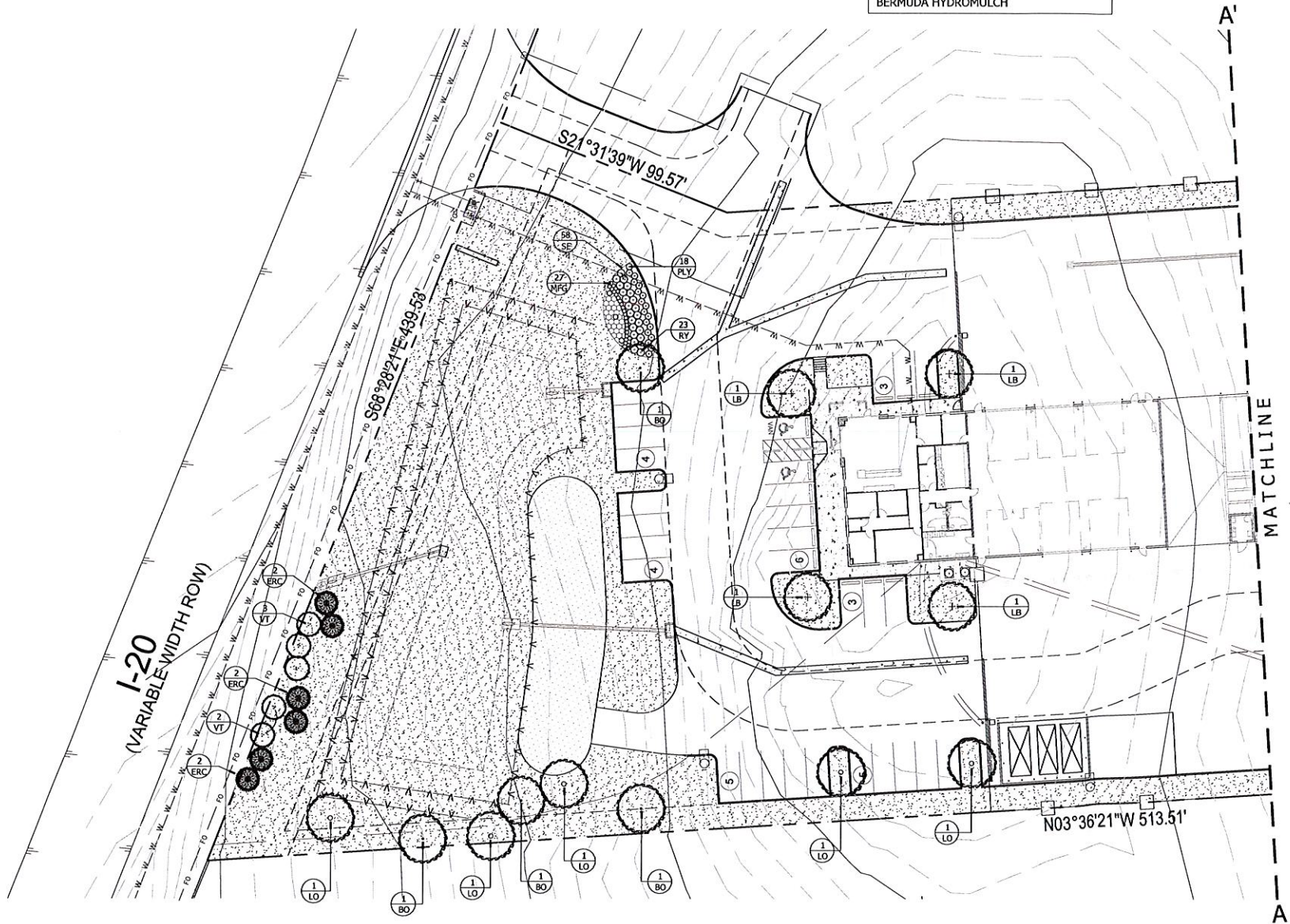
LANDSCAPE NOTES

- PLANT LIST FOR SHEETS L-1 AND L-2.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
- APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 - VITAL EARTH COMPOST
 - BACK-TO-EARTH SOIL CONDITIONER
 - LIVING EARTH COMPOST
 - SOIL BUILDING SYSTEMS COMPOST
 - SILVER CREEK MATERIALS COMPOST
- TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON SHEET L-2.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.

CITY REQUIREMENTS

SEC. 14.06.016 IH-20 OVERLAY DISTRICT

(g)(1)	MINIMUM 5% SITE TO BE LANDSCAPE
SITE AREA	196,020 SF
REQUIRED LANDSCAPE	9,801 SF (5.00%)
PROVIDED LANDSCAPE	81,437 SF (41.54%)
(g)(2)(A)	STREET FRONTAGE SHADE TREES
1" SHADE TREES PER 10 LF FRONTAGE INTERSTATE 20	
323'	= 32.3 = 33" SHADE TREES REQUIRED
10	36" SHADE TREES PROVIDED (9 - 4" CALIPER - RELOCATED ALONG WEST P.L.)
E. BANKHEAD DR.	
304'	= 30.4 = 31" SHADE TREES REQUIRED
10	32" SHADE TREES PROVIDED (8 - 4" CALIPER)
(g)(2)(B)	STREET FRONTAGE ORNAMENTAL TREES
1" SHADE TREES PER 15 LF FRONTAGE INTERSTATE 20	
323'	= 21.5 = 22" ORNAMENTAL TREES REQUIRED
15	22" ORNAMENTAL TREES PROVIDED (11 - 2" CALIPER)
E. BANKHEAD DR.	
304'	= 20.3 = 21" ORNAMENTAL TREES REQUIRED
15	22" ORNAMENTAL TREES PROVIDED (11 - 2" CALIPER)
(g)(3)(B)	MIN. 50% PARKING ISLANDS TO CONTAIN 3" TREE
8 PARKING ISLANDS PROVIDED	
4 SHADE TREES REQUIRED	
4 SHADE TREES PROVIDED	



appr. by:
drawn by:
date: 10-31-18

revisions
11-01-18



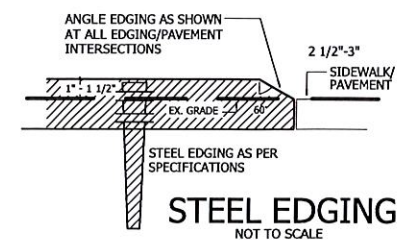
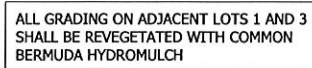
Leeming
Design Group
Landscape Architecture
4913 Rauls Show Drive, Suite 101-B North Richard Hill, Texas 75180
(817) 577-2869 Fax (817) 577-2866
leemingdesigngroup@bellsouth.net

LANDSCAPE PLAN

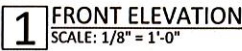
HOLT CAT TEXAS FIRST RENTALS
INTERSTATE 20
WILLOW PARK, TEXAS

file name:
c:\Willow Park-HoltCat\Wg-base_HoltWP.dwg







sheet
L-1



A3.0



MATERIAL LEGEND

	MP-1 COLR: BROWNSTONE METAL PANELS, FASCIA, AND GUTTERS AND DOWNSPOUTS
	BLK-1 COLOR: BROWNSTONE SPLITFACE CMU
	RF-1 COLOR: BONEWHITE: METAL ROOF
	PT-1 COLOR: MEDIUM BRONZE EXTERIOR WALL PACK
	MT-1 COLOR: MEDIUM BRONZE CANOPY, WINDOW & DOOR FRAMES, GUTTERS AND DOWNSPOUTS
	MT-2 COLOR: CREME TRIM
	STN-1: COLOR: SADDLEWOOD RANDOM CHOPPED SAND STONE
	STN-2 COLOR: CREME ACCENT BAND AND WINDOW HDR.
	PT-2 COLOR: PAINT SAFETY YELLOW BOLLARDS

REVISIONS:
0.29.2018

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
REGULATORY
APPROVAL

PROJECT NO: 1104.27

DRAWN: RK

CHECKED: SW

DESCRIPTION:
ELEVATIONS



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 5

Consider and Act on a Final Plat of a Replat of Lot 2, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas, located between the IH-20 Service Road and Bankhead Hwy.

BACKGROUND:

The owner proposes to replat Lot 2, Block A, Crown Bluff Addition into two lots. Lot 2R will be a 4.50 acre lot (Texas First Rentals) and Lot 3 will be a 4.06 acre lot (future development). Both lots have frontage on IH-20 Service Road and Bankhead Hwy. Additional right of way will be dedicated for the expansion of Bankhead Hwy. (Minor Arterial) as identified in the Comprehensive Plan. The lots will be served by City water. Private on-site sewage systems will serve each lot.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat of a Replat of Lot 2, Block A, Crown Bluff Addition meets the requirements of the Subdivision Ordinance and Staff recommends approval with required setbacks being incorporated on the plat prior to recording.

EXHIBITS:

Final Plat
Plat Application

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park Development Services

516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 · Fax: (817) 441-6900

PLAT APPLICATION
MUST BE AN ORIGINAL DOCUMENT – FAXED COPIES WILL NOT BE ACCEPTED
ALL SIGNATURES MUST BE ORIGINAL

Type of Plat: ☐ Preliminary ☐ Final ☒ Replat ☐ Amended

PROPERTY DESCRIPTION:

SUBMITTAL DATE: _____

Address (if assigned): To Be Determined

Name of Additions: Crown Bluff Addition

Location of Addition: Located between Clear Fork Circle and E. Bankhead Drive, fronting south side of IH-20.
(David Addington Survey, Abstract No. 21)

Number of Lots: 2 Gross Acreage: 8.56 Zoning: C # of New Street Intersections: 0

PROPERTY OWNER:

Subject property currently has two owners, see attached

Name: property owner information list

Contact: _____

Address: _____

Phone: _____

City: _____

Fax: _____

State: _____ Zip: _____

Email: _____

Signature: See Attached Owner/Agent Authorization for BEFCO's authority to act as agent.

APPLICANT:

Name: BEFCO Engineering, Inc.

Contact: Joseph Willrich, P.E.

Address: 485 N. Jefferson, P.O. Box 615

Phone: 979-968-6474, 512-983-0605

City: La Grange

Fax: NA

State: Texas Zip: 78945

Email: joseph@befcoengineering.com

Signature: *Joseph Willrich*

SURVEYOR:

Name: Barron Stark

Contact: Charles F. Stark, P.E., R.P.L.S.

Address: 6221 Southwest Boulevard, Suite 100

Phone: 817-231-8100

City: Fort Worth

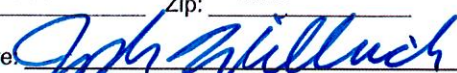
Fax: 817-231-8144

State: Texas Zip: 76132

Email: chucks@barronstark.com

Signature: *Charles Stark*

ENGINEER:

Name: BEFCO Engineering, Inc.
Address: 485 N. Jefferson, P.O. Box 615
City: La Grange
State: Texas Zip: 78945
Signature: 


Contact: Joseph Willrich, P.E.
Phone: 979-968-6474, 512-983-0605
Fax: NA
Email: joseph@befcoengineering.com

PRINCIPAL CONTACT: _____ Owner ☒ Applicant _____ Surveyor _____ Engineer
• Staff comment letters and mark-ups will be distributed only to the designated principle contact
• Comments will be sent via email unless otherwise specified

UTILITY PROVIDERS

Electric Provider: Oncor Electric
Water Provider: City of Willow Park
Wastewater Provider: None (Property will be on OSSF)
Gas Provider (if applicable): None

APPLICATION FEES

 _____ \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR
\$350.00 _____ \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE
Per current City fee schedule, application fee is \$300 + \$25 per lot

Additional fees (if applicable):

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

City Use Only

Fees Collected: \$ _____ \$ _____
\$ _____ \$ _____
Receipt Number: _____

PLAT REVIEW CHECKLIST:

****This checklist must be submitted with the initial plat application****

I. GENERAL:

Name of Addition: Crown Bluff Addition

Applicant: BEFCO Engineering, Inc.

Property Owner(s): Martin Land Sales, Inc. and Susan Ware

Location of Addition: Located between Clear Fork Circle and E. Bankhead Drive, fronting south side of IH-20.
(David Addington Survey, Abstract No. 21)

II. REQUIRED DOCUMENTS FOR A PRELIMINARY PLAT**APPLICANT****STAFF**

A. Preliminary Plat Application (original signatures)	_____	_____
B. Preliminary Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Preliminary Drainage Analysis (5 paper copies & 1 digital)	_____	_____
D. Concept Construction Plan (5 paper copies & 1 digital)	_____	_____
E. Tree Survey	_____	_____
F. Location and Dimensions of Existing Structures	_____	_____
G. Sectionalizing or Phasing of Plats	_____	_____
H. Zoning Classification of All Properties Shown on the Plat	_____	_____
I. Dimensions of all Proposed or Existing Lots	_____	_____
J. Location of 100-year Flood Limits Where Applicable	_____	_____

III. REQUIRED DOCUMENTS FOR A FINAL PLAT

A. Final Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital copy)	_____	_____
C. Drainage Study (5 paper copies & 1 digital)	_____	_____
D. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
E. Written Metes and Bounds Description	_____	_____
F. Dimensions of All Proposed or Existing Lots	_____	_____
G. Area in acres for each lot	_____	_____
H. Any Existing Structures which Encroach and Setback Lines	_____	_____
I. Parker County Tax Certificate	_____	_____
J. Plans for all water & sewer lines	_____	_____
K. Plans for fire hydrants	_____	_____
L. Plans for all proposed streets and sidewalks	_____	_____

IV. REQUIRED DOCUMENTS FOR A REPLAT

A. Replat Application (original signatures)	<u>X</u>	<u>✓</u>
B. Replat Drawing (5 paper copies & 1 digital copy)	<u>X</u>	<u>✓</u>
C. Original Plat for comparison	<u>X</u>	<u>✓</u>
D. Drainage Study (5 paper copies & 1 digital)	<u>X</u>	<u>✓</u>
E. Submit 1 mylar copy and 1 paper copy from county filing	Will provide at time of recordation	_____
F. Written Metes and Bounds Description	<u>X (On Plat)</u>	<u>✓</u>
G. Dimensions of All Proposed or Existing Lots	<u>X (On Plat)</u>	<u>✓</u>
H. Area in acres for each lot	<u>X (On Plat)</u>	<u>✓</u>
I. Any Existing Structures which Encroach and Setback Lines	<u>NA</u>	<u>N/A</u>
J. Parker County Tax Certificate	Will provide at time of recordation per phone call with Betty Chew	_____

V. REQUIRED DOCUMENTS FOR AN AMENDED PLAT

A. Amended Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____

VI.	REQUIREMENTS ON ALL PLATS	APPLICANT	STAFF
A.	Adjacent Property Lines, Streets, Easements	X	✓
B.	Names of Owners of Property within 200 feet	X	✓
C.	Names of Adjoining Subdivisions	X	✓
D.	Front and Rear Building Setback Lines	X	✓
E.	Side Setback Lines	X	✓
F.	City Boundaries Where Applicable	X	✓
G.	Date the Drawing was Prepared	X	✓
H.	Location, Width, Purpose of all Existing Easements	X	✓
I.	Location, Width, Purpose of all Proposed Easements	X	✓
J.	Consecutively Numbered or Lettered Lots and Blocks	X	✓
K.	Map Sheet Size of 18"x24" to 24"x36"	X	✓
L.	North Arrow	X	✓
M.	Name, Address, Telephone, of Property Owner	X	✓
N.	Name, Address, Telephone of Developer	X	✓
O.	Name, Address, Telephone of Surveyor	X	✓
P.	Seal of Registered Land Surveyor	X	✓
Q.	Consecutively Numbered Plat Notes and Conditions	X	✓
R.	City of Willow Park Plat Dedication Language	X	✓
S.	Location and Dimensions of Public Use Area	NA	N/A
T.	Graphic Scale of Not Greater Than 1" = 200'	X	✓
U.	All Existing and Proposed Street Names	X	✓
V.	Dimensions of All Existing and Proposed Rights-of-Way as Specified on Master Thoroughfare Plan	X	✓
W.	Subdivision Boundary in Bold Lines	X	✓
X.	Subdivision Name	X	✓
Y.	Title Block Identifying Plat Type	X	✓
Z.	Key Map at 1"=2000'	X	✓
AA.	Surveyor's Certification of Compliance	X	✓
BB.	Texas NAD83 State Plane Coordinates (Grid) (at least 2 corners)	X	✓
CC.	Show relationship of plat to existing "water, sewage, and drainage	X	✓

VII.	ADDITIONAL DOCUMENTS REQUIRED ON FINAL PLATS	APPLICANT	STAFF
A.	A written and notarized statement describing the minimum improvements which the subdivider agrees to provide, conditional upon City Council approval of the final plat	Owner will sign the plat at time of recordation	OK
B.	A written and notarized statement that all property taxes and assessments have been paid for past years and up to Current date. This statement shall be signed by the owner or owners (original and one copy)	Owner will sign the plat at time of recordation	OK
C.	A written and notarized acknowledgement of the dedication to public use of streets, parks, water courses, drains, easements and other such public places as shown on the plat, and of payments in lieu of certain public dedications. Property designated for schools, churches, hospitals, municipal purposes, and other uses, shall be noted, as well as the conditions and procedures by which such property and monies shall be made available to prospective purchasers or governing bodies. This statement shall be signed by the owner or owners, and all persons having a mortgage or lien interest in the property. (if applicable)	Owner will sign the plat at time of recordation	OK

PLEASE NOTE: After staff approval, up to fifteen (15) additional paper copies may be required for review by the Planning & Zoning Commission and City Council.

Willow Park
Plat
Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 10 ft.

Side building setback: 10 ft.

Does the site include any utility/electric/gas/water/sewer easements?

☒ Yes

☐ No Proposed water easement for water meter and fire hydrant.

Does the site include any drainage easements?

Yes

☐ No

Does the site include any roadway/through fare easements?

Yes

☐ No

Staff Review:

Does the plat include all the required designations?

☒ Yes

No

Are the setbacks for the building sufficient?

☒ Yes

No

Are there any easement conflicts?

Yes

☒ No

Do the proposed easements align with neighboring easements? *N/A*

Yes

No

Are the proposed easements sufficient to provide service?

☒ Yes

No

Does the proposed project pose any planning concerns?

Yes

☒ No

☒ Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature:

BETTY CHEW

Date: *11/14/2018*

Willow Park
Plat
Public Works Review

Applicant Questions:

Is the project serviced by an existing road?

☒ Yes

☐ No

If yes, which road? IH-20, E. Bankhead Dr.

Is the project serviced by an existing water line?

☒ Yes

☐ No

If yes, what size line? 12 inch

Will the project require the extension of a water line?

☐ Yes

☒ No

Does the project use well water?

☒ No

☐ Drinking

☐ Irrigation

If yes, which aquifer does the well pull from? NA

Is the project serviced by an existing sewer line?

☐ Yes

☒ No

If yes, what size line? NA

If no, what type and size is the septic system? Aerobic System, final GPD sizing to be determined at building/septic permit review. Current site plan reserves 10,000 SF spray field which can accommodate up to 640 GPD

Staff Review:

Will servicing this project require additional infrastructure beyond what is identified in the Capital Improvement Plan?

☐ Yes

☒ No

Any additional concerns: _____

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Public Works Approval Signature: RAYMOND JOHNSON

Date: 11/14/2018

Willow Park
Plat
Flood Plain Review

Applicant Questions:

Is any part of the plat in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area?	<u>NA</u>	
Is the footprint of any built improvement in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area?	<u>NA</u>	
Is the footprint of any habitable structure in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area?	<u>NA</u>	

Staff Review:

Base flood elevations confirmed?	<u>N/A</u>	Yes	<input checked="" type="radio"/> No
Does the proposed project pose any safety concerns?		Yes	<input checked="" type="radio"/> No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: DEREK TURNER Date: 11/13/2018



REPLAT APPLICATION
City of Willow Park Development Services
Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Texas First Rentals - Willow Park	
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ 750,000 (Site Improvements) (round up to nearest whole dollar)		Project Address (or description): To Be Determined By City	
Brief Description of the Project: Construction Equipment Rental Store, including sales, rental, service, storage and display of construction equipment (Lot 2R); mass grading of Lot 3			
Existing zoning: C, IH-20 Overlay		# of Existing Lots (plats only): 2	
Proposed zoning: Concurrent SUP Application		# of Proposed Lots (plats only): 2	
Applicant/Contact Information (this will be the primary contact)			
Name: Joseph Willrich		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474; 512-983-0605		E-mail: joseph@befcoengineering.com	
Property Owner Information (if different than above)			
Name: Subject property currently has two owners, see attached property owner information list and authorization for BEFCO to act as agent.		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
() Developer / (X) Engineer / () Surveyor Information (if applicable)			
Name: Joseph Willrich, P.E.		Mailing Address: 485 N. Jefferson, P.O. Box 615 La Grange, Texas 78945	
Company: BEFCO Engineering, Inc.			
Primary Phone: 979-968-6474		E-mail: joseph@befcoengineering.com	
Other Phone: 512-983-0605		Fax: NA	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page





P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
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AGENDA ITEM: 6

Consider and act on a Final Plat of a Replat on Lot 1R, Block 1, The Village at Willow Park Addition, City of Willow Park, Parker County, Texas, located in the 100 Block of Willow Bend Drive.

BACKGROUND:

The owner proposes to re-subdivide this 1.398 acre lot into 2 lots for future development. Lot 1R-1 is a 33,303square foot lot located on the southeast corner of IH-20 Service Road and Willow Bend Drive. Lot 1R-2 is a 27,629 square foot lot fronting on Willow Bend Drive. There is a sanitary sewer easement crossing Lot 1R-2 which will be vacated. The sewer main is inactive and will be abandoned.

A site development plan has been submitted and approved for Lot 1R-1. Development of Lot 1R-2 will require submittal of a site development plan.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat of a Replat of Lot 1R-1, 1R-2, Block 1, The Village at Willow Park meets the requirements of the Subdivision Ordinance and Staff recommends approval.

EXHIBITS:

Final Plat
Plat Application

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park Development Services

516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 • Fax: (817) 441-6900

PLAT APPLICATION
MUST BE AN ORIGINAL DOCUMENT – FAXED COPIES WILL NOT BE ACCEPTED
ALL SIGNATURES MUST BE ORIGINAL

Type of Plat: ☐ Preliminary ☐ Final ☒ Replat ☐ Amended

PROPERTY DESCRIPTION:

SUBMITTAL DATE: _____

Address (if assigned): _____

Name of Additions: The Village at Willow Park

Location of Addition: Southeast Corner of IH-20 and Willow Bend Drive

Number of Lots: 2 Gross Acreage: 1.399 Zoning: C # of New Street Intersections: N/A

PROPERTY OWNER:

Name: THE MORRISON GROUP Contact: Bryce Pool
Address: 1680 WABASH AVE. Phone: 817-907-7371
City: FORT WORTH Fax: _____
State: TX Zip: 76107 Email: brycepool@me.com
Signature: [Signature]

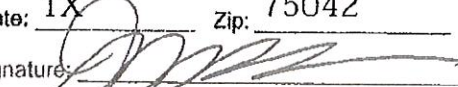
APPLICANT:

Name: Crestview Real Estate Contact: Staci Bowen
Address: 12720 Hillcrest Rd, Suite 650 Phone: 214-343-4477
City: Dallas Fax: _____
State: TX Zip: 75230 Email: sbowen@crestviewcompanies.com
Signature: [Signature]

SURVEYOR:

Name: Peiser & Mankin Surveying, LLC Contact: Tim Mankin
Address: 623 E. Dallas Rd. Phone: 817-481-1806
City: Grapevine Fax: _____
State: TX Zip: 76051 Email: tmankin@peisersurveying.com
Signature: [Signature]

ENGINEER:

Name: Vasquez Engineering, L.L.C.
Address: 1919 S. Shiloh Rd., Suite 440
City: Garland
State: TX Zip: 75042
Signature: 


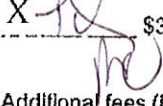
Contact: Juan J. Vasquez
Phone: 972-278-2948
Fax: _____
Email: jvasquez@vasquezengineering.com

PRINCIPAL CONTACT: _____ Owner _____ Applicant _____ Surveyor ☒ Engineer
• Staff comment letters and mark-ups will be distributed only to the designated principle contact
• Comments will be sent via email unless otherwise specified

UTILITY PROVIDERS

Electric Provider: ONCOR
Water Provider: City
Wastewater Provider: City
Gas Provider (if applicable): N/A

APPLICATION FEES

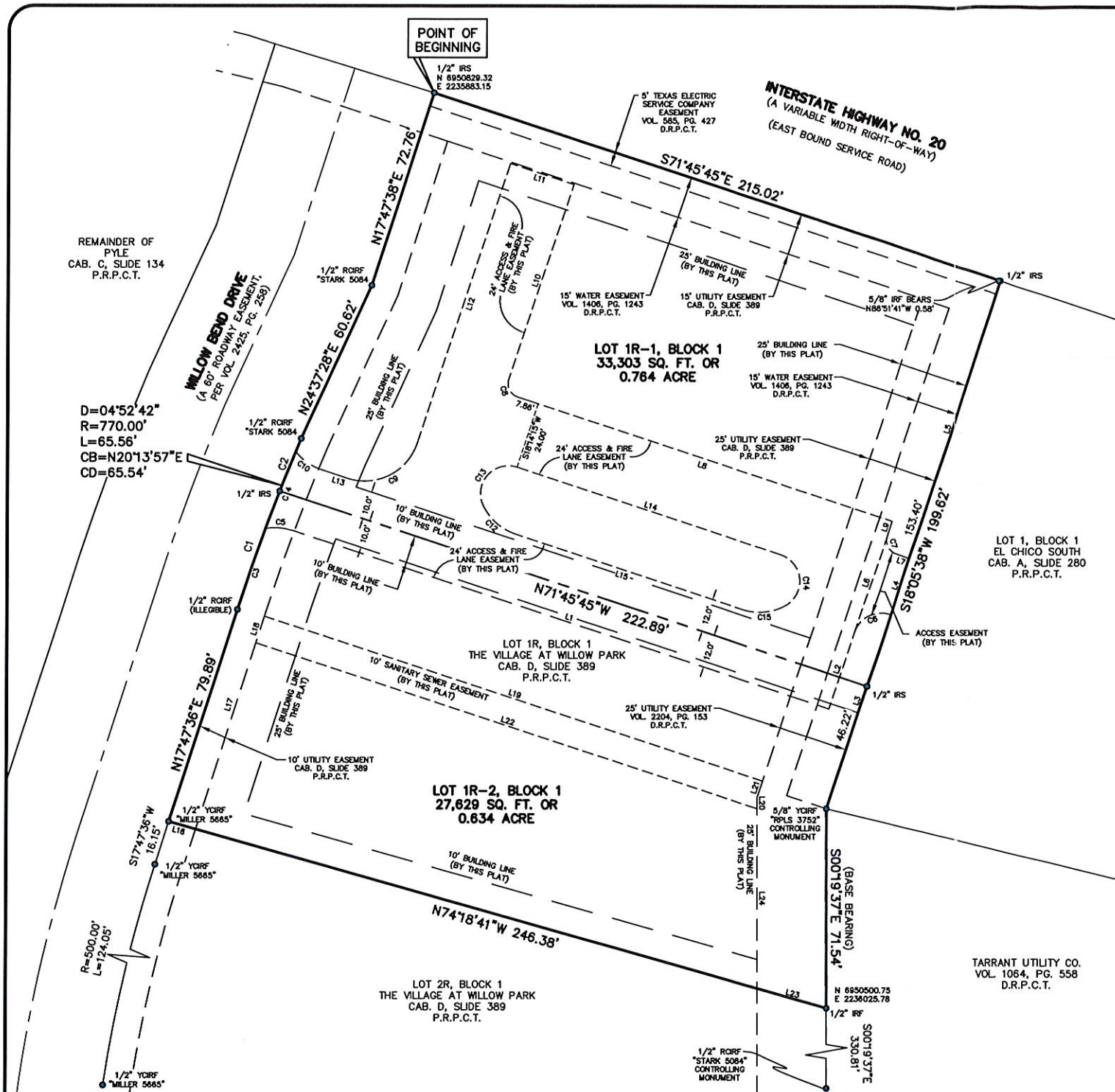
 \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR
X  \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE

Additional fees (if applicable):

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

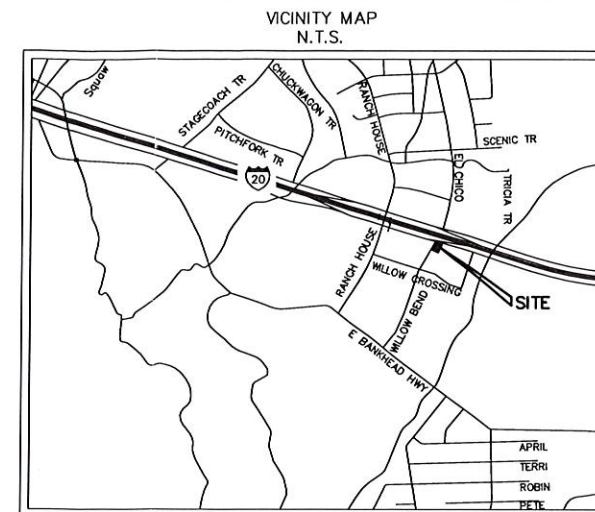
City Use Only

Fees Collected: \$ _____ \$ _____
\$ _____ \$ _____
Receipt Number: _____



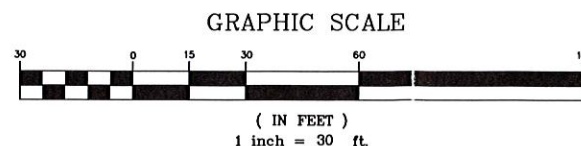
LINE	LENGTH	BEARING
L1	203.70'	N 71°45'45" W
L2	29.05'	N 18°14'15" E
L3	73.26'	N 18°05'38" E
L4	21.35'	N 18°05'38" E
L5	105.01'	N 18°05'38" E
L6	36.34'	S 18°14'15" W
L7	5.26'	S 71°45'45" E
L8	141.95'	S 71°45'45" E
L9	5.61'	S 18°14'15" W
L10	73.90'	N 18°14'15" E
L11	24.00'	S 71°45'45" E
L12	105.90'	N 18°14'15" E
L13	9.72'	N 71°45'45" W
L14	100.09'	S 71°45'45" E
L15	85.81'	N 71°45'45" W
L16	10.01'	S 74°18'41" E
L17	70.16'	N 17°47'36" E
L18	9.36'	N 17°47'36" E
L19	188.99'	S 71°51'22" E
L20	3.94'	N 00°19'37" W
L21	6.26'	N 18°08'02" E
L22	190.18'	S 71°51'22" E
L23	26.01'	N 74°18'41" W
L24	64.47'	N 00°19'37" W

CURVE	LENGTH	RADIUS	DELTA	CB	CD
C1	45.12'	770.00'	03°21'26"	N 19°28'19" E	45.11'
C2	20.44'	770.00'	01°31'16"	N 21°54'40" E	20.44'
C3	28.47'	770.00'	02°07'06"	S 18°51'09" W	28.47'
C4	34.63'	770.00'	02°34'37"	S 21°12'01" W	34.63'
C5	9.79'	20.00'	28°03'21"	N 85°47'23" W	9.70'
C6	16.03'	10.00'	91°49'02"	S 64°08'46" W	14.36'
C7	7.85'	5.00'	90°00'00"	S 26°45'45" E	7.07'
C8	7.85'	5.00'	90°00'00"	S 26°45'44" E	7.07'
C9	31.42'	20.00'	90°00'00"	N 63°14'15" E	28.28'
C10	11.54'	20.00'	33°03'27"	S 55°14'01" E	11.38'
C11	20.44'	770.00'	01°31'16"	S 21°54'40" W	20.44'
C12	15.91'	20.00'	45°34'23"	S 48°58'34" E	15.49'
C13	23.46'	10.00'	134°25'37"	S 41°01'26" W	18.44'
C14	23.46'	10.00'	134°25'37"	N 04°32'55" W	18.44'
C15	15.91'	20.00'	45°34'23"	N 85°27'04" E	15.49'



NOTES:

1. IRF - Iron Rod Found
2. Basis of Bearing - Based on the east line (South 00 deg. 19 min. 37 sec. East) of Lot 1R, Block 1, The Village at Willow Park, an addition to the City of Willow Park, Parker County, Texas, according to the plat thereof recorded in Cabinet D, Slide 389, Plat Records, Parker County, Texas.
3. Selling a portion of any lot within this addition by metes and bounds is a violation of State Law and City Ordinance and is subject to fines and withholding of utilities and building permits.
4. Water and sanitary sewer service to the provided by City of Willow Park.
5. Purpose of this plat is to create 2 lots from an existing lot and dedicate easements for development.



ENGINEER:

VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD
SUITE 440, LB 44
GARLAND, TEXAS 75042
CONTACT: JUAN J. VASQUEZ, P.E.
972-278-2948

OWNER:

THE MORRISON GROUP, INC.
1620 WABASH
FORT WORTH, TEXAS 76107
817-907-7371

OWNER:

TCG WILLOW PARK INVESTORS, LLC
12720 HILLCREST ROAD, SUITE 650
DALLAS, TEXAS 75230

JOB NO.:	17-1118
DATE:	12/14/2017
FIELD DATE:	12/12/2017
SCALE:	1" = 30'
FIELD:	J.D.H.
DRAWN:	T.R.M.
CHECKED:	J.B.W.

PEISER & MANKIN SURVEYING, LLC
www.peisersurveying.com

623 E. DALLAS ROAD
GRAPEVINE, TEXAS 76051
817-481-1806 (O)
817-481-1809 (F)

COMMERCIAL
RESIDENTIAL
BOUNDARIES
TOPOGRAPHY
MORTGAGE

Member Since 1977
Texas Society of Professional Surveyors

SHEET

1
OF
2

REPLAT
LOT 1R-1 & 1R-2, BLOCK 1
THE VILLAGE AT WILLOW PARK
AN ADDITION TO THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS
BEING A REPLAT OF
LOT 1R, BLOCK 1, THE VILLAGE AT WILLOW PARK
AN ADDITION TO THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS,
ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 389,
PLAT RECORDS, PARKER COUNTY, TEXAS
PREPARED 1-31-18
1.398 ACRES

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That **The Morrison Group, Inc. and TCG Willow Park Investors, LLC** (Owners) acting by and through the undersigned, their duly authorized agents. Do hereby adopt this plat of the hereinabove described real property, to be described as: **Lot 1R-1 and 1R-2, Block 1, The Village at Willow Park**, an addition to the City of Willow Park, Parker County, Texas and does hereby dedicate to the public's use forever the streets and easements shown hereon.

EXECUTED this the ____ day of _____, 2018

The Morrison Group, Inc.
a Texas corporation

Bryce Pool, President

STATE OF TEXAS §
COUNTY OF _____ §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Bryce Pool, known to me to be this person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same fro the purpose and consideration therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2018

Notary Public for The Sate of Texas

EXECUTED this the ____ day of _____, 2018

TCG Willow Park Investors, LLC,
a Texas limited liability company

Grey Stogner, Manager

STATE OF TEXAS §
COUNTY OF _____ §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Grey Stogner, known to me to be this person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same fro the purpose and consideration therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2018

Notary Public for The Sate of Texas

STATE OF TEXAS
COUNTY OF PARKER

KNOW ALL MEN BY THESE PRESENTS, That THE MORRISON GROUP, INC. and TCG WILLOW PARK INVESTORS, LLC, acting by and through the undersigned, their duly authorized agents, ore the owners of the following described real property, to wit:

Being Lot 1R in Block 1 of The Village at Willow Park, an Addition to the City of Willow Park, Parker County, Texas, according to the plat thereof recorded in Cabinet D, Slide 389, Plat Records, Parker County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set with "Peiser & Monkin SURV" red plastic cap (hereinafter referred to as 1/2 inch iron rod set) for the northwest corner of said Lot 1R, same being in the southeast intersection of Willow Bend Drive (60 foot right-of-way) and Interstate Highway No. 20 (variable width right-of-way);

THENCE South 71 deg. 45 min. 45 sec. East, along the common line of said Lot 1R and said Interstate Highway No. 20, a distance of 215.02 feet to a 1/2 inch iron rod set for the northeast corner of said Lot 1R from which a 5/8 inch iron rod found bears North 86 deg. 51 min. 41 sec. West, 0.58 feet, same being the northwest corner of Lot 1, Block 1, El Chico South, an addition to the City of Willow Park, Parker County, Texas, according to the plat thereof recorded in Cabinet A, Slide 280, aforesaid Plat Records;

THENCE South 18 deg. 05 min. 38 sec. West, along the common line of said Lot 1R and said Lot 1, a distance of 199.62 feet to a 5/8 inch iron rod with yellow cap stamped "RPLS 3752" for angle point, same being the southwest corner of said Lot 1, same being the northwest corner of that certain tract of land conveyed to Tarrant Utility Co., by deed recorded in Volume 1064, page 558, Deed Records, Parker County, Texas;

THENCE South 00 deg. 19 min. 37 sec. East, along the common line of said Lot 1R and said Tarrant tract, a distance of 71.54 feet to a 1/2 inch iron rod found for the southeast corner of said Lot 1R, same being the northeast corner of Lot 2R, aforesaid Block 1, aforesaid The Village at Willow Park;

THENCE North 74 deg. 18 min. 41 sec. West, along the common line of said Lot 1R and said Lot 2R, a distance of 246.38 feet to a 1/2 inch iron rod with yellow cap stamped "Miller 5665" found for the southwest corner of said Lot 1R, same being the northwest corner of said Lot 2R, same being in the easterly right-of-way line of aforesaid Willow Bend Drive;

THENCE along the common line of said Lot 1R and said Willow Bend Drive as follows:
North 17 deg. 47 min. 36 sec. East, a distance of 79.89 feet to a 1/2 inch iron rod with red cap found for the beginning of a curve to the right, having a radius of 770.00 feet and a central angle of 04 deg. 52 min. 42 sec.;
Along said curve to the right, an arc distance of 65.56 feet and a chord bearing and distance of North 20 deg. 13 min. 57 sec. East, 65.54 feet to a 1/2 inch iron rod with red cap stamped "STARK 5084" found for angle point;
North 24 deg. 37 min. 28 sec. East, a distance of 60.62 feet to a 1/2 inch iron rod with red cap stamped "STARK 5084" found for angle point;
North 17 deg. 47 min. 38 sec. East, a distance of 72.76 feet to the POINT OF BEGINNING and containing 60,932 square feet or 1.398 acres of computed land, more or less.

Surveyor's Certificate

KNOW ALL MEN BY THESE PRESENTS:

That I, Timothy R. Mankin, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were property placed under my person supervision in accordance with the Subdivision Ordinance of the City of Willow Park.

Timothy R. Mankin
Registered Professional Land Surveyor No. 6122

**PRELIMINARY, THIS DOCUMENT
SHALL NOT BE RECORDED
FOR ANY PURPOSE
6/14/2018**

REPLAT
LOT 1R-1 & 1R-2, BLOCK 1
THE VILLAGE AT WILLOW PARK
AN ADDITION TO THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS
BEING A REPLAT OF
LOT 1R, BLOCK 1, THE VILLAGE AT WILLOW PARK
AN ADDITION TO THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS,
ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 389,
PLAT RECORDS, PARKER COUNTY, TEXAS
PREPARED 1-31-18
1.398 ACRES

FLOOD CERTIFICATE

As determined by the FLOOD INSURANCE RATE MAPS for Parker County, the subject property Does Not appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 09/26/2008 Community Panel No. 48367C0425E subject lot is located in Zone 'X'.
If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.

Utility Easements

Any public franchised utility, including the City of Willow Park, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvements which in any way endangers or interferes with the construction, maintenance, or efficiency of its respective systems on any of the easements shown on the plat; and they shall have the right at all times to ingress and egress upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining and addition to or removing all or part of its respective systems without the necessity at any time of procuting the permission of anyone.

ENGINEER:

VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD
SUITE 440, LB 44
GARLAND, TEXAS 75042
CONTACT: JUAN J. VASQUEZ, P.E.
972-278-2948

OWNER:

THE MORRISON GROUP, INC.
1620 WABASH
FORT WORTH, TEXAS 76107
817-907-7371

OWNER:

TCG WILLOW PARK INVESTORS, LLC
12720 HILLCREST ROAD, SUITE 650
DALLAS, TEXAS 75230

JOB NO.:	17-1118	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE:	12/14/2017	www.peisersurveying.com		
FIELD DATE:	12/12/2017	<div> 623 E. DALLAS ROAD GRAPEVINE, TEXAS 76051 817-481-1806 (O) 817-481-1809 (F)</div> <div>COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE</div> <div> Texas Society of Professional Surveyors</div>		2
SCALE:	1" = 30'			OF
FIELD:	J.D.H.			2
DRAWN:	T.R.M.			
CHECKED:	J.B.W.	tmankin@peisersurveying.com	FIRM No. 100999-00	Member Since 1977



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
---	--	------------------------------------

AGENDA ITEM: 7

Consider and act on a Final Plat of Willow Park Baptist Addition being a 35.816 acres, Wesley Franklin Survey, Abstract No. 468, City of Willow Park, Parker County, Texas.

BACKGROUND:

Willow Park Baptist Church owner of this 35.816 acre tract of land proposes to plat the property into a single lot for development of their church campus.

The property is bound to the east by Crown Pointe Blvd (80' ROW), to the south by J.D. Towles Drive (60' ROW), to the west by Crown Lane (60' ROW) and to the north by Crown Road (60' ROW). All adjacent streets will have improvements and extensions made in the immediate future. Fire lanes are to be 26 feet in width due to the building height.

The property will be served by 8 inch water mains in Crown Pointe Blvd, J.D. Towles Drive and Crown Lane. Fire hydrants will be installed along these mains and on site in accordance with I.S.O. regulations. Eight inch sanitary sewer mains in Crown Pointe Blvd. and J.D. Towles Drive will serve the lot.

Development of the property will require submittal of a site development plan as well as engineering plans including infrastructure improvements for water, sanitary sewer, Stormwater drainage and streets.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat for Willow Park Baptist church Addition meets the requirements of the Subdivision Ordinance and Staff recommends approval, with the fire lane easements being 26 foot in width.

EXHIBITS:

Final Plat
Plat Application

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A

ENGINEER:Name: Same as above

Contact: _____

Address: _____

Phone: _____

City: _____

Fax: _____

State: _____ Zip: _____

Email: _____

Signature: _____

PRINCIPAL CONTACT: _____ Owner _____ Applicant _____ Surveyor X Engineer

- Staff comment letters and mark-ups will be distributed only to the designated principle contact
- Comments will be sent via email unless otherwise specified

UTILITY PROVIDERSElectric Provider: Tri-CountyWater Provider: City of Willow ParkWastewater Provider: City of Willow ParkGas Provider (if applicable): N/A**APPLICATION FEES** _____ \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR\$325.00 \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE*Per Fee Schedule*

Additional fees (if applicable):

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

City Use Only

Fees Collected: \$ _____

\$ _____

\$ _____

\$ _____

Receipt Number: _____

PLAT REVIEW CHECKLIST:

****This checklist must be submitted with the initial plat application****

I. GENERAL:

Name of Addition: Willow Park Baptist Addition

Applicant: Barron-Stark Engineers, LP

Property Owner(s): Willow Park Baptist Church of Texas

Location of Addition: Lot 1, Blk 1 Willow Park Addition

II. REQUIRED DOCUMENTS FOR A PRELIMINARY PLAT

APPLICANT

STAFF

A. Preliminary Plat Application (original signatures)	_____	_____
B. Preliminary Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Preliminary Drainage Analysis (5 paper copies & 1 digital)	_____	_____
D. Concept Construction Plan (5 paper copies & 1 digital)	_____	_____
E. Tree Survey	_____	_____
F. Location and Dimensions of Existing Structures	_____	_____
G. Sectionalizing or Phasing of Plats	_____	_____
H. Zoning Classification of All Properties Shown on the Plat	_____	_____
I. Dimensions of all Proposed or Existing Lots	_____	_____
J. Location of 100-year Flood Limits Where Applicable	_____	_____

III. REQUIRED DOCUMENTS FOR A FINAL PLAT

A. Final Plat Application (original signatures)	<u>/</u>	<u>/</u>
B. Final Plat Drawing (5 paper copies & 1 digital copy)	<u>/</u>	_____
C. Drainage Study (5 paper copies & 1 digital)	<u>w/ Plans</u>	_____
D. Submit 1 mylar copy and 1 paper copy from county filing	<u>N/A</u>	<u>N/A</u>
E. Written Metes and Bounds Description	<u>/</u>	<u>/</u>
F. Dimensions of All Proposed or Existing Lots	<u>/</u>	<u>/</u>
G. Area in acres for each lot	<u>/</u>	<u>/</u>
H. Any Existing Structures which Encroach and Setback Lines	<u>N/A</u>	<u>N/A</u>
I. Parker County Tax Certificate	<u>w/ mylar</u>	_____
J. Plans for all water & sewer lines	<u>} Constr. Plans</u>	<u>/</u>
K. Plans for fire hydrants	<u>& Site Plan</u>	_____
L. Plans for all proposed streets and sidewalks	_____	_____

IV. REQUIRED DOCUMENTS FOR A REPLAT

A. Replat Application (original signatures)	_____	_____
B. Replat Drawing (5 paper copies & 1 digital copy)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____
J. Parker County Tax Certificate	_____	_____

V. REQUIRED DOCUMENTS FOR AN AMENDED PLAT

A. Amended Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____

VI.	REQUIREMENTS ON ALL PLATS	APPLICANT	STAFF
A.	Adjacent Property Lines, Streets, Easements	✓	✓
B.	Names of Owners of Property within 200 feet	✓	✓
C.	Names of Adjoining Subdivisions	✓	✓
D.	Front and Rear Building Setback Lines	✓	✓
E.	Side Setback Lines	✓	✓
F.	City Boundaries Where Applicable	N/A	N/A
G.	Date the Drawing was Prepared	✓	✓
H.	Location, Width, Purpose of all Existing Easements	✓	✓
I.	Location, Width, Purpose of all Proposed Easements	✓	✓
J.	Consecutively Numbered or Lettered Lots and Blocks	✓	✓
K.	Map Sheet Size of 18"x24" to 24"x36"	✓	✓
L.	North Arrow	✓	✓
M.	Name, Address, Telephone, of Property Owner	✓	✓
N.	Name, Address, Telephone of Developer	✓	✓
O.	Name, Address, Telephone of Surveyor	✓	✓
P.	Seal of Registered Land Surveyor	W. Hylar	✓
Q.	Consecutively Numbered Plat Notes and Conditions	✓	✓
R.	City of Willow Park Plat Dedication Language	✓	✓
S.	Location and Dimensions of Public Use Area	N/A	N/A
T.	Graphic Scale of Not Greater Than 1" = 200'	✓	✓
U.	All Existing and Proposed Street Names	✓	✓
V.	Dimensions of All Existing and Proposed Rights-of-Way as Specified on Master Thoroughfare Plan	✓	✓
W.	Subdivision Boundary in Bold Lines	✓	✓
X.	Subdivision Name	✓	✓
Y.	Title Block Identifying Plat Type	✓	✓
Z.	Key Map at 1"=2000'	N/A	N/A
AA.	Surveyor's Certification of Compliance	✓	✓
BB.	Texas NAD83 State Plane Coordinates (Grid) (at least 2 corners)	W. Hylar	✓
CC.	Show relationship of plat to existing "water, sewage, and drainage	Const. Plans	✓

VII.	ADDITIONAL DOCUMENTS REQUIRED ON FINAL PLATS	APPLICANT	STAFF
A.	A written and notarized statement describing the minimum improvements which the subdivider agrees to provide, conditional upon City Council approval of the final plat	✓	✓
B.	A written and notarized statement that all property taxes and assessments have been paid for past years and up to Current date. This statement shall be signed by the owner or owners (original and one copy)	✓	✓
C.	A written and notarized acknowledgement of the dedication to public use of streets, parks, water courses, drains, easements and other such public places as shown on the plat, and of payments in lieu of certain public dedications. Property designated for schools, churches, hospitals, municipal purposes, and other uses, shall be noted, as well as the conditions and procedures by which such property and monies shall be made available to prospective purchasers or governing bodies. This statement shall be signed by the owner or owners, and all persons having a mortgage or lien interest in the property. (if applicable)	✓	✓

PLEASE NOTE: After staff approval, up to fifteen (15) additional paper copies may be required for review by the Planning & Zoning Commission and City Council.

Willow Park
Plat
Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 25 ft.

Side building setback: 25 ft.

Does the site include any utility/electric/gas/water/sewer easements?

X Yes

No

Does the site include any drainage easements?

X Yes

No

Does the site include any roadway/through fare easements?

X Yes

No

Staff Review:

Does the plat include all the required designations?

Yes

No

Are the setbacks for the building sufficient?

Yes

No

Are there any easement conflicts?

Yes

No

Do the proposed easements align with neighboring easements? N/A

Yes

No

Are the proposed easements sufficient to provide service?

Yes

No

Does the proposed project pose any planning concerns?

Yes

No

26' ACCESS ESMNTS. REQD.

Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature:

BETTY CHEW

Date: 11/18/2018

Willow Park
Plat
Public Works Review

Applicant Questions:

Is the project serviced by an existing road? X Yes No
If yes, which road? Crown Lane, Crown Pointe Blvd, Crown Road

Is the project serviced by an existing water line? Yes No
If yes, what size line? 8 & 12

Will the project require the extension of a water line? Yes No

Does the project use well water? X No Drinking Irrigation
If yes, which aquifer does the well pull from? _____

Is the project serviced by an existing sewer line? Yes No
If yes, what size line? 8"

If no, what type and size is the septic system? _____

Staff Review:

Will servicing this project require additional infrastructure beyond what is identified in the Capital Improvement Plan?

Yes

No

Any additional concerns: _____

Approved

Not Approved

Needs More Information or Corrections

Public Works Approval Signature: RAYMOND JOHNSON Date: 11/13/2018

Willow Park
Plat
Flood Plain Review

Applicant Questions:

Is any part of the plat in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		
Is the footprint of any built improvement in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		
Is the footprint of any habitable structure in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No
If yes, what is the base flood elevation for the area? <u>N/A</u>		

Staff Review:

Base flood elevations confirmed? <u>N/A</u>	Yes	No
Does the proposed project pose any safety concerns?	Yes	<input checked="" type="radio"/> No

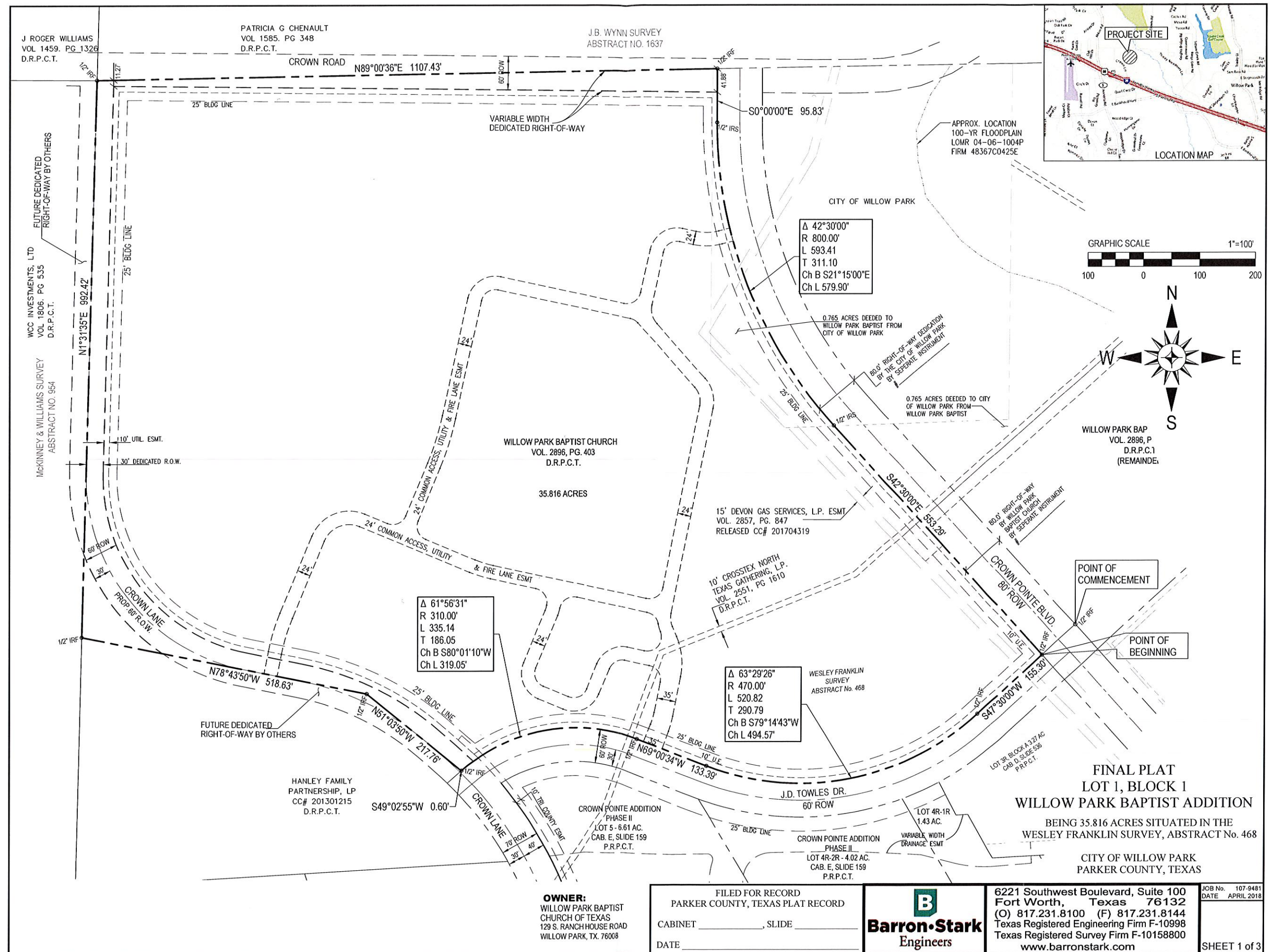
☒ Approved

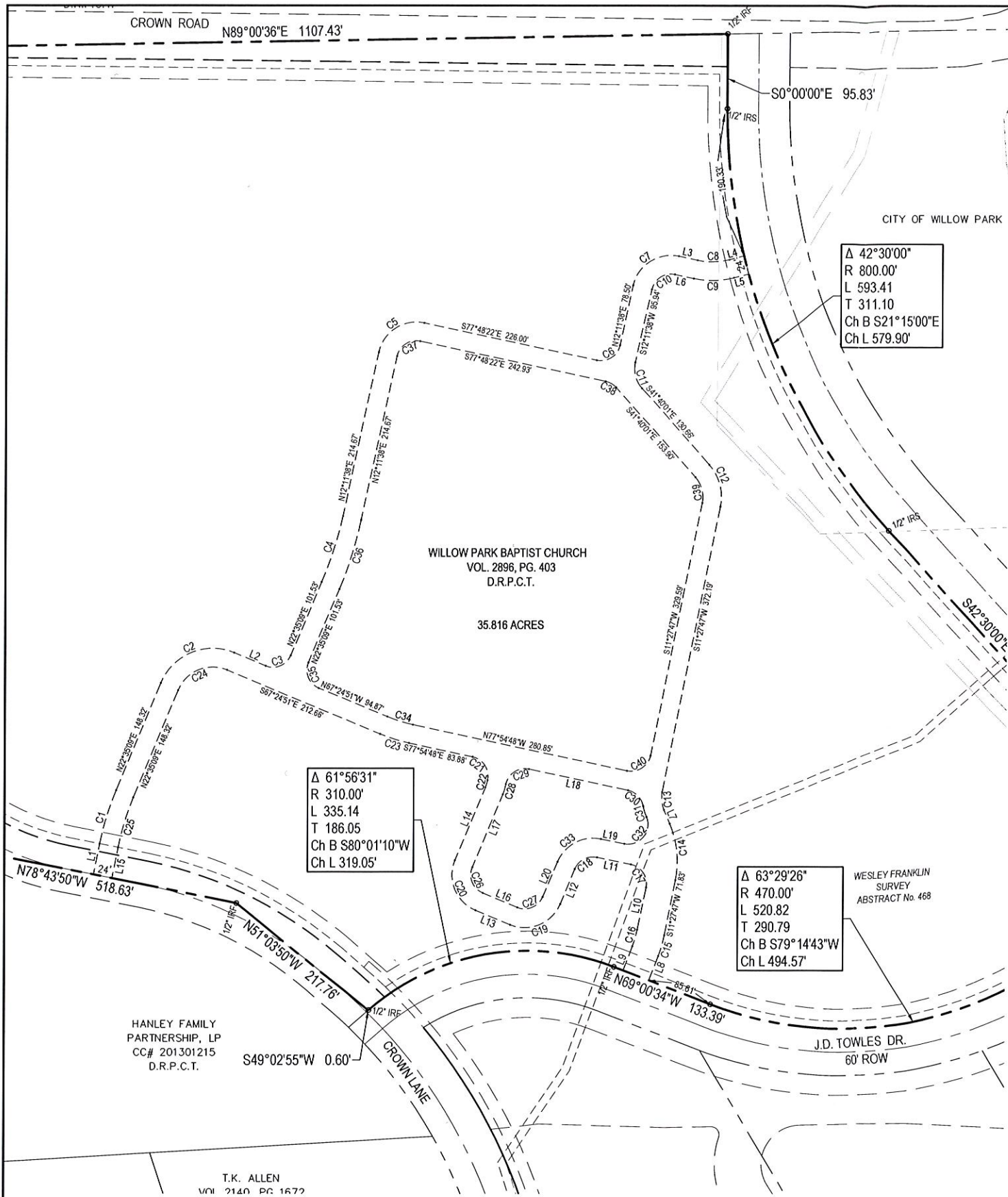
☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: DEREK TURNER

Date: 11/13/2018





Line Table		
Line #	Length	Direction
L1	39.999	S11° 16' 10.00\"W
L2	43.787	S67° 24' 50.81\"E
L3	24.797	S77° 48' 21.74\"E
L4	19.687	S75° 30' 32.31\"W
L5	19.687	S75° 30' 32.31\"W
L6	24.797	S77° 48' 21.74\"E
L7	19.431	S23° 34' 27.83\"E
L8	33.052	S20° 59' 25.67\"W
L9	33.052	S20° 59' 25.67\"W
L10	55.058	N11° 27' 47.22\"E
L11	44.586	S78° 20' 35.49\"E
L12	48.519	N22° 35' 09.19\"E
L13	48.000	N67° 24' 50.81\"W
L14	100.786	N22° 35' 09.19\"E
L15	39.999	S11° 16' 10.00\"W
L16	48.000	N67° 24' 50.81\"W
L17	100.786	N22° 35' 09.19\"E
L18	129.664	S77° 54' 47.98\"E
L19	30.892	S78° 20' 35.49\"E
L20	48.519	N22° 35' 09.19\"E

Curve Table			
Curve #	Length	Radius	Delta
C1	71.50	362.00	011°18'59\"
C2	113.10	72.00	090°00'00\"
C3	39.27	25.00	090°00'00\"
C4	88.51	488.00	010°23'31\"
C5	76.97	49.00	090°00'00\"
C6	39.27	25.00	090°00'00\"
C7	76.97	49.00	090°00'00\"
C8	40.99	88.00	026°41'06\"
C9	52.16	112.00	026°41'06\"
C10	39.27	25.00	090°00'00\"
C11	35.72	38.00	053°51'39\"
C12	57.49	62.00	053°07'48\"
C13	23.24	38.00	035°02'15\"
C14	73.38	120.00	035°02'15\"
C15	27.85	167.50	009°31'38\"
C16	22.03	132.50	009°31'38\"
C17	39.19	25.00	089°48'23\"
C18	34.50	25.00	079°04'15\"
C19	76.97	49.00	090°00'00\"
C20	76.97	49.00	090°00'00\"
C21	39.27	25.00	090°00'00\"
C22	6.96	38.00	010°29'57\"
C23	38.85	212.00	010°29'57\"
C24	75.40	48.00	090°00'00\"
C25	66.76	338.00	011°18'59\"
C26	39.27	25.00	090°00'00\"
C27	39.27	25.00	090°00'00\"
C28	11.36	62.00	010°29'57\"
C29	39.27	25.00	090°00'00\"
C30	29.74	25.00	068°10'12\"

Curve Table			
Curve #	Length	Radius	Delta
C31	14.44	62.00	013°20'43\"
C32	54.43	25.00	124°44'44\"
C33	67.62	49.00	079°04'15\"
C34	34.45	188.00	010°29'57\"
C35	39.27	25.00	090°00'00\"
C36	92.86	512.00	010°23'31\"
C37	39.27	25.00	090°00'00\"
C38	15.77	25.00	036°08'21\"
C39	35.24	38.00	053°07'48\"
C40	39.54	25.00	090°37'25\"

FINAL PLAT
LOT 1, BLOCK 1
WILLOW PARK BAPTIST ADDITION
BEING 35.816 ACRES SITUATED IN THE
WESLEY FRANKLIN SURVEY, ABSTRACT No. 468

CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

FILED FOR RECORD
PARKER COUNTY, TEXAS PLAT RECORD
CABINET _____, SLIDE _____
DATE _____



6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com

JOB No. 107-9481
DATE APRIL 2018
SHEET 2 of 3

LEGAL DESCRIPTION

BEING A 35.816 ACRE TRACT OF LAND SITUATED IN THE WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468, CITY OF WILLOW PARK, PARKER COUNTY, TEXAS AND BEING A PORTION OF THE WILLOW PARK BAPTIST CHURCH OF TEXAS TRACT AS RECORDED IN VOLUME 2896, PAGE 403; PARKER COUNTY, TEXAS.

COMMENCING AT A ½" IRON ROD FOUND IN THE NORTHEAST CORNER OF CROWN POINTE BLVD RIGHT-OF-WAY AND J.D. TOWLES RIGHT-OF-WAY CROWN POINTE ADDITION PHASE II AS RECORDED IN CABINET E, SLIDE 159 , PLAT RECORDS, PARKER COUNTY TEXAS

THENCE SOUTH 47° 30' 00" WEST WITH THE NORTH LINE OF SAID J.D. TOWLES DRIVE 80.00 FEET TO THE POINT OF BEGINNING; SAID POINT BEING THE SOUTHEAST CORNER OF A PORTION OF LAND CONVEYED TO WILLOW PARK BAPTIST CHURCH AS RECORDED IN VOLUME 2896, PAGE 403, DEED RECORDS, PARKER COUNTY, TEXAS

BEGINNING AT A SAID CORNER, A ½" IRON FOUND IN THE NORTH RIGHT OF WAY LINE OF SAID J.D. TOWLES DRIVE, SOUTH 47° 30' 00" WEST A DISTANCE OF 153.30 FEET TO A ½" IRON FOUND, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT WITH A RADIUS OF 470.00 FEET;

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE OF J.D TOWLES DRIVE AND SAID CURVE TO THE RIGHT THROUGH THE CENTRAL ANGLE OF 63° 29' 26" WITH AN ARC LENGTH OF 520.82 FEET WHOSE CHORD BEARS SOUTH 79° 14' 43" WEST 494.57 FEET TO A ½" IRON FOUND;

THENCE NORTH 69° 00' 34" WEST A DISTANCE OF 133.39 FEET TO A ½" IRON FOUND, SAID POINT BEING A CURVE TO THE LEFT WITH A RADIUS OF 310.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 61° 56' 31" WITH AN ARC LENGTH OF 335.14 FEET, WHOSE CHORD BEARS SOUTH 80° 01' 10" WEST 319.05 FEET TO A ½" IRON FOUND;

THENCE SOUTH 49° 02' 55" WEST A DISTANCE OF 0.60' FEET TO A ½" IRON FOUND, SAID POINT BEING ON THE NORTH EASTERLY LINE OF A TRACT OF LAND CONVEYED TO HANLEY FAMILY PARTNERSHIP, LP AS RECORDED IN COUNTY CLERKS FILE NUMBER 201301215, DEED RECORDS, PARKER COUNTY, TEXAS;

THENCE NORTH 51° 03' 50" WEST ALONG THE NORTHEAST LINE OF SAID HANLEY FAMILY PARTNERSHIP TRACT AND DEPARTING THE SAID NORTH LINE OF J.D TOWLES DRIVE, A DISTANCE OF 217.76 FEET TO A ½" IRON FOUND;

THENCE NORTH 78° 43' 50" WEST A DISTANCE OF 518.63 FEET TO A ½" IRON FOUND, SAID POINT BEING ON THE NORTHWEST CORNER OF SAID HANLEY TRACT, SAID POINT BEING ON THE EAST LINE OF WCC INVESTMENTS, LTD AS RECORDED IN VOLUME 1806, PAGE 535, DEED RECORDS, PARKER COUNTY, TEXAS, SAID POINT BEING ON THE SOUTHWEST CORNER OF SAID WILLOW PARK BAPTIST CHURCH TRACT;

THENCE NORTH 01° 31' 35" EAST ALONG THE EAST LINE OF SAID WCC INVESTMENTS TRACT AND THE WEST LINE OF SAID WILLOW PARK BAPTIST CHURCH TRACT A DISTANCE OF 992.42 FEET TO A ½" IRON FOUND; SAID POINT BEING THE NORTHWEST CORNER OF SAID WILLOW PARK BAPTIST CHURCH TRACT;

THENCE NORTH 89° 00' 36" EAST ALONG THE NORTH LINE OF SAID WILLOW PARK BAPTIST CHURCH TRACT A DISTANCE OF 1107.43 FEET TO A ½" IRON FOUND; SAID POINT BEING ON THE WEST LINE OF CROWN POINTE BLVD AS RECORDED IN INSTRUMENT # _____; AND THE NORTHEAST CORNER OF SAID WILLOW PARK BAPTIST CHURCH TRACT;

THENCE SOUTH 0° 00' 00" EAST A DISTANCE OF 95.83' FEET TO A ½" IRON SET, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT WITH A RADIUS OF 800.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 42° 30' 00" WITH AN ARC LENGTH OF 593.41 WHOSE CHORD BEARS SOUTH 21° 15' 00" EAST 579.90 FEET;

THENCE SOUTH 42° 30' 00" EAST 553.29 FEET TO THE POINT OF BEGINNING AND CONTAINING 35.816 ACRES, 1,560,139 SQUARE FEET OF LAND, MORE OR LESS.

Owner Dedication

Now therefore, know all men by these presents:

That WILLOW PARK BAPTIST CHURCH OF TEXAS, acting herein by and through their duly authorized representatives, do hereby certify and adopt this plat designating the hereinabove described property as Lot 1, BLOCK 1, WILLOW PARK BAPTIST ADDITION, an addition to the City of Willow Park, Texas ("City") and does hereby dedicate to the public use forever, the fire lanes, easements and encumbrances shown hereon. WILLOW PARK BAPTIST CHURCH OF TEXAS, herein certifies the following:

1. The fire lanes are dedicated for fire lane purposes.
2. The public improvements and dedication shall be free and clear of all debt, liens, and/ or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated or shown on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City.
5. The City is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easement may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and the City's use thereof.
7. The City and public utilities shall at all times have a right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems or public use without the necessity of procuring permission from anyone.
8. Any modification of this document shall be by means of plat and shall be approved by the City.

This plat is approved subject to the conditions herein and to all platting ordinances, rules, regulations and resolutions of the City of Willow Park, Texas.

WITNESS, OUR hands this the _____ day of _____, 2018.

WILLOW PARK BAPTIST CHURCH OF TEXAS

By: _____
Name: Clark Boshier
Title: Senior Pastor

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Clark Boshier, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas

This is to certify that I, Charles F. Stark, a Registered Professional Land Surveyor in the State of Texas, have platted the above subdivision from an actual survey on the ground and all lot corners, angle points, and points of curve shall be property marked on the ground upon completion of construction, and that this plat correctly represents the survey from which it is made.

Charles F. Stark, RPLS
Texas Registration No. 5084

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Charles F. Stark, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas



USE OF THIS ELECTRONIC SEAL/SIGNATURE
AUTHORIZED BY CHARLES F. STARK, R.P.L.S.
TEXAS REGISTRATION NO. 5084

GENERAL NOTES:

1. No portion of subject property lies within a FEMA designated flood plain area. Flood Insurance Rate Map 48367 C 0425 E. Effective date September 26, 2008.
2. Basis of Bearing for this plat is the Final Plat of Lots 1 & 2, Block A, Crown Pointe Addition as recorded in Cabinet D, Slide 73, Plat Records Parker County, Texas.
3. Coordinates shown hereon are referenced to the Texas State Plain Coordinate System, NAD83, Texas North Central Zone.

FINAL PLAT
LOT 1, BLOCK 1
WILLOW PARK BAPTIST ADDITION

BEING 35.816 ACRES SITUATED IN THE
WESLEY FRANKLIN SURVEY, ABSTRACT No. 468

CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

OWNER:
WILLOW PARK BAPTIST
CHURCH OF TEXAS
129 S. RANCH HOUSE ROAD
WILLOW PARK, TX. 76008

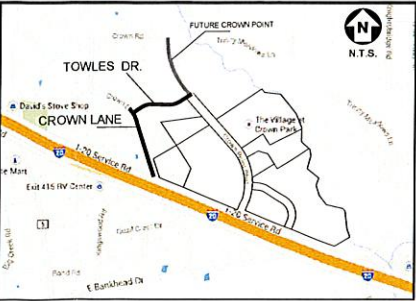
FILED FOR RECORD 6221 Southwest Boulevard, Suite 100
PARKER COUNTY, TEXAS PLAT RECORDS FOR WORTH, TEXAS 76132
CABINET _____, SLIDE _____ (O) 817.231.8144
DATE _____ Texas Registered Engineering Firm F-10998
www.barronstark.com

B
Barron-Stark
Engineers

10221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com

1000B PLOD 1107-040704
DATE: APR 11, 2018

SHEET 3 of 3



LOCATION MAP



P & Z AGENDA ITEM BRIEFING SHEET

Meeting Date: November 27, 2018	Department: Development Services	Presented By: Betty Chew
---	--	------------------------------------

AGENDA ITEM: 8

Consider and act on a request to rezone from R-3 Multifamily District to PD Planned Development District, 8.01 acres J. Ozer Survey, Abstract No. 1029, City of Willow Park, Parker County, Texas, located at 8892 East Bankhead Hwy.

BACKGROUND:

The proposed Planned Development consists of an 8.01 acre tract of land to be developed as a Senior Living Complex.

The property is located in Planning Area 5, as identified in the City's Comprehensive Plan. Planning Area 5 is the far southern sector of Willow Park. The area is largely vacant with the exception of a large lot residential subdivision on the western side and a manufactured home park on the eastern side. The area should continue to be primarily residential. Bankhead Highway serves as the east-west arterial thoroughfare for the south side of Willow Park. Higher density residential options are desired as a buffer between commercial areas along Interstate 20 and lower density residential neighborhoods.

The Comprehensive Plan states: Create a Range of Housing Opportunities and Choices. A range in housing options is important to ensure that "full-life cycle" housing is available to enable residents to stay within the community throughout their lives, even as housing desires change. Smaller start homes, larger homes, apartments, townhomes, and retirement facilities are important to ensure adequate housing for young adults, families with children, empty-nesters and retirees. This is a housing option the City does not have.

The owner is requesting PD Planned Development District zoning to further define the development and to ensure a coordinated, secure and attractive Senior Living Community. The property will be developed with a 144 unit age restricted (62 years of age or older) housing complex with recreation facilities including swimming pools, club house, recreation courts, walking trails and other private recreation facilities.

Property owners were notified by mail and Notice of Public Hearing has been published and posted.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff supports a recommendation for approval of the PD Planned Development District zoning.

EXHIBITS:

Application
Concept Plan
Elevation Drawings
Planned Development Regulations

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 · Fax: (817) 441-6900

PLANNED DEVELOPMENT APPLICATION

Name of Applicant/Company: BAR-KO LAND CO., LLC Phone: () 817-253-2494

Address of Applicant: 2121 McCLENDON RD., WEATHERFORD, TX 76088
Street City State Zip

Applicant's Fax: () N/A Email: bryson704@hotmail.com

Property Owner's Name: SAME AS APPLICANT Phone: ()

Owner's Address: _____
Street City State Zip

Owner's Fax: () Email: _____

Engineer's Name: GARRON-STARK Phone: () 817-231-8100

Engineer's Address: 4221 Southwest Blvd., F.W. TX 76132
Street City State Zip

Engineer's Fax: () Email: chucks@barronstark.com

Location of Property: BANKHEAD COMMONS

Legal Description of Property: 8.01 ACRES J. OBER SURVEY #1029

Project Name: BANKHEAD COMMONS

Brief Description of Project: PROPOSED SR. LIVING COMPLEX

Existing Zoning: MP R-3 Existing Use: VACANT Existing Acres: 8.01 Existing Lots: 0

Intended Use of property: ☒ Residential ☐ Commercial

Proposed Lots: 1 # Proposed Units: 144

Application Fee: _____ \$150.00

Signature of Owner:

CHUCK STARK, AUTHORIZED AGENT

Before me, the undersigned authority, on this day personally appeared CHUCK STARK, know to me by the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 40th day or NOVEMBER, 2018.

NOTARY PUBLIC: Cynthia Kay Scoggin



CYNTHIA KAY SCOGGIN
Notary ID #7404668
My Commission Expires
September 5, 2022

For Office Use Only

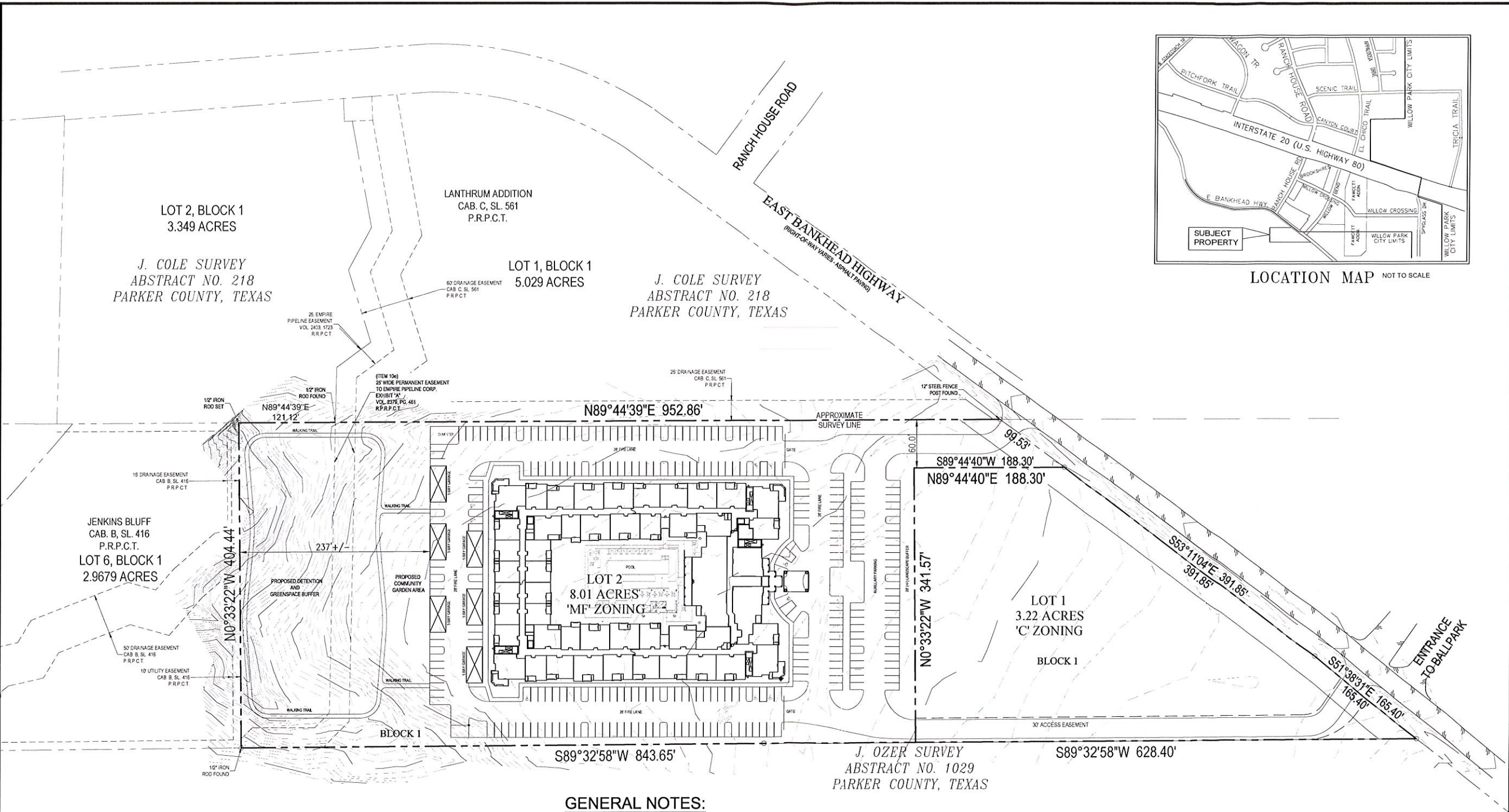
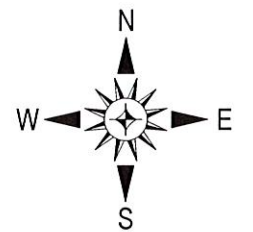
Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted By: _____

USER: CYNTHIA SWIFT
PLOTTED ON: 11/02/2018 9:37 AM
FILE NAME: T:\BARRON STARK\SWIFT\ENG\107\MAIN\LAND SALES\10711 ACRES BANKHEAD HWY\TITLE 1: 107000 CAD00 DWG\10711 ACRES BANKHEAD HWY CONCEPTUAL SITE PLAN REV 11-02-2018.DWG



GENERAL NOTES:

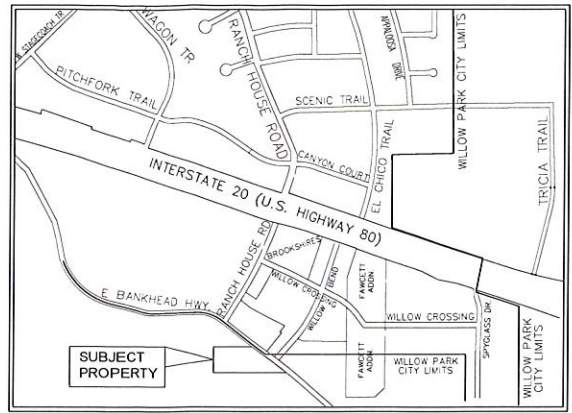
- MINIMUM PARKING REQUIRED:
98-1 BDR @ 1.0 SPACE/UNIT 98
46-2 BDR @ 1.5 SPACE/UNIT 63
STAFF (MAX SHIFT) 15

MINIMUM REQUIREMENT: 176 SPACES
- ALL HANDICAP PARKING SPACES ARE VAN ACCESSIBLE AND SHALL MEET TAS/ADA REGULATIONS.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6" HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER.
- PROPERTY TO BE SERVED BY ESD1 PARKER COUNTY.
- PROPERTY IS SITUATED IN ALEDO ISD.
- PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER.

NOTES:

1.) BEARINGS & COORDINATES SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, N.A.D. 83 DATUM (TEXAS NORTH CENTRAL ZONE 4202) DERIVED FROM RESOLVED OPUS SOLUTIONS.

2.) ANY REFERENCE TO THE 100 YEAR FLOOD PLAIN OR FLOOD HAZARD ZONES ARE AN ESTIMATE BASED ON THE DATA SHOWN ON THE FLOOD INSURANCE RATE MAP PROVIDED BY FEMA AND SHOULD NOT BE INTERPRETED AS A STUDY OR DETERMINATION OF THE FLOODING PROPENSITIES OF THIS PROPERTY. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR PARKER COUNTY, TEXAS, DATED SEPTEMBER 26, 2008 MAP NO. 483670M25E, THE PROPERTY DESCRIBED HEREIN DOES NOT APPEAR TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA.



LOCATION MAP NOT TO SCALE

CONCEPTUAL ZONING SITE PLAN BANKHEAD COMMONS

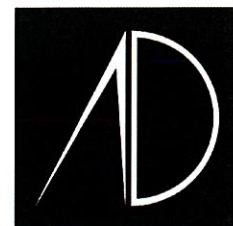
LOT 2, BLOCK 1
8.01 Acres Situated in the
J. OZER SURVEY, Abstract No. 1029
Parker County, Texas

OWNER:
BAR-KO LAND COMPANY, LLC
c/o BRYSON ADAMS
2121 McCLENDON ROAD
Weatherford, Texas 76088
817-253-2494

Barron-Stark
Engineers

NO.	REVISIONS	DESCRIPTION	DATE

CLIENT No.	107
PROJECT No.	9370
DESIGN:	cfs
DRAWN:	gg
CHECKED:	cfs



ARCHITECTURE DEMAREST
 2320 Valinda Street, Studio B, Dallas, Texas 75207 • T: 214.748.6655

CONCEPTUAL ELEVATION

SCALE : 1/8" = 1'-0"

18041: BANKHEAD COMMONS
 WILLOW PARK, TX
 BAR-KO LAND COMPANY, LLC

11.12.2018

PD ZONING ORDINANCE for BANKHEAD COMMONS

AN ORDINANCE AMENDING CHAPTER 14, "ZONING", THE ZONING ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS BY AMENDING THE OFFICIAL ZONING MAP AND CHANGING THE ZONING OF APPROXIMATELY EIGHT ACRES OUT OF THE J. OZER SURVEY, ABSTRACT NO. 1029, CITY OF WILLOW PARK, PARKER COUNTY, TEXAS FROM R-3 MULTI-FAMILY TO PD PLANNED DEVELOPMENT DISTRICT; MAKING THIS ORDINANCE CUMULATIVE OF PRIOR ORDINANCES; PROVIDING FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING A SAVINGS CLAUSE; AUTHORIZING PUBLICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a zoning change was initiated by Bar-Ko Land Company, LLC under Case Number _____; and

WHEREAS, Zoning Case _____ was approved by the Willow park City Council on _____, 2018, and

WHEREAS, Bar-Ko Land Company, LLC desires to further amend the approved Zoning Case Number _____, and

WHEREAS, the City of Willow Park has complied with the notification requirements of the Texas Local Government Code and the Willow Park Zoning Ordinance, and

WHEREAS, the City Council and Planning and Zoning Commission have held public hearings and the Planning and Zoning Commission has made a recommendation on the proposed zoning amendment; and

WHEREAS, the City Council has determined that the proposed zoning ordinance amendment is in the best interest of the City of Willow Park.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:

SECTION 1

The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as shown on the Concept Zoning Site Plan attached hereto as Exhibit 'A', and described by metes and bounds description attached as Exhibit 'B', by changing the zoning of said property from R-3 Multifamily District to PD Planned Development district, including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

The Bankhead Commons Planned Development District establishes an age restricted Senior Living Community subject to the following conditions.

BANKHEAD COMMONS
PD DEVELOPMENT STANDARDS
SECTION 2

1.0 Planned Development – Senior Living Community

1.01 General Description: Senior Living units are attached units intended for lease. Access shall be allowed from access drives or parking areas connecting to adjacent public roadways. Requirements for development shall be governed by standards as described below and the City of Willow Park R-3 Design Standards (Zoning Ordinance Article 14.06.008). If there are conflicts between the requirements of Article 14.06.008 and these Planned Development requirements, the Planned Development requirements shall govern.

1.02 Age Limitation: Bankhead Commons shall be a Senior Living Community with the requirement for a minimum of one primary resident of each living unit to be 62 years of age or older.

1.03 Permitted Uses: Permitted uses as referenced below shall be permitted within the Planned Development District. No Single Family, Duplex or Townhome uses will be allowed within this tract.

Permitted Uses:

Community Center – Private

Attached dwelling units, age restricted for Seniors 62 years of age or older

Private Recreation Facilities

Neighborhood recreation facilities including but not limited to swimming pools, clubhouse facilities, leasing office, and recreation courts.

Accessory Uses Allowed:

Accessory buildings

Off-Street Parking

Swimming pool – private

1.04 Density: The maximum allowed density for the entire tract will be 18 units per gross acre.

1.05 Required Parking: Parking requirement for Bankhead Commons shall be as follows:

- a. One (1) off-street parking space for each one-bedroom or efficiency dwelling unit.
- b. One and one-half (1.5) off-street parking spaces for each two bedroom dwelling unit.
- c. Parking shall be permitted within all required front, side and rear yard areas.
- d. Parking and driveways shall be paved of concrete, in accordance with paving standards established by the City of Willow Park's Subdivision Ordinances.
- e. A minimum of 10% of the required parking spaces shall be enclosed garage or covered parking.

1.06 Building Materials: A minimum of eighty-five (85%) percent of the total exterior wall surfaces (excluding portals and fenestrations) of all structures shall be finished in two or more of the following materials: glass, stone, man-made-stone, brick, split face concrete block, stucco utilizing a three-step process or similar materials or any combination thereof. The use of wood, cementitious fiberboard, hardy board, tile or EFIS as an exterior building material shall be limited to a maximum of ten percent(10%), excluding door and window openings of the total wall surfacing below the top plate line. All stairwells will be located interior to the building structures and not allowed along the exterior façade.

1.07 Architectural Standards:

- a. Façade articulation (offsets) of not less than 3 feet in depth are required for every 50' in building surface length.
- b. Patios shall not protrude more than one-foot from surrounding building exterior walls
- c. Maximum building length shall be 400 feet.
- d. Maximum building width shall be 260 feet.

1.07 Minimum Dwelling Size:

The minimum floor area for units within the Planned

Development shall be:

- o One bedroom unit, 725 square feet
- o Two bedroom unit, 875 square feet
- o Minimum floor area shall exclude common corridors, basements, open and screened porches/ decks and garage.

1.08 Lot Coverage: No more than forty percent (40%) of the total lot area shall be covered by main buildings and no more than fifty percent (50%) of the total lot area shall be covered by the combined area of the main buildings and accessory buildings. All buildings shall comply with those standards contained in the Willow Park Zoning Ordinance.

1.09 Front Yard: The minimum depth of the front yard shall be twenty-five (25') feet.

1.10 Side Yard: The minimum side yard on each side of the lot shall be twenty-five (25) feet. A side yard adjacent to a public street shall be a minimum of fifteen (15) feet. A building separation of twenty (20) feet shall be provided between structures up to three stories in height. Roof or eaves may overhang by no more than four (4) feet into the side yard fronting street on corner lots only. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

1.11 Rear Yard: The minimum depth of the rear yard shall be fifty (50) feet. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

- 1.12 **Building Height:** The permitted height of any structures shall not exceed three (3) stories with a maximum plate height of the third story being 35 feet. Maximum height to any point on the roof line shall be 45 feet.
- 1.13 **Gated Entry:** It is the intent of this Planned Development to provide a secure living environment for the residents of the development. Visitor parking and access to the leasing office area will be provided at the entry to the project but access to the residential area may be restricted by security gates. The balance of the property may be secured by an appropriate security fence acceptable to City of Willow Park prohibiting pedestrian traffic to enter into the residential areas.
- 1.14 **Open Space:** The Bankhead Commons Tract will incorporate private open space into the development as shown on the attached concept plan (Exhibit A). There is no requirement for public open space within the Bankhead Commons parcel. All private open space shall be owned and maintained by the owner of Bankhead Commons.
- 1.15 **Garbage and Trash Collection:** The garbage and trash collection will be provided by a private collection service. All freestanding dumpsters shall be screened on all four sides with an opaque masonry enclosure measuring to a height at least six (6) inches above the top of the dumpster. The opaque masonry enclosure shall be constructed of material consistent with that of the building structures.
- 1.16 **Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.
- 1.17 **Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements.

SECTION 3 CUMULATIVE CLAUSE

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

SECTION 4 PENALTY CLAUSE

Any person, firm, association of persons, company, corporation, or their agents, servants, or employees violating or failing to comply with any of the provisions of this article shall be fined, upon conviction, not less than one dollar (\$1.00) nor more than two thousand dollars (\$2,000.00), and each day any violation of noncompliance continues shall constitute a separate and distinct offense. The penalty provided herein shall be cumulative of other remedies provided by State Law, and the power of injunction as provided in V.T.C.A Local Government Code 54.012 and as may be amended, may be exercised in enforcing this article whether or not there has been a complaint filed.

SECTION 5 EFFECTIVE DATE

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

PASSED AND APPROVED this the _____ day of _____, 2018.

Mayor

ATTEST:

City Secretary

APPROVED AS TO FORM:

City Attorney

EXHIBIT A
_____ WILLOW PARK ZONING EXHIBIT CONCEPT PLAN

EXHIBIT B
MEETS & BOUNDS DESCRIPTION

BEING 8.01 acres situated in the J. OZER SURVEY, Abstract No. 1029, Parker County, Texas, being a portion of that certain tract of land described in deed to BAR-KO-LAND COMPANY, LLC, recorded in Instrument Number 201800575, Official Public Records, Parker County, Texas, said 8.01 acres being more particularly described as follows:

BEGINNING at a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" at the northwest corner of said BAR-KO-LAND COMPANY, LLC, tract, the northeast corner of Lot 6, Block 1, JENKINS BLUFF, an Addition in Parker County, Texas, according to the Plat recorded in Plat Cabinet B, Slide 416, Plat Records, Parker County, Texas, said BEGINNING POINT also being in the south line of Lot 2, Block 1, LANTHRUM ADDITION, an Addition in Parker County, Texas, according to the Plat recorded in Plat Cabinet C, Slide 561, Plat Records, Parker County, Texas, from which a 1/2" iron rod found at the southeast corner of said Lot 2, Block 1, LANTHRUM ADDITION, bears N 89°44'39" E, a distance of 121.12 feet, for reference;

THENCE N 89°44'39" E, along the common line of said BAR-KO-LAND COMPANY, LLC, tract and said Lot 2, Block 1, LANTHRUM ADDITION, at a distance of 121.12 feet, passing said 1/2" iron rod found at the southeast corner of said Lot 2, Block 1, LANTHRUM ADDITION and being the southwest corner of Lot 1, Block 1 of said LANTHRUM ADDITION, and continuing along the common line of said BAR-KO-LAND COMPANY, LLC, tract and said Lot 1, Block 1, LANTHRUM ADDITION, in all, a distance of 952.86 feet to a 12" steel fence corner post found at the northeast corner of said BAR-KO-LAND COMPANY, LLC, tract, in the southwesterly line of East Bankhead Highway (Right-of-Way varies);

THENCE S 53°11'04" E, along the southwesterly line of said East Bankhead Highway, generally along a fence, a distance of 99.53 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084" for the most easterly southeast corner of the herein described 8.01 acre tract;

THENCE S 89°44'40" W, leaving the southwesterly line of said East Bankhead Highway, a distance of 188.30 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084";

THENCE S 00°33'22" E, a distance of 341.57 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084" in the south line of said BAR-KO-LAND COMPANY, LLC, tract and being in the north line of that certain tract of land described in deed to J.P. Elder, III and wife, Susan Elder, recorded in Volume 656, Page 197, Deed Records, Parker County, Texas, said capped iron rod set being the most southerly southeast corner of the herein described 8.01 acre tract, from which a 3" steel fence corner post found in the southwesterly line of said East Bankhead Highway, at the southeast corner of said BAR-KO-LAND COMPANY, LLC, tract bears N 89°32'58" E, a distance of 628.40 feet, for reference;

THENCE S 89°32'58" W, along the common line of said BAR-KO-LAND COMPANY, LLC, tract and said Elder tract, generally along a fence, a distance of 843.65 feet to a 1/2" iron rod found at the southwest corner of said BAR-KO-LAND COMPANY, LLC, tract and the southeast corner of said Lot 6, Block 1, JENKINS BLUFF;

THENCE N 00°33'22" W, along the common line of said BAR-KO-LAND COMPANY, LLC, tract and said Lot 6, Block 1, JENKINS BLUFF, a distance of 404.44 feet to the POINT OF BEGINNING and containing 8.01 acres (348,920 square feet) of land, more or less.

PROPERTY OWNERS WITHIN 200 FT OF ZONING REQUEST:

Willow Park Baptist Church (R00033581)

129 Ranch House Rd.

Willow Park, TX. 76008-2649

DHKB Investments LLC (R0098086)

18 Fairview Ln.

Aledo, TX. 76008-4571

Mailed 11/13/2018