



**City of Willow Park
Regular Meeting Agenda
Municipal Complex
516 Ranch House Rd, Willow Park, TX 76087
Tuesday, June 12, 2018 at 7:30 p.m.**

Call to Order

Determination of Quorum

Invocation & Pledge of Allegiance

David Green of Christ Chapel will be conducting our invocation and pledge to the U.S. flag.

Presentations & Proclamations

A. Proclamation – John Gholson

Public Comments (Limited to five minutes per person)

Residents may address the Council regarding an item that is not listed on the agenda. Residents must complete a speaker form and turn it in to the Secretary five (5) minutes before the start of the meeting. The Rules of Procedure states that comments are to be limited to five (5) minutes. The Texas Open Meetings Act provides the following:

- (a) If, at a meeting of a governmental body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by this subchapter, the notice provisions of this subchapter do not apply to:
 - (1) A statement of specific factual information given in response to the inquiry; or
 - (2) A recitation of existing policy in response to the inquiry.
- (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

Consent Agenda

All matters listed in the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be a separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.

A. Approve City Council Meeting Minutes – May 15, 2018

Regular Agenda Items

1. Discussion/ Action: To consider and take action on accepting the resignation of Councilmember John Gholson and possible method of filling the Council vacancy.
2. Discussion/ Action: To consider and take action on the following Board and Commission appointments:
 - a. Parks Board - 1 vacancy
 - b. Planning and Zoning Commission – 2 vacancies
3. Discussion/ Action: To consider and take action on a Final Plat of Lot 4R-1R, 4R-2R and Lot 5; Block A; Crown Pointe Addition Phase II.
4. Discussion/ Action: To consider and take action on a Site Plan for professional office building on Lot 2, 3, 4; Block 1, WAM Addition.
5. Discussion/ Action: To consider and take action on a request for a Special Use Permit to operate and expand a Masonry supply store and warehouse in the Commercial/IH-20 Overlay District on Lot 1, Block 1, Bell Natural Stone Addition located at 4801 E IH-20 Service Road.
 - a. Open Public Hearing
 - b. Close Public Hearing
6. Discussion/ Action: To consider and take action on a request to rezone from R-1 Single Family/IH-20 Overlay District to C Commercial/IH-20 Overlay District, a 15.67 acre tract of land in the David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas, located between the IH-20 Service Road and Bankhead Hwy. east of Clear Fork Circle.
 - a. Open Public Hearing
 - b. Close Public Hearing

c. Adopt Ordinance 770-18

7. Discussion/ Action: To consider and take action on a Final Plat Crown Bluff Addition a 15.69-acre tract of land, David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas.
8. Discussion/ Action: To consider and take action to implement Stage 2 Water Conservation.
9. Discussion/ Action: To consider and take action on giving the Public Works Director authority to implement Water Conservation Stages as necessary.
10. Discussion/ Action: To consider and take action on Economic Development consulting firm.
11. Discussion/ Action: To consider and take action on awarding a construction contract to build a new Public Safety Building.
12. Discussion/ Action: To consider and take action on selection of Engineering, Bond Counsel, and Financial Advisory firms for the Water Supply Improvements project funded by the Texas Water Development Board Drinking Water State Revolving Fund and as required for obtaining a water supply from the City of Fort Worth.

Executive Session

Pursuant to Chapter 551, Texas Government Code, the City Council reserves the right to convene in Executive Session(s) from time to time as deemed necessary during this meeting to seek legal advice from the City Attorney regarding any item on the agenda as permitted by law. In addition, the Council may convene into Executive Session to discuss the following:

- A. The City Council may reconvene in open session in the City Council Conference Room and act on any item listed on the Executive Session Agenda in accordance with Chapter 551 of the Texas Government Code.

Informational

- A. Mayor & Council Member Comments
- B. City Manager's Comments

Adjournment

I certify that the above notice of this meeting posted on the bulletin board at the municipal complex of the City of Willow Park, Texas on or before June 8, 2018 at 5:00 p.m.

Alicia Smith TRMC, CMC
City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (817) 441-7108 ext. 6 or fax (817) 441-6900 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



A Proclamation Honoring John Gholson

WHEREAS, volunteering of an individual's time and resources is an essential part of the American spirit; and

WHEREAS, John Gholson has served on the City of Willow Park City Council since 2016; and

WHEREAS, John has served as Mayor Pro Tem from May 2017 to May 2018; and

WHEREAS, on behalf of the entire City Council, I want to express my sincere appreciation to John for his exceptional service to the City of Willow Park and wish him much happiness and success as he begins this new chapter in his life.;

NOW, THEREFORE, I, Doyle Moss, Mayor of the City of Willow Park, along with the Willow Park City Council, do hereby recognize and congratulate John Gholson for his successful career as a council member.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of Willow Park, Texas, to be affixed this the 12th day of June, 2018.

Doyle Moss, Mayor



**City of Willow Park
Regular Council Meeting Minutes
Municipal Complex
516 Ranch House Rd, Willow Park, TX 76087
Tuesday, May 15, 2018 at 7:30 p.m.**

Call to Order

Mayor Moss called the meeting to order at 7:30 pm.

Determination of Quorum

Present:

Mayor Doyle Moss

Councilmember Norman Hogue

Councilmember Amy Fennell

Councilmember Gholson

Councilmember Bruce Williams

Councilmember Gary McKaughan (present and was sworn in after agenda item #1)

Absent:

Councilmember Greg Runnebaum

Staff Present:

City Administrator Bryan Grimes

City Secretary Alicia Smith

City Attorney Pat Chesser

Invocation & Pledge of Allegiance

Cody McQueen, Pastor, Christ Chapel Church, led the invocation and pledge to the U.S. flag.

Presentations & Proclamations

A. Mayor Moss read the proclamation recognizing National peace Officers Week.

Public Comments

Citizens participating:

Tim Stanley concerning the accessory building ordinance.

Consent Agenda

A. Approve City Council Meeting Minutes – April 17, 2018

Motion made by Councilmember Fennell

To approve the minutes from the April 17 2018, meeting.

Seconded by Councilmember Williams

Aye votes: Councilmembers Hogue, Fennell, Gholson, and Williams

Motion passed with a vote of 4-0

Regular Agenda Items

1. Motion made by Councilmember Gholson

To accept the May 5, 2018 General Election Canvass report.

Seconded by Councilmember Fennell

Aye votes: Councilmembers Hogue, Fennell, Gholson, and Williams

Motion passed with a vote of 4-0

Council Members Gholson and McKaughan were sworn in by City Secretary, Alicia Smith.

2. Motion made by Councilmember Gholson

To nominate Councilmember Hogue as Mayor Pro Tem.

No other Nominations

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

3. Motion made by Councilmember Fennell

To accept the bid from the Tommy Morris Agency for employee health benefits.

Seconded by Councilmember Hogue

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

4. Motion made by Councilmember Gholson

To approve Ordinance No. 768-18, annexing a 44.99-acre tract of land situated in the Wesley Franklin Survey, Abstract No. 468, Parker County, Texas.

Seconded by Councilmember Fennell

Aye votes: Councilmembers Hogue, Fennell, Gholson

Councilmember McKaughan abstained

Motion passed with a vote of 3-0

5. Motion made by Councilmember Hogue

To accept authorize the Mayor to take action and execute a deed conveying a 0.112-acre tract of land in the Josh Cole Survey, Abstract No. 218, Parker County, Texas and grant an improved access easement from the Morrison Group to the City of Willow Park.

Seconded by Councilmember McKaughan

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

6. Motion made by Councilmember Gholson

To approve the sale of a K&M International Hot Mix Reclaimer Box to the City of Poteet.

Seconded by Councilmember Hogue

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

7. Jake Weber, CPA, made a presentation of the City's quarterly financial statement.

8. Motion made by Councilmember McKaughan

To authorize a Request for Proposal for Bank Depository Services to be executed

Seconded by Councilmember Fennell

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

9. Motion made Councilmember Fennell

To approve Ordinance 769-18, an ordinance authorizing the issuance of "City of Willow Park, Tax Notes, Series 2018"; specifying the terms and features of said notes; levying a continuing direct annual ad valorem tax for the payment of said notes; and resolving other matters incident and related to the issuance, sale, payment and delivery of said notes, including the approval and execution of a Paying Agent/Registrar Agreement and a Note Purchase Agreement; and providing an effective date.

Seconded by Councilmember Hogue

Aye votes: Councilmembers Hogue, Fennell, and McKaughan

Nay votes: Councilmember Gholson

Motion passed with a vote of 3-1

10. Motion made by Councilmember Fennell

To table the discussion of the Public Safety meeting until the next meeting.

Seconded by Councilmember McKaughan

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

11. Motion made by Councilmember Hogue

To authorize staff to send a request for bids and execute an amount not to exceed \$35,000 for a park plan.

Seconded by Councilmember Fennell

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

12. Motion made by Councilmember Fennell

To authorize Storm water and Drainage studies to be completed.

Seconded by Councilmember McKaughan

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan
Motion passed with a vote of 4-0

13. Motion made by Councilmember Gholson

To approve a Wastewater Services MOU with the City of Weatherford.
Seconded by Councilmember Fennell
Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan
Motion passed with a vote of 4-0

14. Motion made by Councilmember Hogue

To approve Interlocal Agreement Amendment with Hudson Oaks regarding Engineering Services related to the Fort Worth Partnership.
Seconded by Councilmember Gholson
Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan
Motion passed with a vote of 4-0

15. Motion made by Councilmember Hogue

To approve Interlocal Agreement Amendment with Parker County for Road Repair Services.
Seconded by Councilmember Gholson
Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan
Motion passed with a vote of 4-0

16. Motion made by Councilmember Gholson

To approve and extension to the City Administrators housing stipend.
Seconded by Councilmember Fennell
Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan
Motion passed with a vote of 4-0

Adjournment

Motion made by Councilmember Gholson

To adjourn

Seconded by Councilmember Fennell

Aye votes: Councilmembers Hogue, Fennell, Gholson and McKaughan

Motion passed with a vote of 4-0

APPROVED:

Doyle Moss, Mayor
City of Willow Park, Texas

ATTEST:

Alicia Smith TRMC CMC, City
Secretary
City of Willow Park, Texas



BRIEFING SHEET

Meeting Date: June 12, 2018	Department: Mayor	Presented By: Mayor Doyle Moss
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AGENDA ITEM:

Consider and act on appointments to the Park Board and Planning and Zoning Commission.

BACKGROUND:

There is a vacancy on the Park Board which needs to be filled. Larry Johnson has expressed interest in serving on the Board and has submitted an application.

There are two vacancies on the Planning and Zoning Commission due to the retirement and resignation of Mark Melanson and the election of Gary McKaughan to the City Council.

William "Billy" Weikert and Ronald "Scott" Smith have submitted applications to serve on the Planning and Zoning Commission.

RECOMMENDATION:

The Mayor recommends the Council confirm the following appointments:

Park Board – Larry Johnson

Planning and Zoning Commission Place 3 – William "Billy" Weikert

Planning and Zoning Commission Alternate 1 – Ronald "Scott" Smith

EXHIBITS:

Board and Commission Applications:

William "Billy" Weikert

Ronald "Scott" Smith

Larry Johnson

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A

06/12/2018

Mayor

Mayor Doyle Moss

AGENDA ITEM:

Consider and act on appointments to the Park Board and Planning and Zoning Commission.

BACKGROUND:

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There are two vacancies on the Planning and Zoning Commission due to the retirement and resignation of Mark Melanson and the election of Gary McKaughan to the City Council. William "Billy" Weikert and Ronald "Scott" Smith have submitted applications to serve on the Planning and Zoning Commission.

RECOMMENDATION:

The Mayor recommends the Council confirm the following appointments:

Park Board – Larry Johnson

Planning and Zoning Commission Place 3 – William "Billy" Weikert

Planning and Zoning Commission Alternate 1 – Ronald "Scott" Smith

EXHIBITS:

Board and Commission Applications:

William "Billy" Weikert

Ronald "Scott" Smith

Larry Johnson

CITY OF WILLOW PARK
APPLICATION FOR PARKS BOARD AND PLANNING & ZONING
COMMISSION
APPOINTMENT

Return completed application to:

City Secretary's Office
City of Willow Park
516 Ranch House Rd
Willow Park, Tx 76087
Fax: (817) 441-6900

Please type or use black ink

Please complete one application for each board or commission membership

Please limit attachments to two pages

For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name: William (Billy) Weikert

(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest:

Planning and Zoning Commission

☐ Yes, I would be interesting in serving on subcommittees that may be formed.

Personal Information

Home Address: 513 Ranch House Rd.

Mailing Address: Same as Above

Telephone: 559-816-4657 Fax: _____

E-Mail: basil025@yahoo.com

Willow Park Resident for 2 years County: Parker

Voters Registration No.: 1188722304

Preferred method of contact: Email or Phone

Occupational Information

Business Name: Lockheed Martin

Occupation: Manufacturing Specialist

Address: 1 Lockheed Blvd, Ft. Worth, TX. 76101

Telephone: 817-965-1872 Fax: _____

E-Mail: william.c.weikert@lmco.com

Have you served on a board in another city before? No

Prior or current work experience: *(please include dates)*

2001-2009 -- US Navy -- Hydraulic and Structural Mechanic

2009- 2016 Quality Assurance at Lockheed Martin.

2016 - Present -- Manufacturing Specialist at Lockheed Martin

Educational Achievement:

High School Graduate? ☒ Yes ☐ No Year Graduated/Left School? 2000

Business College, Correspondence School, Adult Education, Other? _____

Name of College/University: Embry-Riddle Aeronautical University ☒ Bachelor's ☐ Master's ☐ PhD

Volunteer Work: *(please include dates)*

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.

Application held for 12 months from date received

Are you presently serving on a City board or committee? ☐ Yes ☒ No

If so, which one? _____

Why do you want to become a member of this particular board /commission (how would you use this experience to benefit the City)?

I'm interested in learning more about Willow Park and how we plan to move forward in the future. Additionally, I would like to be part of this city's success story. I am always looking for ways to improve what is going on around me, and I would use this experience to try and assist our city in becoming great.

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1)
Road repair looks to me like one of the largest ongoing issues this city has to face. With the population constantly growing, the wear and tear on the roads is increasing exponentially. I think a plan to gradually repair the damaged roads, followed with a gradual maintenance plan is a good way to preserve budget while making forward progress on repairing roads.

2)
I know water treatment and sewage concerns have become a top driver for the city of Willow Park. I don't know enough about the current plans to realistically address the situation, but it sounds like plans to tie into Fort Worth's water supply are in place, which could be a good long term solution.

3)
Willow Park's technological capabilities are, in my opinion, behind the times. I believe the city should consider routing Fiber Optic wire in order to allow for a much faster internet experience, as well as increased communication options to better fit the ever increasing population as well as to attract the type of people I feel we, as a community, might want to live beside us as our neighbors.

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:

Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:

Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☐ Yes ☒ No

Comments: I spoke with Jared Fowler about the board opening.

Statement of Intent

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: _____

Date: 6/7/2018

CITY OF WILLOW PARK
APPLICATION FOR PARKS BOARD AND PLANNING & ZONING
COMMISSION
APPOINTMENT

Return completed application to:

City Secretary's Office
City of Willow Park
516 Ranch House Rd
Willow Park, Tx 76087
Fax: (817) 441-6900

Please type or use black ink
Please complete one application for each board or commission membership
Please limit attachments to two pages
For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name: Ronald "Scott" Smith

(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest:

City of Willow Park Planning and Zoning Commission

☒ Yes, I would be interesting in serving on subcommittees that may be formed.

Personal Information	Occupational Information
Home Address: <u>132 Camouflage Circle</u>	Business Name: <u>FACTS/RenWeb</u>
Mailing Address: _____	Occupation: <u>Sales</u>
Telephone: <u>(817) 690-2049</u> Fax: _____	Address: <u>820 S.W. Wilshire Boulevard</u>
E-Mail: <u>ssmith@renweb.com</u>	Telephone: <u>(817) 447-5298</u> Fax: <u>(682) 200-0252</u>
Willow Park Resident for <u>2</u> years County: <u>Parker</u>	E-Mail: <u>ssmith@renweb.com</u>
Voters Registration No.: _____	
Preferred method of contact: <u>Cell (817) 690-2049</u>	

Have you served on a board in another city before? No

Prior or current work experience: (please include dates)

Educational Achievement:

High School Graduate? ☒ Yes ☐ No Year Graduated/Left School? 1997

Business College, Correspondence School, Adult Education, Other? _____

Name of College/University: _____ ☐ Bachelor's ☐ Master's ☐ PhD

Volunteer Work: (please include dates)

Hunters Glen HOA Board of Directors 06/2017 to 05/2018

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.

Application held for 12 months from date received

Are you presently serving on a City board or committee? ☐ Yes ☒ No

If so, which one? _____

Why do you want to become a member of this particular board /commission (how would you use this experience to benefit the City)?
My main focus is to help serve the community of Willow Park. I deeply care about our community and would love to assist in the economic development of this great city.

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1)

Promote sustainable development by carefully considering any new opportunities within Willow Park.

2)

Maintain a balanced (commercial / residential) community which will ensure the positive impact on the residents of Willow Park, both, current and future.

3)

Support the comprehensive plan currently in place with the Planning and Zoning commission to maintain orderly growth of the community through zoning and subdivision control.

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:
I am a certified Toast Masters speaker and I enjoy speaking to both small and large groups.

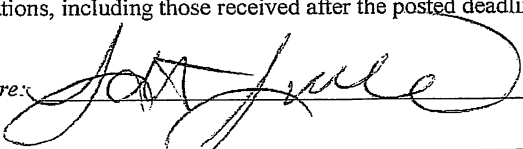
Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:
None

Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☒ Yes ☐ No

Comments: I have spoken in great lengths to both, Rodney Wilkins and Joe Lane about what exactly this job entails

Statement of Intent

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: 

Date: 05-30-2018

CITY OF WILLOW PARK
APPLICATION FOR PARKS BOARD AND PLANNING & ZONING
COMMISSION
APPOINTMENT

Return completed application to:

City Secretary's Office
City of Willow Park
516 Ranch House Rd
Willow Park, Tx 76087
Fax: (817) 441-6900

Please type or use black ink
Please complete one application for each board or commission membership
Please limit attachments to two pages
For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name: Larry Johnston
(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest: Parks Board

☒ Yes, I would be interesting in serving on subcommittees that may be formed.

Personal Information	Occupational Information
Home Address: <u>109 Camouflage Circle, Willow Park, TX 76008</u>	Business Name: <u>Panther Machining and Hardware</u>
Mailing Address: <u>109 Camouflage Circle, Willow Park, TX 76008</u>	Occupation: <u>self employed</u>
Telephone: <u>425-269-8588</u> Fax: _____	Address: <u>10303 E. Bankhead Hwy, Suite 103 B Aledo, TX 76008</u>
E-Mail: <u>larryjennifer@gmail.com</u>	Telephone: <u>425-269-8588</u> Fax: <u>817-796-1220</u>
Willow Park Resident for <u>4.5</u> years County: <u>4.5</u>	E-Mail: <u>larryj@panthermachining.com</u>
Voters Registration No.: <u>DL# 38501491</u>	
Preferred method of contact: <u>email</u>	

Have you served on a board in another city before? NO

Prior or current work experience: (please include dates)

I worked for the Boeing Company for 27 years as a manufacturing Planner and in Customer Service. Currently I own my business providing parts
to the United States Government.

Educational Achievement:

High School Graduate? ☒ Yes ☐ No Year Graduated/Left School? 1984

Business College, Correspondence School, Adult Education, Other? _____

Name of College/University: Bellevue College, Bellevue Washington ☐ Bachelor's ☐ Master's ☐ PhD

Volunteer Work: (please include dates)

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.

Application held for 12 months from date received

Are you presently serving on a City board or committee? ☐ Yes ☒ No

If so, which one? _____

Why do you want to become a member of this particular board /commission (how would you use this experience to benefit the City)?
As a citizen of Willow Park with twin 5 year old daughters, I find it quite sad that they prefer to drive to Weatherford or Fort Worth to play in a park.

I would love to work with the city to help establish a plan to increase the park space and make the City a destination for kids and parents alike to come here to play and enjoy Our city.

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1) The lack of Parks / Green spaces - I believe that a city is defined how it creates and uses its Public spaces. I believe that more access to city owned land and encouraging developers to set aside green spaces in their plans.

2) Lack of Community/Business involvement - I think that by including the citizens and local businesses in helping shape the city on what amenities needed in the city parks

3) The care and maintenance of the existing parks - The current park equipment is in need of repairing, replacing and improvement. I believe that additional care and up keep should be increased to the parks that we currently do have in the city.

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:
At my time with Boeing, I managed many projects and was involved in cost savings programs in helping identify costly waste in procurement activities.

Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:

None ***

***Mayor Moss does live in my neighborhood

Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☐ Yes ☒ No

Comments: _____

Statement of Intent

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: Larry Johnston

Date: 6/6/2018



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date:	Department:	Presented By:
May 23rd, 2018	Development Services	Betty Chew

AGENDA ITEM: 1

Consider and act on a Final Plat of Lot 4R-1R, 4R-2R, Lot 5; Block A; Crown Pointe Addition Phase II, City of Willow Park, Parker County, Texas.

BACKGROUND:

Following the annexation (May 15, 2018) the owners of these properties propose to plat and replat their respective properties along with the dedication of Jerry Towles Drive (60' ROW) and Crown Lane (70' ROW). All the lots will now have frontage and access on a public street. The developer will construct both streets with concrete pavement and curb and gutter in accordance with City standards. An 8" water main will be installed, by the developer, from Crown Pointe Blvd. along Jerry Towles Drive to Crown Lane then south to the IH-20 Service Road. Fire hydrants will be installed in accordance with ISO regulations. An 8" sanitary sewer main will be extended from Crown Pointe Blvd. along Jerry Towles Drive to Crown Lane. Stormwater flows from west to east. A stormwater drainage plan and improvements to the drainage channel will be made in accordance with approved plans.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat for Lots 4R-1R, 4R-2R, 5; Block A; Crown Pointe Addition Phase II meets the requirements of the Subdivision Ordinance and Staff recommends approval.

The Planning and Zoning Commission recommends approval of the Final Plat as presented.

The Commission vote was unanimous.

EXHIBITS:

Final Plat
Platt Application

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A



City of Willow Park Development Services

516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 • Fax: (817) 441-6900

PLAT APPLICATION
MUST BE AN ORIGINAL DOCUMENT - FAXED COPIES WILL NOT BE ACCEPTED
ALL SIGNATURES MUST BE ORIGINAL

Type of Plat: ☐ Preliminary ☒ Final ☐ Replat ☐ Amended

PROPERTY DESCRIPTION:

SUBMITTAL DATE: 3/30/18

Address (if assigned): N/A

Name of Additions: LOTS 4R-1R, 4R-2R, & 5; BLOCK A; CROWN POINTE PHASE 2

Location of Addition: CROWN POINTE ADDITION

Number of Lots: 3 Gross Acreage: 15.60 Zoning: C+R-1 # of New Street Intersections: 2

PROPERTY OWNER:

Name: WILLOW PARK BAPTIST CHURCH

Contact: CLARK BOSHER

Address: 129 S. RANCH HOUSE RD

Phone: 817-441-1596

City: WILLOW PARK, TX 76098

Fax: _____

State: _____ Zip: _____

Email: clark@willowparkbaptist.com

Signature: Chuck Stark
CHUCK STARK, AUTHORIZED AGENT

APPLICANT:

Name: SAME AS OWNER

Contact: _____

Address: _____

Phone: _____

City: _____

Fax: _____

State: _____ Zip: _____

Email: _____

Signature: _____

SURVEYOR:

Name: BARRON - STARK ENGINEERS

Contact: CHUCK STARK

Address: 6221 SOUTHWEST BLVD.

Phone: 817-296-9550

City: FT. WORTH, TX 76132

Fax: _____

State: _____ Zip: _____

Email: chuck@barronstark.com

Signature: Chuck Stark

ENGINEER:

Name: SAME AS SURVEYOR Contact: _____
Address: _____ Phone: _____
City: _____ Fax: _____
State: _____ Zip: _____ Email: _____
Signature: _____

PRINCIPAL CONTACT: _____ Owner _____ Applicant ☒ Surveyor _____ Engineer _____
• Staff comment letters and mark-ups will be distributed only to the designated principle contact
• Comments will be sent via email unless otherwise specified

UTILITY PROVIDERS

Electric Provider: TRI COUNTY
Water Provider: WILLOW PARK
Wastewater Provider: WILLOW PARK
Gas Provider (if applicable): TEXAS GAS

APPLICATION FEES

_____ \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR
☒ \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE

$$300 + 10(14) = \$440.00$$

Additional fees (if applicable):

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

City Use Only

Fees Collected: \$ _____ \$ _____
\$ _____ \$ _____
Receipt Number: _____

PLAT REVIEW CHECKLIST:****This checklist must be submitted with the initial plat application******I. GENERAL:**

Name of Addition: LOTS 4R-1R, 4R-2R, & 5; BLOCK A, CROWN POINTE PHASE 2
Applicant: WILLOW PARK BAPTIST CHURCH
Property Owner(s): " " " "
Location of Addition: CROWN POINTE

II. REQUIRED DOCUMENTS FOR A PRELIMINARY PLAT**APPLICANT****STAFF**

- A. Preliminary Plat Application (original signatures)
- B. Preliminary Plat Drawing (5 paper copies & 1 digital)
- C. Preliminary Drainage Analysis (5 paper copies & 1 digital)
- D. Concept Construction Plan (5 paper copies & 1 digital)
- E. Tree Survey
- F. Location and Dimensions of Existing Structures
- G. Sectionalizing or Phasing of Plats
- H. Zoning Classification of All Properties Shown on the Plat
- I. Dimensions of all Proposed or Existing Lots
- J. Location of 100-year Flood Limits Where Applicable

III. REQUIRED DOCUMENTS FOR A FINAL PLAT

- A. Final Plat Application (original signatures)
- B. Final Plat Drawing (5 paper copies & 1 digital copy)
- C. Drainage Study (5 paper copies & 1 digital)
- D. Submit 1 mylar copy and 1 paper copy from county filing
- E. Written Metes and Bounds Description
- F. Dimensions of All Proposed or Existing Lots
- G. Area in acres for each lot
- H. Any Existing Structures which Encroach and Setback Lines
- I. Parker County Tax Certificate
- J. Plans for all water & sewer lines
- K. Plans for fire hydrants
- L. Plans for all proposed streets and sidewalks

IV. REQUIRED DOCUMENTS FOR A REPLAT

- A. Replat Application (original signatures)
- B. Replat Drawing (5 paper copies & 1 digital copy)
- C. Original Plat for comparison
- D. Drainage Study (5 paper copies & 1 digital)
- E. Submit 1 mylar copy and 1 paper copy from county filing
- F. Written Metes and Bounds Description
- G. Dimensions of All Proposed or Existing Lots
- H. Area in acres for each lot
- I. Any Existing Structures which Encroach and Setback Lines
- J. Parker County Tax Certificate

V. REQUIRED DOCUMENTS FOR AN AMENDED PLAT

- A. Amended Plat Application (original signatures)
- B. Final Plat Drawing (5 paper copies & 1 digital)
- C. Original Plat for comparison
- D. Drainage Study (5 paper copies & 1 digital)
- E. Submit 1 mylar copy and 1 paper copy from county filing
- F. Written Metes and Bounds Description
- G. Dimensions of All Proposed or Existing Lots
- H. Area in acres for each lot
- I. Any Existing Structures which Encroach and Setback Lines

VI.	REQUIREMENTS ON ALL PLATS	APPLICANT	STAFF
A.	Adjacent Property Lines, Streets, Easements	/	✓
B.	Names of Owners of Property within 200 feet	/	✓
C.	Names of Adjoining Subdivisions	/	✓
D.	Front and Rear Building Setback Lines	/	✓
E.	Side Setback Lines	/	✓
F.	City Boundaries Where Applicable	/	✓
G.	Date the Drawing was Prepared	/	✓
H.	Location, Width, Purpose of all Existing Easements	/	✓
I.	Location, Width, Purpose of all Proposed Easements	/	✓
J.	Consecutively Numbered or Lettered Lots and Blocks	/	✓
K.	Map Sheet Size of 18"x24" to 24"x36"	/	✓
L.	North Arrow	/	✓
M.	Name, Address, Telephone, of Property Owner	/	✓
N.	Name, Address, Telephone of Developer	/	✓
O.	Name, Address, Telephone of Surveyor	/	✓
P.	Seal of Registered Land Surveyor	/	✓
Q.	Consecutively Numbered Plat Notes and Conditions	/	✓
R.	City of Willow Park Plat Dedication Language	/	✓
S.	Location and Dimensions of Public Use Area	N/A	✓
T.	Graphic Scale of Not Greater Than 1" = 200'	/	✓
U.	All Existing and Proposed Street Names	/	✓
V.	Dimensions of All Existing and Proposed Rights-of-Way as Specified on Master Thoroughfare Plan	/	✓
W.	Subdivision Boundary in Bold Lines	/	✓
X.	Subdivision Name	/	✓
Y.	Title Block Identifying Plat Type	/	✓
Z.	Key Map at 1"=2000'	N/A	✓
AA.	Surveyor's Certification of Compliance	/	✓
BB.	Texas NAD83 State Plane Coordinates (Grid) (at least 2 corners)	/	✓
CC.	Show relationship of plat to existing "water, sewage, and drainage	/	✓

VII.	ADDITIONAL DOCUMENTS REQUIRED ON FINAL PLATS	APPLICANT	STAFF
A.	A written and notarized statement describing the minimum improvements which the subdivider agrees to provide, conditional upon City Council approval of the final plat	SEE CONSTRUCTION PLANS	✓
B.	A written and notarized statement that all property taxes and assessments have been paid for past years and up to Current date. This statement shall be signed by the owner or owners (original and one copy)	N/A	
C.	A written and notarized acknowledgement of the dedication to public use of streets, parks, water courses, drains, easements and other such public places as shown on the plat, and of payments in lieu of certain public dedications. Property designated for schools, churches, hospitals, municipal purposes, and other uses, shall be noted, as well as the conditions and procedures by which such property and monies shall be made available to prospective purchasers or governing bodies. This statement shall be signed by the owner or owners, and all persons having a mortgage or lien interest in the property. (If applicable)	/	✓

PLEASE NOTE: After staff approval, up to fifteen (15) additional paper copies may be required for review by the Planning & Zoning Commission and City Council.

Willow Park
Plat
Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 10 ft.

Side building setback: 10 ft.

Does the site include any utility/electric/gas/water/sewer easements?

Yes

No

Does the site include any drainage easements?

Yes

No

Does the site include any roadway/through fare easements?

Yes

No

Staff Review:

Does the plat include all the required designations?

Yes

No

Are the setbacks for the building sufficient?

Yes

No

Are there any easement conflicts?

Yes

No

Do the proposed easements align with neighboring easements? N/A

Yes

No

Are the proposed easements sufficient to provide service?

Yes

No

Does the proposed project pose any planning concerns?

Yes

No

Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature: _____

Date: _____

Willow Park
Plat
Public Works Review

Applicant Questions:

Is the project serviced by an existing road? ☒ Yes ☐ No
If yes, which road? CROWN LANE + CROWN POINTE BLVD
Is the project serviced by an existing water line? ☒ Yes ☐ No
If yes, what size line? 8" & 12"
Will the project require the extension of a water line? ☒ Yes ☐ No
Does the project use well water? ☒ No ☐ Drinking ☐ Irrigation
If yes, which aquifer does the well pull from? N/A
Is the project serviced by an existing sewer line? ☒ Yes ☐ No
If yes, what size line? 8" & 10"
If no, what type and size is the septic system? _____

Staff Review:

Will servicing this project require additional infrastructure beyond what is identified in the Capital Improvement Plan?

Yes

☒ No

Any additional concerns: _____

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Public Works Approval Signature: _____ Date: _____

Willow Park
Plat
Flood Plain Review

Applicant Questions:

Is any part of the plat in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No	NOT FEMA DESIGNATED
If yes, what is the base flood elevation for the area? _____			
Is the footprint of any built improvement in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No	
If yes, what is the base flood elevation for the area? _____			
Is the footprint of any habitable structure in the 100-year flood plain?	Yes	<input checked="" type="radio"/> No	
If yes, what is the base flood elevation for the area? _____			

Staff Review:

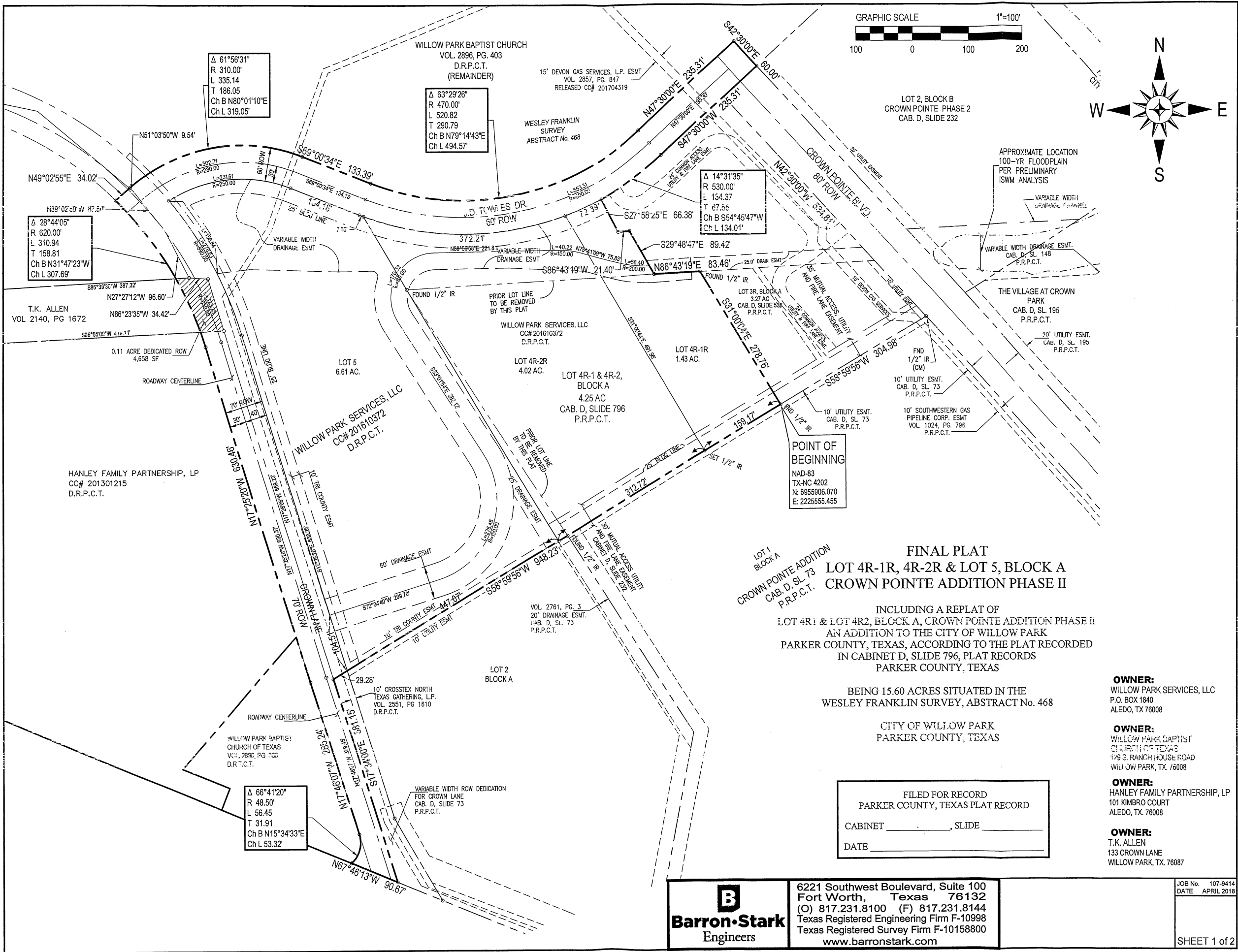
Base flood elevations confirmed?	Yes	No
Does the proposed project pose any safety concerns?	Yes	No

Approved

Not Approved

Needs More Information or Corrections

Flood Plain Manager Approval Signature: _____ Date: _____



FINAL PLAT
LOT 4R-1R, 4R-2R & LOT 5, BLOCK A
CROWN POINTE ADDITION PHASE II

INCLUDING A REPLAT OF
LOT 4R1 & LOT 4R2, BLOCK A, CROWN POINTE ADDITION PHASE II
AN ADDITION TO THE CITY OF WILLOW PARK
PARKER COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED
IN CABINET D, SLIDE 796, PLAT RECORDS
PARKER COUNTY, TEXAS

BEING 15.60 ACRES SITUATED IN THE
WESLEY FRANKLIN SURVEY, ABSTRACT No. 468

CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

FILED FOR RECORD
PARKER COUNTY, TEXAS PLAT RECORD
CABINET _____, SLIDE _____
DATE _____

OWNER:
WILLOW PARK SERVICES, LLC
P.O. BOX 1840
ALEDO, TX 76008

OWNER:
WILLOW PARK BAPTIST
CHURCH OF TEXAS
179 S. RANCH HOUSE ROAD
WILLOW PARK, TX. 76008

OWNER:
HANLEY FAMILY PARTNERSHIP, LP
101 KIMBRO COURT
ALEDO, TX. 76008

OWNER:
T.K. ALLEN
133 CROWN LANE
WILLOW PARK, TX. 76087

B
Barron-Stark
Engineers

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com

JOB No. 107-9414
DATE APRIL 2018

LEGAL DESCRIPTION

Being a 15.60 acre tract of land situated in the Wesley Franklin Survey, Abstract No. 468, City of Willow Park, Parker County, Texas and being a portion of the Willow Park Baptist Church of Texas tract as recorded in Volume 2896, Page 403; the Willow Park Services, LLC tract as recorded in Clerk File CC#201610372; the Hanley Family Partnership, LP tract as recorded in County Clerks # 201301215, the Willow Park Baptist Church of Texas tract as recorded in Volume 2896, Page 366; and the T.K. Allen tract as recorded in Volume 2140, Page 1672, all of the Deed Records Parker County, Texas. Said 15.60 acres also including all of Lots 4R-1 and 4R-2, Block A, Crown Pointe Addition Phase 2, and addition to the City of Willow Park, Texas as recorded in Cabinet D, Slide 796, Plat Records Parker County, Texas.

Beginning at a found 1/2 inch iron rod for the southwest corner of Lot 3R, Block A, Crown Pointe Addition Phase 2 as recorded in Cabinet D, Slide 536, Plat Records Parker County, Texas, said point being in the north line of Lot 1, Block A, Crown Pointe Addition as recorded in Cabinet D, Slide 73, Plat Records Parker County, Texas;

Thence South 58°59'56" West a distance of 948.23 feet with the north line of Lot 1, Block A to a point for the northwest corner of the Crown Lane ROW dedication as recorded in Cabinet D, Slide 73, Plat Records Parker County, Texas, said point being in the east line of the Willow Park Baptist Church of Texas tract as recorded in Volume 2826, Page 366;

Thence South 17°34'00" East with the east line of said Willow Park Baptist Church tract a distance of 381.15 feet to a point in the north line of Interstate Highway 20 and the southeast corner of said Willow Park Baptist Church tract;

Thence North 67°46'13" West with the north line of Interstate Highway 20 a distance of 90.67 feet to a set 1/2 inch iron rod, said point being the beginning of a curve to the left having a radius of 48.50 feet, a central angle of 66°41'20", and a long chord that bears North 15°34'33" East, 53.32 feet;

Thence along said curve to the left an arc distance of 56.45 feet to a set 1/2 inch iron rod;

Thence North 17°46'07" West a distance of 285.24 feet to a set 1/2 inch iron rod;

Thence North 17°25'20" West a distance of 630.46 feet to a set 1/2 inch iron rod for the beginning of a curve to the left having a radius of 620.00 feet, a central angle of 28°44'05", and a long chord that bears North 31°47'23" West, 307.69 feet;

Thence along said curve to the left an arc distance of 310.94 feet to a set 1/2 inch iron rod;

Thence North 49°02'55" East a distance of 34.02 feet to a set 1/2 inch iron rod for the beginning of a curve to the right having a radius of 310.00 feet, a central angle of 61°56'31", and a long chord that bears North 80°01'10" East, 319.05 feet;

Thence along said curve to the right an arc distance of 335.14 feet to a set 1/2 inch iron rod;

Thence South 69°00'34" East a distance of 133.39 feet to a set 1/2 inch iron rod for the beginning of a curve to the left having a radius of 470.00 feet, a central angle of 63°29'26", and a long chord that bears North 79°14'43" East, 494.57 feet;

Thence along said curve to the left an arc distance of 520.82 feet to a set 1/2 inch iron rod;

Thence North 47°30'00" East a distance of 235.31 feet to a set 1/2 inch iron rod;

Thence South 42°30'00" East a distance of 60.00 feet to a found 1/2 inch iron rod for the northwest corner of Lot 2, Block B, Crown Pointe Phase 2 as recorded in Cabinet D, Slide 232, Plat Records Parker County, Texas;

Thence South 47°30'00" West, at 80.00 feet passing a found 1/2 inch iron rod for the northeast corner of said Lot 3R, Block A, continuing along the north line of said Lot 3R, Block A, in total a distance of 235.31 feet to a found 1/2 inch iron rod for the beginning of a curve to the right having a radius of 530.00 feet, a central angle of 14°31'35", and a long chord that bears South 54°45'47" West, 134.01 feet;

Thence along said curve to the right an arc length of 134.37 feet to a found 1/2 inch iron rod for the northwest corner of said Lot 3R, Block A;

Thence South 27°58'25" East with the Lot 3R west line a distance of 66.38 feet to a found 1/2 inch iron rod;

Thence North 26°43'12" East, continuing with the Lot 3R west line, a distance of 21.40 feet to a found 1/2 inch iron rod;

Thence South 26°48'47" East, continuing with the Lot 3R west line, a distance of 89.42 feet to a found 1/2 inch iron rod;

Thence North 86°43'19" East, continuing with the Lot 3R west line, a distance of 83.46 feet to a found 1/2 inch iron rod;

Thence South 31°00'04" East, continuing with the Lot 3R west line, a distance of 278.76 feet to the POINT OF BEGINNING and CONTAINING 15.60 acres, 679,651 square feet of land, more or less.

APPROVED BY CITY OF WILLOW PARK

APPROVED BY	CITY COUNCIL
	CITY OF WILLOW PARK
SIGNED: _____	DATE _____
MAYOR	
SIGNED: _____	DATE _____
CITY ADMINISTRATOR	

Owner Dedication

Now therefore, know all men by these presents:

That WILLOW PARK BAPTIST CHURCH OF TEXAS, WILLOW PARK SERVICES, LLC, HANLEY FAMILY PARTNERSHIP, LP, AND T.K. ALLEN, acting herein by and through their duly authorized representatives, do hereby certify and adopt this plat designating the hereinabove described property as Lots 4R-1R, 4R-2R, and 5, BLOCK A, CROWN POINTE ADDITION PHASE 2, an addition to the City of Willow Park, Texas ('City') and does hereby dedicate to the public use forever, the fire lanes, easements and encumbrances shown hereon. WILLOW PARK BAPTIST CHURCH OF TEXAS, WILLOW PARK SERVICES, LLC, DOYLE HANLEY, AND T.K. ALLEN herein certifies the following:

- The fire lanes are dedicated for fire lane purposes.
- The public improvements and dedication shall be free and clear of all debt, liens, and/ or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated or shown on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City.
- The City is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easement may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and the City's use thereof.
- The City and public utilities shall at all times have a right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems or public use without the necessity of procuring permission from anyone.
- Any modification of this document shall be by means of plat and shall be approved by the City.

This plat is approved subject to the conditions herein and to all platting ordinances, rules, regulations and resolutions of the City of Willow Park, Texas.

WITNESS, OUR hands this the _____ day of _____, 2018.

WILLOW PARK BAPTIST CHURCH OF TEXAS WILLOW PARK SERVICES, LLC

By: _____	By: _____
Name: Clark Boshier	Name: Jim Martin
Title: Senior Pastor	Title: Member
HANLEY FAMILY PARTNERSHIP, LP	T.K. ALLEN
By: _____	By: _____
Name: Doyle Hanley	Name: _____
Title: Individually	Title: Individually

GENERAL NOTES:

- No portion of subject property lies within a FEMA designated flood plain area. Flood Insurance Rate Map 48367 C 0425 E. Effective date September 26, 2008.
- Basis of Bearing for this plat is the Final Plat of Lots 1 & 2, Block A, Crown Pointe Addition as recorded in Cabinet D, Slide 73, Plat Records Parker County, Texas.
- Coordinates shown hereon are referenced to the Texas State Plain Coordinate System,

This is to certify that I, Charles F. Stark, a Registered Professional Land Surveyor in the State of Texas, have platted the above subdivision from an actual survey on the ground and all lot corners, angle points, and points of curve shall be property marked on the ground upon completion of construction, and that this plat correctly represents the survey from which it is made.

Charles F. Stark, RPLS
Texas Registration No. 5084

STATE OF TEXAS
COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Charles F. Stark, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
On the _____ day of _____, 2018.

Notary Public in and for the State of Texas



USE ON THIS ELECTRONIC SEAL/IMPRESSION
AUTHORIZED BY CHARLES F. STARK, R.P.L.S.
TEXAS REGISTRATION NO. 5084

FINAL PLAT
LOT 4R-1R, 4R-2R & LOT 5, BLOCK A
CROWN POINTE ADDITION PHASE II

INCLUDING A REPLAT OF
LOT 4R1 & LOT 4R2, BLOCK A, CROWN POINTE ADDITION PHASE II
AN ADDITION TO THE CITY OF WILLOW PARK
PARKER COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN
CABINET D, SLIDE 796, PLAT RECORDS
PARKER COUNTY, TEXAS

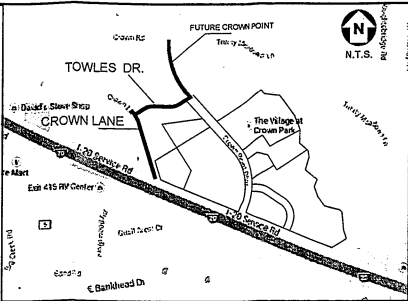
BEING 15.60 ACRES SITUATED IN THE
WESLEY FRANKLIN SURVEY, ABSTRACT No. 468

CITY OF WILLOW PARK
PARKER COUNTY, TEXAS

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com

B
Barron•Stark
Engineers

FILED FOR RECORD
PARKER COUNTY, TEXAS PLAT RECORD
CABINET _____, SLIDE _____
DATE _____



LOCATION MAP

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Clark Boshier, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Jim Martin, know to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Doyle Hanley, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas

STATE OF TEXAS

COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared T.K. Allen, known to me to be the person whose name is subscribed to the forgoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

On the _____ day of _____, 2018.

Notary Public in and for the State of Texas

OWNER:
WILLOW PARK SERVICES, LLC
P.O. BOX 1840
ALEDO, TX 76008

OWNER:
WILLOW PARK BAPTIST
CHURCH OF TEXAS
129 S. RANCH HOUSE ROAD
WILLOW PARK, TX. 75086

OWNER:
HANLEY FAMILY PARTNERSHIP, LP
101 KIMBRO COURT
ALEDO, TX. 76008

OWNER:
T.K. ALLEN
133 CROWN LANE
WILLOW PARK, TX. 76087

JOB No. 107-9414
DATE APRIL 2018

SHEET 2 of 2



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: May 23rd, 2018	Department: Development Services	Presented By: Betty Chew
--	--	------------------------------------

AGENDA ITEM: 2

Consider and act on a Site Plan for professional office buildings on Lot 2,3,4; Block 1; WAM Addition, located 5062, 5064, 5068 E. IH-20 Service Road.

BACKGROUND:

The property is zoned C/IH-20 Overlay District. This property is located in Planning Area 4 which represents the areas adjacent to Interstate 20. This area includes retail and commercial uses. The site plan proposes three professional office buildings. The buildings will be 2,300 to 3,600 square feet in size. These buildings will be located behind Reunion Title Company and will complete development of this commercial addition. The lots will be accessed from an existing concrete drive which runs from the IH-20 Service Road to Willow Crossing West. All infrastructure water, sanitary sewer, fire hydrants, and streets have been completed and are available to service the sites.

The buildings, parking, landscaping, and stormwater drainage meet the requirements of the Zoning and Subdivision Ordinances.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan for Lots 2,3,4; Block 1; WAM Addition, as presented.

The Planning and Zoning Commission recommends approval of the Site Plan as presented.

The commission vote was unanimous.

EXHIBITS:

Site Plan
Elevation Drawings
Landscape Plan

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A



City of Willow Park Development Services

Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Willow Crossing West	
() Residential		(x) Commercial	
Valuation: \$ 1725,000.00 (round up to nearest whole dollar)		Project Address (or description): 5060 E. I-20 SERVICE RD.	
Brief Description of the Project: NEW PROFESSIONAL OFFICE BUILDINGS			
Existing zoning:		# of Existing Lots (plats only): 3	
Proposed zoning:		# of Proposed Lots (plats only): 3	
Applicant/Contact Information (this will be the primary contact)			
Name: TRACY TOMLIN		Mailing Address: P.O. Box 1037 Aledo, TX 76008	
Company: TRACY TOMLIN G. C. LLC			
Primary Phone: 817-929-9730		E-mail: tracy@ttracmln.com	
Property Owner Information (if different than above)			
Name: ADAMS, CHENAULT, MARTIN INVESTMENT PROP.		Mailing Address: 5060 E. I-20 SERVICE RD	
Company: ADAMS, CHENAULT, MARTIN INVESTMENT PROPERTIES			
Primary Phone: 817-441-6321		E-mail: MARTIN@REGIONTTL2.COM	
Other Phone:		Fax: 817-441-8892	
(x) Developer / () Engineer / () Surveyor Information (if applicable)			
Name: SAME AS ABOVE		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: T. King Date: 5/1/2018



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	TH	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	TH	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	TH	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	TH	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	TH	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	TH	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		✓	
7	TH	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.	✓		
8	TH	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	TH
9	TH	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	TH	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		✓	
11	TH	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.	✓		
12	TH	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		✓	
13	TH	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	TH	Adjacent zoning and land use (e.g. bank with drive thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.	✓		
15	TH	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	TH	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.	✓		
17	TH	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



City of Willow Park Development Services Department

18	<input checked="" type="checkbox"/>	<p>Driveways within 200 feet of the property line:</p> <p><input checked="" type="checkbox"/> a. Are accurately located and dimensioned.</p> <p><input type="checkbox"/> b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.</p> <p><input type="checkbox"/> c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.</p> <p><input type="checkbox"/> d. Typical radii are shown.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19	<input checked="" type="checkbox"/>	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20	<input checked="" type="checkbox"/>	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21	<input checked="" type="checkbox"/>	<p>Off-site streets and roads:</p> <p><input checked="" type="checkbox"/> a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.</p> <p><input type="checkbox"/> b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.</p> <p><input type="checkbox"/> c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.</p> <p><input type="checkbox"/> d.. Distance to the nearest signalized intersection is indicated</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22	<input checked="" type="checkbox"/>	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23	<input checked="" type="checkbox"/>	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24	<input checked="" type="checkbox"/>	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
25	<input checked="" type="checkbox"/>	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
26	<input checked="" type="checkbox"/>	Paving materials, boundaries and type are indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27	<input checked="" type="checkbox"/>	Access easements are accurately located/ tied down, labeled and dimensioned.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
28	<input checked="" type="checkbox"/>	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
29	<input checked="" type="checkbox"/>	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
30	<input checked="" type="checkbox"/>	Proposed dedications and reservations of land for public use including, but not limited to, rights-of way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
31	<input checked="" type="checkbox"/>	Screening walls are shown with dimensions and materials. An inset is provided that shows the wall	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



City of Willow Park Development Services Department

	TH	details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.	✓		
32	TH	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.	✓	✓	
33	TH	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.	✓		
34	TH	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		✓	
35	TH	Boundaries of detention areas are located. Indicate above and/or below ground detention.	✓		
36	TH	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	TH	Communication towers are shown and a fall distance/collapse zone is indicated.	✓		
38	TH	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		✓	
39	TH	Explain in detail the proposed use(s) for each structure PROFESSIONAL OFFICE BUILDINGS		✓	
40	TH	Total lot area less building footprint (by square feet): Square footage of building: Building height (stories and feet) Number of Units per Acre (apartments only):		✓	
41	TH	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:		✓	
42	TH	Provide service verification from all utility providers	✓		
43	TH	List any variance requested for this property, dates, and approving authority	✓		
44	TH	Provide storm water and drainage study and design	✓		
45	TH	Proposed domestic water usage (gallons per day, month, and year)	✓		
46	TH	Are any irrigation wells proposed?	✓		
47	TH	Applicant has received Landscaping Ordinance and requirements		✓	
48	TH	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	TH	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	



City of Willow Park Development Services Department

Storm Water Pollution Program (Construction Sites One Acre and Greater Only)

- a. A signed SWPPP: (If required) Please submit during the site plan review process or prior to the issuance of any building permit(s)
- b. Copy of site plan with illustrations and descriptions of all proposed Best Management Practices (BPMs)
- c. Estimated dates of major grading activities
- d. Estimated date work may cease temporarily or permanently on any portion of the site
- f. Copy of signed and certified Notice of Intent (NOI) from permitting (TCEQ)
- g. Copy of construction Site Notice from TCEQ

TXDOT PERMITS (if applicable)

The following forms will be reviewed by the different departments along with the site plan. Please complete all "APPLICANT QUESTIONS" on the continuing pages.



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 65,042 sq. ft.

Area of lot covered with structures and impervious surfaces: 65,042 sq. ft.

Total number of structures: 3 Total number of habitable structures: ~~9819~~

Square footage of each building: 2472 sq. ft. 3982 sq. ft. 3364 sq. ft.

Proposed use for each structure:

PROFESSIONAL OFFICE BUILDINGS

Building stories: 1

Building height: 10 ft.

Total number of parking spaces: 77

Number of handicap spaces: 4

Does the site include any storm water retention or detention? Yes ☒ No

Does the project include any engineered alternatives from code requirements? Yes ☒ No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Engineering Approval Signature: Turner Date: 05/10/18



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 20 ft.

Rear building setback: 10 ft.

Side building setback: 10 ft.

Side building setback: 25 ft.

Does the site include any utility/electric/gas/water/sewer easements?

Yes

No

Does the site include any drainage easements?

Yes

No

Does the site include any roadway/through fare easements?

Yes

No

Staff Review: (for official use only)

Does the site plan include all the required designations?

Yes

No

Are the setbacks for the building sufficient?

Yes

No

Are there any easement conflicts?

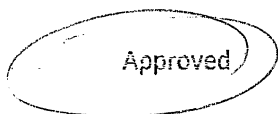
Yes

No

Does the proposed project pose any planning concerns?

Yes

No



Not Approved

Needs More Information or Corrections

Building Official Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm? ☒ Yes ~~No~~

Will the building have a fire sprinkler/suppression system? Yes ☐ No

Is the building taller than two-stories? Yes ☐ No

If yes, how many stories? 1

Will the project require installation of a new fire hydrant? ☒ Yes No

If yes, how many fire hydrants? 3

What is the size of the proposed fire connections? PER CITY

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections? ☒ Yes No

Is the proposed project an adequate distance to a fire hydrant? ☒ Yes No

Does the project have the minimum 24' hard surface? ☒ Yes No

Is the fire lane appropriate? ☒ Yes No

Does the site have the proper turning radius? ☒ Yes No

Does the proposed project pose any safety concerns? Yes ☒ No

Does the proposed project require any additional fire services? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

- Is any part of the site plan in the 100-year flood plain? Yes ☒ No
- If yes, what is the base flood elevation for the area? _____
- Is any built improvement in the 100-year flood plain? Yes ☒ No
- If yes, what is the base flood elevation for the area? _____
- Is any habitable structure in the 100-year flood plain? Yes ☒ No
- If yes, what is the base flood elevation for the area? _____
- If yes, what is the finished floor elevation for the habitable structure? _____
- If yes, please list any wet or dry flood proofing measures being used?
- _____
- _____

Staff Review: (for official use only)

- Base flood elevations confirmed? ☒ Yes ☐ No
- Will the project require a "post-grade" elevation certificate? Yes ☒ No
- Flood proofing measures approved? Yes ☒ No
- Does the proposed project pose any safety concerns? Yes ☒ No
- _____
- _____

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 65,042 sq. ft.

Area of lot covered with structures and impervious surfaces: ~~65,042~~ 43,586 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 67 %

Area of green space/landscaped areas: 21,462 sq. ft.

Percentage of green space/landscaped areas: 33 %

Total number of parking spaces: 77

Does the site include any vegetative erosion or storm water control?

Yes

No

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns?

Yes

No

Approved

Not Approved

Needs More Information or Corrections

Landscaping Approval Signature: _____






Date: _____

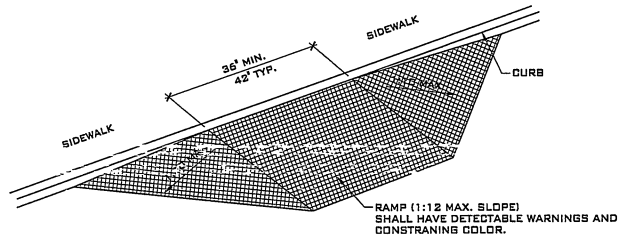
GENERAL NOTES

1. TWO (2) WATER METERS ARE REQUIRED. ONE (1) FOR DOMESTIC USE AND ONE (1) FOR OTHER FOR IRRIGATION.
2. ALL PARKING SPACES SHOWN ON PROPOSED CONSTRUCTION SHALL BE MARKED WITH 4 INCH (4") WIDE WHITE PAINTED PAVEMENT STRIPING (2 COATS). PAINT SHALL BE SHERWIN WILLIAMS, SERIES B-29W2 OR APPROVED ALTERNATE. 2ND COAT OF PAINT SHALL BE APPLIED PRIOR TO OPERATION OF FACILITIES. PAINT DESIGN SHALL BE SUBMITTED PRIOR TO INSTALLATION.
3. A MINIMUM OF 7 PERCENT (7%) HYDRATED LIME SHALL BE USED TO STABILIZE THE CLAY SUBGRADE SOILS. THE HYDRATED LIME SHALL BE THOROUGHLY MIXED AND BLENDED WITH THE UPPER 6 INCHES OF THE SUBGRADE. THE HYDRATED LIME SHALL MEET THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS (TXDOT ITEM 260) STREETS AND BRIDGES, 2004 EDITION. LIME TREATMENT SHALL EXTEND BEYOND EXPOSED PAVEMENT EDGES.
4. SUBGRADE STABILIZATION SHALL EXTEND TO AT LEAST ONE FOOT BEYOND PAVEMENT EDGES. EACH CONSTRUCTION AREA SHALL BE SHAPED TO ALLOW DRAINAGE OF SURFACE WATER DURING EARTHWORK OPERATIONS, AND SURFACE WATER SHALL BE PUMPED IMMEDIATELY FROM EACH CONSTRUCTION AREA AFTER EACH RAIN AND A FIRM SUBGRADE CONDITION MAINTAINED. WATER SHALL NOT BE ALLOWED TO POND, AND LIME SHALL BE ADDED TO THE SUBGRADE AFTER REMOVAL OF ALL SURFACE VEGETATION AND DEBRIS. SAND SHALL BE SPECIFICALLY PROHIBITED BENEATH PAVEMENT AREAS. LIME STABILIZED SOIL WILL BE ALLOWED FOR FINE GRADING. AFTER FINE GRADING EACH AREA IN PREPARATION FOR PAVING, THE SUBGRADE SURFACE SHALL BE LIGHTLY MOISTENED, AS NEEDED, AND RECOMPACTED TO OBTAIN A TIGHT NON-YIELDING SUBGRADE.
5. LIGHT-DUTY PARKING AREAS ARE THOSE AREAS SUBJECTED EXCLUSIVELY TO PASSENGER CARS, WITH AN OCCASIONAL LIGHT- TO MEDIUM-DUTY TRUCK (2 TO 3 PER WEEK).
6. MEDIUM TO HEAVY-DUTY DRIVES ARE THOSE DRIVES SUBJECTED TO A VARIETY OF LIGHT TO HEAVY-DUTY VEHICLES. THESE PAVEMENTS INCLUDE AREAS SUBJECT TO SIGNIFICANT TRUCK TRAFFIC OR TRASH VEHICLES.
7. ASPHALTIC CONCRETE PAVEMENT SHALL NOT BE USED ON THIS SITE.
8. A MINIMUM THICKNESS OF 5 INCHES OF CONCRETE SHALL BE USED FOR LIGHT-DUTY PARKING AREAS, AND 7 INCHES SHALL BE USED FOR MEDIUM TO HEAVY-DUTY AREAS.
9. PAVEMENT MATERIAL REQUIREMENTS
 - REINFORCED PORTLAND CEMENT CONCRETE: CONCRETE PAVEMENT SHALL BE EQUAL TO ITEM 360, TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES, 2004 EDITION.
 - THE DESIGN RECOMMENDATIONS ARE BASED ON A LIMITED AMOUNT OF INFORMATION ABOUT THE SUBSURFACE CONDITIONS. IN THE ANALYSIS, THE GEOTECHNICAL ENGINEER HAS ASSUMED THE SUBSURFACE CONDITIONS ARE SIMILAR TO THE CONDITIONS ENCOUNTERED IN THE BORINGS. HOWEVER, QUITE OFTEN DURING CONSTRUCTION ANOMALIES IN THE SUBSURFACE CONDITIONS ARE REVEALED.
 - IF REQUIRED AND, WHEN NECESSARY, ALTERNATIVE SOLUTIONS TO UNANTICIPATED CONDITIONS MAY BE REQUIRED.

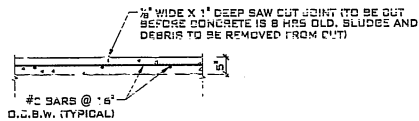
AREA CALCULATIONS	
GRASS AREA	
LANDSCAPE AREA	
CONCRETE AREA	
SIDEWALK AREA	
BUILDING AREA	
TOTAL AREA	

LEGEND:

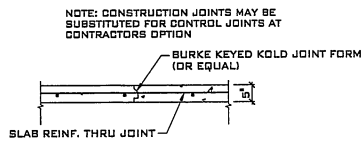
	GRASS AREA
	BUILDING AREA
	
	SIDEWALK AREA
	



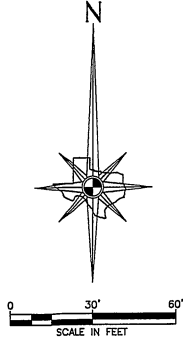
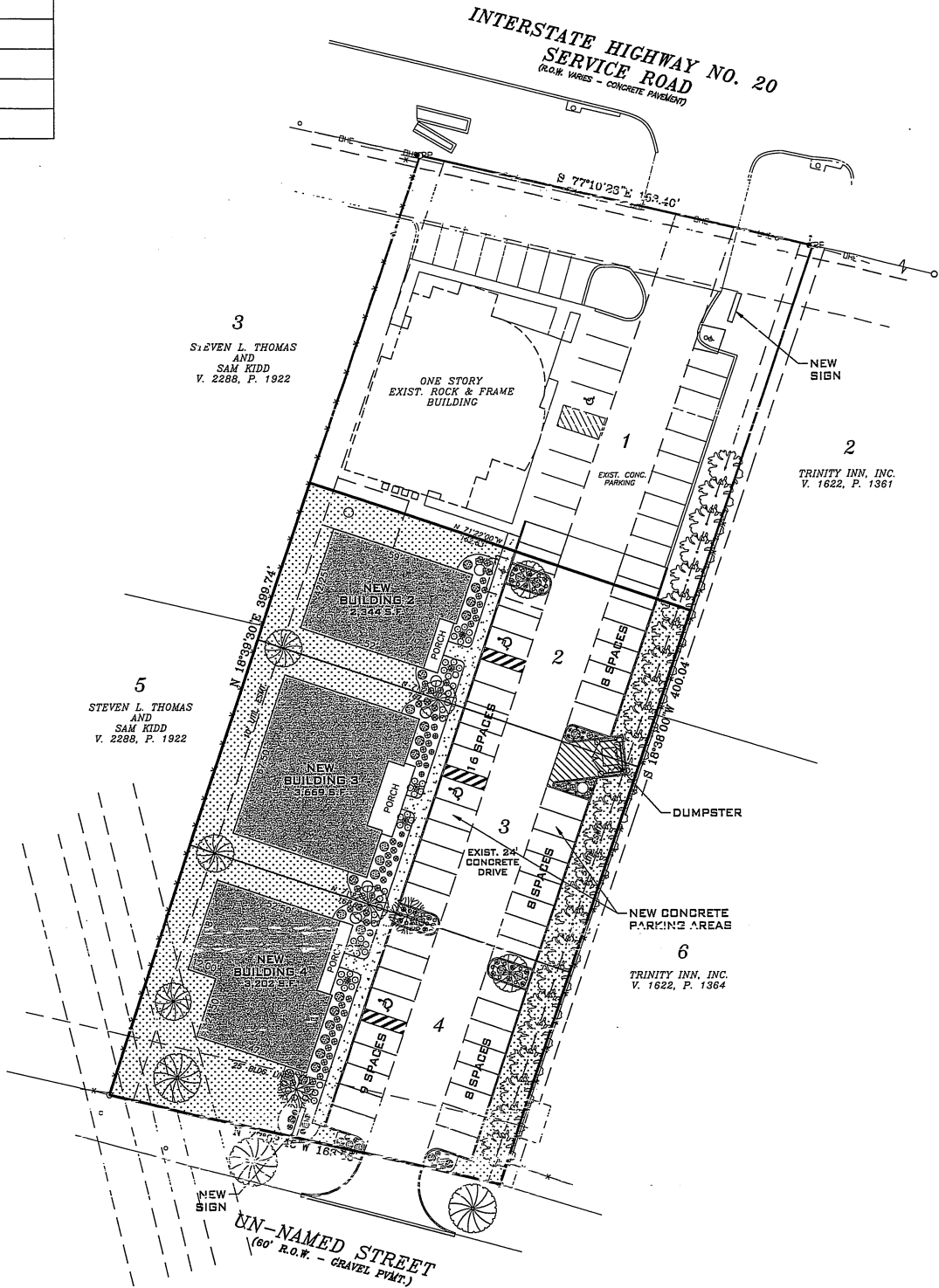
TYP. CURB RAMP
NTS



TYP. CONTROL JOINT
NTS



TYP. CONSTRUCTION JOINT
NTS

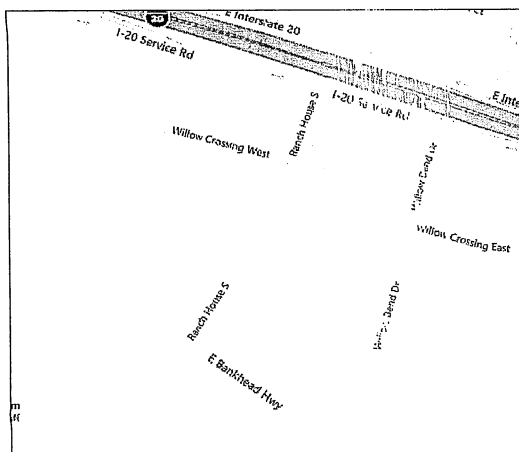


SITE
PLAN

WILLOW CROSSING WEST
WILLOW PARK, TEXAS

SCALE: 1"= 30'
DATE: 04-19-18
DRAWN BY: JAS
AR - 18013

SHEET
NUMBER
A1



LOCATION MAP

WILLOW CROSSING WEST

**I-20 SERVICE ROAD
WILLOW PARK, TEXAS**

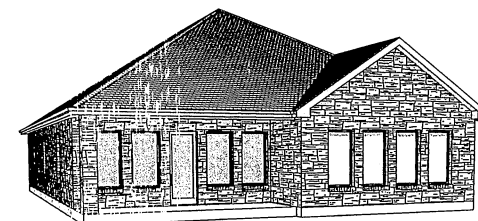
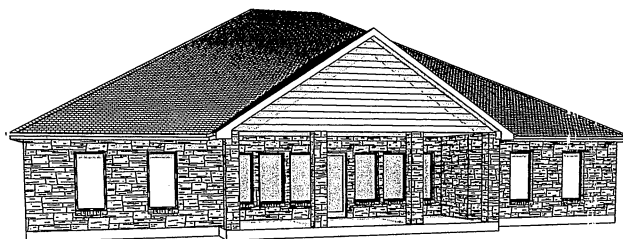
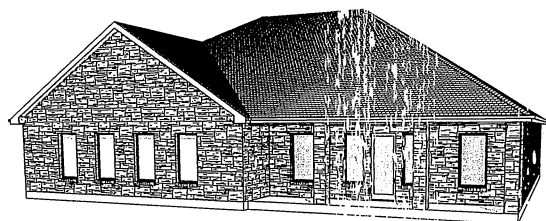
BUILDING 2 A/C	= 2,344 SQ.FT.
BUILDING 2 A.U.R.	= 2,472 SQ.FT.
BUILDING 3 A/C	= 3,669 SQ.FT.
BUILDING 3 A.U.R.	= 3,982 SQ.FT.
BUILDING 4 A/C	= 3,202 SQ.FT.
BUILDING 4 A.U.R.	= 3,364 SQ.FT.

GENERAL NOTES:

- 1) THE PROJECT WILL INVOLVE THE CONSTRUCTION OF A NEW COMMERCIAL OFFICE BUILDING, PARKING, SITEWORK AND UTILITIES PERTAINING TO THE BUILDING. ALL WATER, GAS AND SANITARY SEWER ARE AVAILABLE.
- 2) FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO CONSTRUCT THE WORK IN ITS ENTIRETY WITH GOOD WORKMANSHIP AND WITH U.S. MATERIALS AS SPECIFIED IN THE DRAWINGS AND OTHERWISE DIRECTED BY THE OWNER. ALL WORK SHALL MEET U.S. STANDARDS FOR THE INDUSTRY.
- 3) NO CONCRETE SLAB FOOTINGS SHALL BE ALLOWED PRIOR TO APPROVAL AND RELEASE BY OWNER OF ALL TENANT FIT-OUT PLANS AND DETAILS AND IN THE LATTER CASE OF REQUIRED UNDER-SLAB UTILITIES.
- 4) ALL ELECTRICAL WORK SHALL BE INSTALLED PER THE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
- 5) THE FOLLOWING CODES HAVE BEEN ADOPTED FOR THIS PROJECT AND ARE IN EFFECT PER WILLOW PARK CITY ORDINANCE CHAPTER 9, F.C.D. 301.0 (1), 301.0 (2), 301.0 (3), 301.0 (4), 301.0 (5), 301.0 (6), 301.0 (7), 301.0 (8), 301.0 (9), 301.0 (10), 301.0 (11), 301.0 (12), 301.0 (13), 301.0 (14), 301.0 (15), 301.0 (16), 301.0 (17), 301.0 (18), 301.0 (19), 301.0 (20), 301.0 (21), 301.0 (22), 301.0 (23), 301.0 (24), 301.0 (25), 301.0 (26), 301.0 (27), 301.0 (28), 301.0 (29), 301.0 (30), 301.0 (31), 301.0 (32), 301.0 (33), 301.0 (34), 301.0 (35), 301.0 (36), 301.0 (37), 301.0 (38), 301.0 (39), 301.0 (40), 301.0 (41), 301.0 (42), 301.0 (43), 301.0 (44), 301.0 (45), 301.0 (46), 301.0 (47), 301.0 (48), 301.0 (49), 301.0 (50), 301.0 (51), 301.0 (52), 301.0 (53), 301.0 (54), 301.0 (55), 301.0 (56), 301.0 (57), 301.0 (58), 301.0 (59), 301.0 (60), 301.0 (61), 301.0 (62), 301.0 (63), 301.0 (64), 301.0 (65), 301.0 (66), 301.0 (67), 301.0 (68), 301.0 (69), 301.0 (70), 301.0 (71), 301.0 (72), 301.0 (73), 301.0 (74), 301.0 (75), 301.0 (76), 301.0 (77), 301.0 (78), 301.0 (79), 301.0 (80), 301.0 (81), 301.0 (82), 301.0 (83), 301.0 (84), 301.0 (85), 301.0 (86), 301.0 (87), 301.0 (88), 301.0 (89), 301.0 (90), 301.0 (91), 301.0 (92), 301.0 (93), 301.0 (94), 301.0 (95), 301.0 (96), 301.0 (97), 301.0 (98), 301.0 (99), 301.0 (100).
- 6) CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIAL TYPES AND QUALITY REQUIREMENTS WITH THE OWNER PRIOR TO BEGINNING OF CONSTRUCTION.
- 7) PROJECT MUST BE KEPT CLEAN FROM RUBBISH AND DEBRIS AT ALL TIMES. ALL EXCESS TRASH AND DEBRIS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

GENERAL EXTERIOR SPECIFICATIONS

- 1) METAL ROOF TO BE CONSISTED OF MUELLER 'DALVALUME' COLOR PANELS, GUTTERS & CLOSURES FOR COMPANION OFF PANELS TO BE USED ON ALL METAL ROOFS AND EAVE SOFFITS (EXCEPT ON OWNER'S PARKING AREA). U-PANELS SHALL BE USED ON EMPLOYEE PARKING (REF. WALL SECTION 12).
- 2) TITANIUM UDL-30 ROOFING UNDERLAYMENT (OR COMPARABLE) TO BE USED ON ALL ROOFING (EXCEPT OWNER'S PARKING AREA) FOR AIR, WATER & VAPOR BARRIER.
- 3) SOFFITS OVER PORCHES SHALL BE 1/4" HARDIE BOARD 'COBBLE STONE' COLOR & NON-VENTED (OR COMPARABLE).
- 4) EXTERIOR MASONRY SHALL CONSIST OF PALE PINK SANDSTONE VENEER, AND MODENA BROWN ANTIQUE ZINE SIZ 1/4" BRICK VENEER (OR COMPARABLE). MORTAR TO BE 90% COLOR TO MATCH MASONRY.
- 5) ALL CEDAR POSTS, BEAMS, UNITS AND FENCE SHALL BE STAINED WITH 'WALNUT' COLOR, AND FINISHED WITH 3F MTPANSPARENT, OIL OR ALKYD RESIN BASE STAIN, 3 COATS. DETOL 1-2-3 BY SIKENS (NO SUBSTITUTION).



BUILDING DESIGNER:



MEP:
POINTSWEST DESIGN
BENBROOK, TEXAS
(817)676-2306

CIVIL & STRUCTURAL ENGINEER:

LOBINGER & POTTS STRUCTURAL
ENGINEERING, INC.
3509 HULEN STREET, SUITE 208
FORT WORTH, TEXAS 76109
(817)763-1950

SURVEYOR:

CARTER SURVEYING AND MAPPING
203 90 JTH FRONT STREET
ALEDO, TX 76008
(817) 441-1742

TAS # :

DRAWING INDEX

PROJECT COVER SHEET

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- C-1.1
- C-1.2
- C-2.1
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- C-5.1
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- S1 TBD

ARCHITECTURAL

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- A2 SITE DETAILS
- A3 BUILDING 2 FLOOR PLAN & SCHEDULES
- A4 BUILDING 2 ELEVATIONS
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- CE1.0
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- E3.0
- M1.0
- M2.0
- P1.0

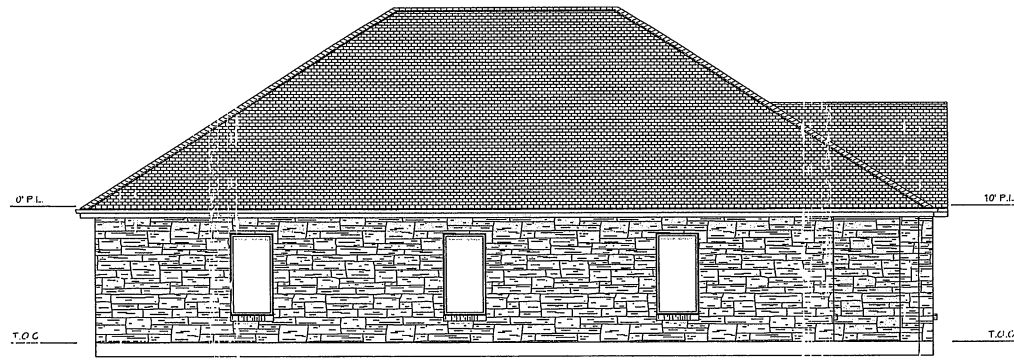


WILLOW CROSSING WEST
WILLOW PARK, TEXAS

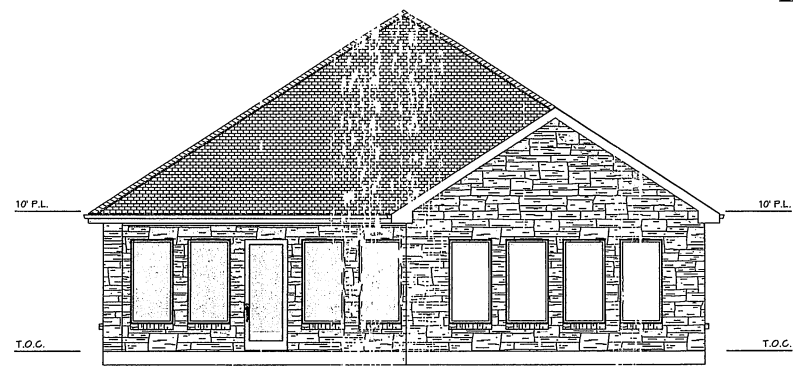
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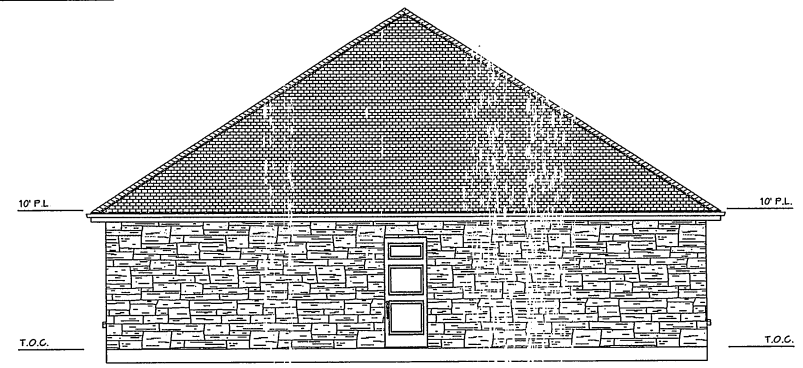
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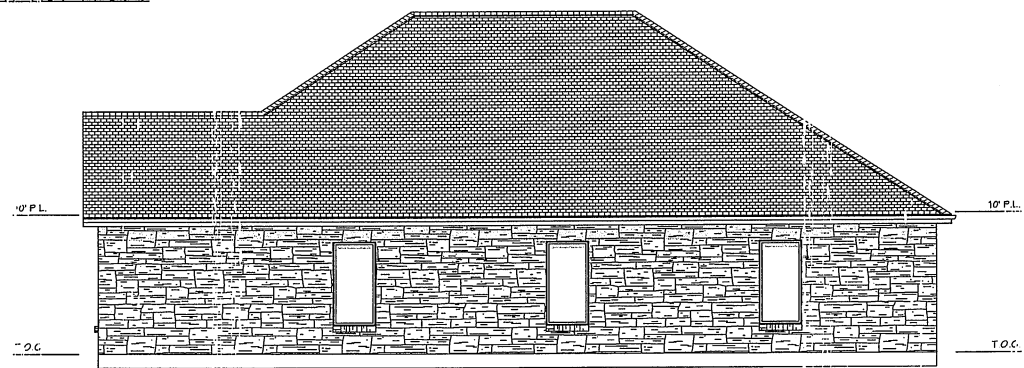
EXTERIOR ELEVATION LEFT



EXTERIOR ELEVATION FRONT



EXTERIOR ELEVATION BACK



EXTERIOR ELEVATION RIGHT



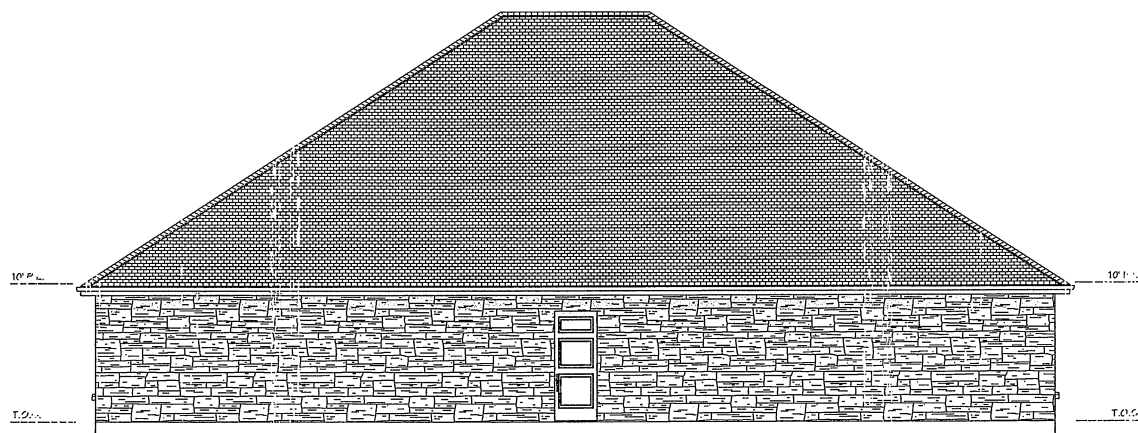
**BUILDING 2
ELEVATIONS**

WILLOW CROSSING WEST
WILLOW PARK, TEXAS

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A4



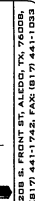
EXTERIOR ELEVATION BACK

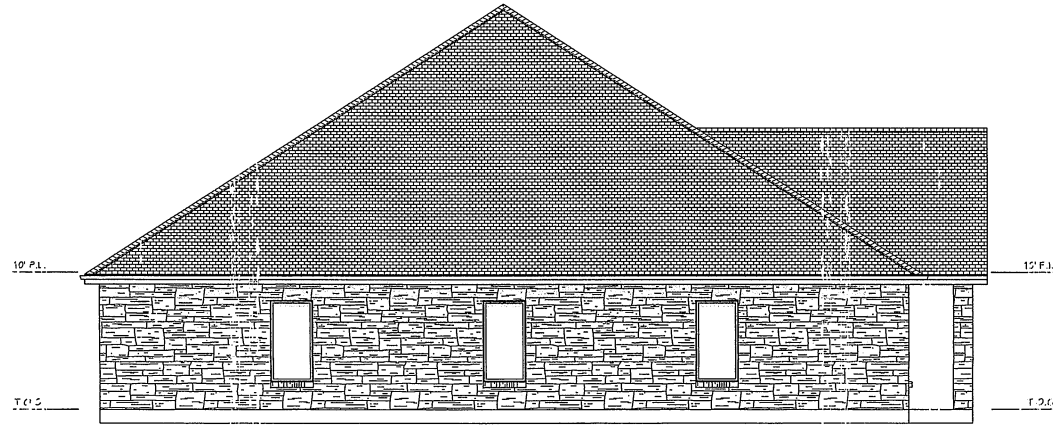
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AR - 18013

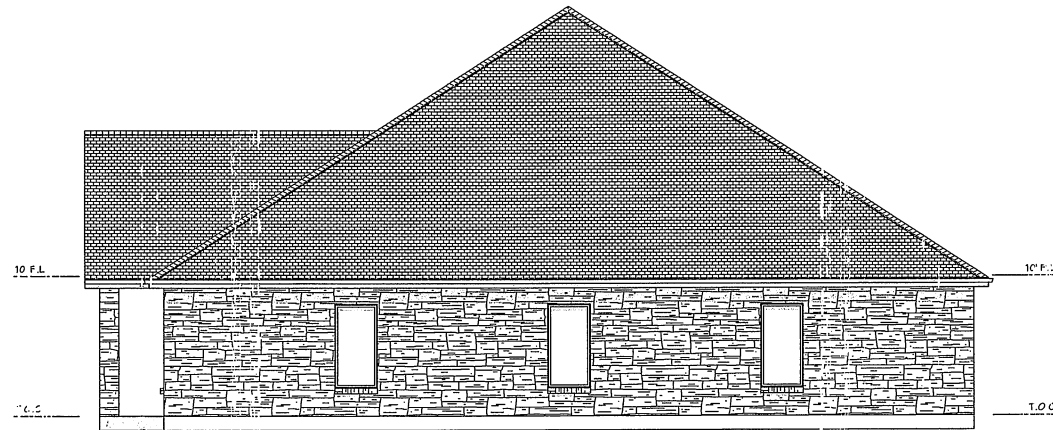
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MICHAEL L. PIERCE
PROFESSIONAL
BUSINESS OFFICER





EXTERIOR ELEVATION LEFT



EXTERIOR ELEVATION RIGHT

SHEET
NUMBER
A7

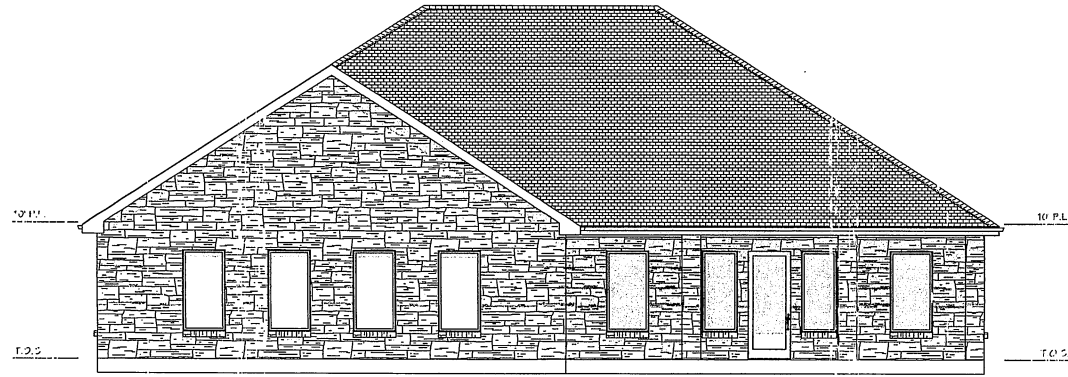
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WILLOW PARK, TEXAS
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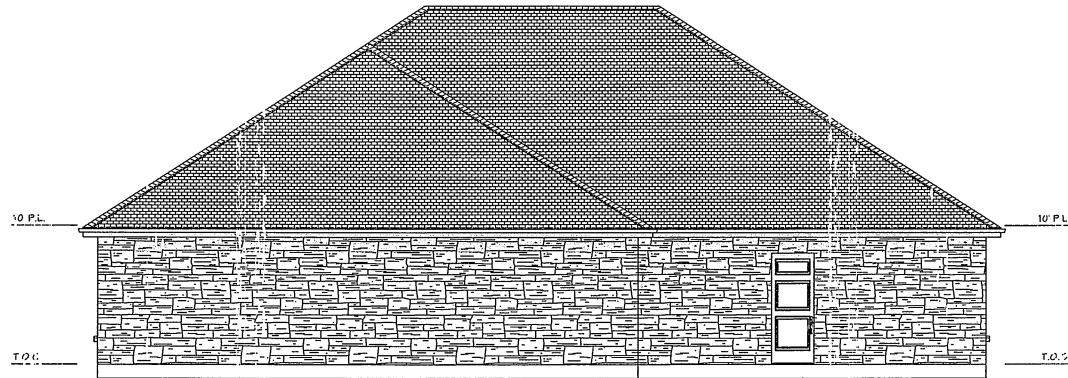
**BUILDING 3
LEFT & RIGHT
ELEVATIONS**

**AI
BD.**
MICHAEL L. PIERCE
PROFESSIONAL
BUSINESS DESIGNER

**PIERTECH
DESIGN CONSULTANTS**
1111 S. FIDELITY ST., ALBUQUERQUE, NM 87102
(505) 441-1742, FAX: (505) 441-1033



EXTERIOR ELEVATION FRONT



EXTERIOR ELEVATION BACK



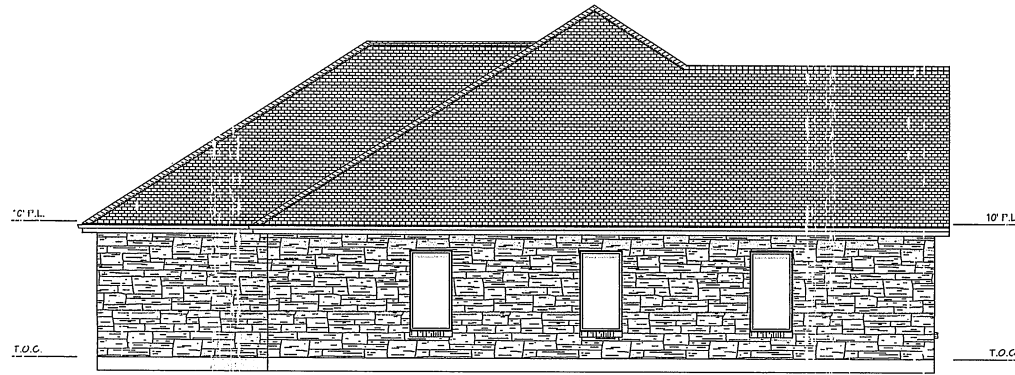
**BUILDING 4
FRONT & BACK
ELEVATIONS**

WILLOW CROSSING WEST
WILLOW PARK, TEXAS

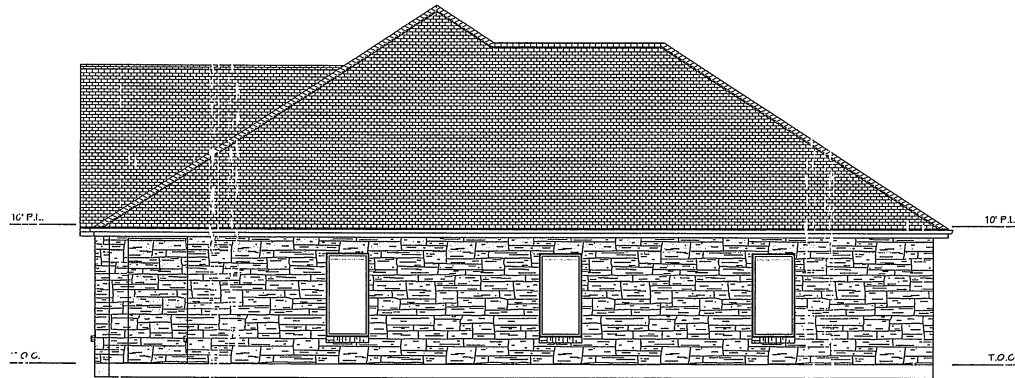
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SHEET
NUMBER
A9



EXTERIOR ELEVATION LEFT



EXTERIOR ELEVATION RIGHT



**BUILDING 4
LEFT & RIGHT
ELEVATIONS**

WILLOW CROSSING WEST
WILLOW PARK, TEXAS

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SHEET
NUMBER

A10

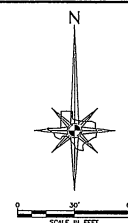
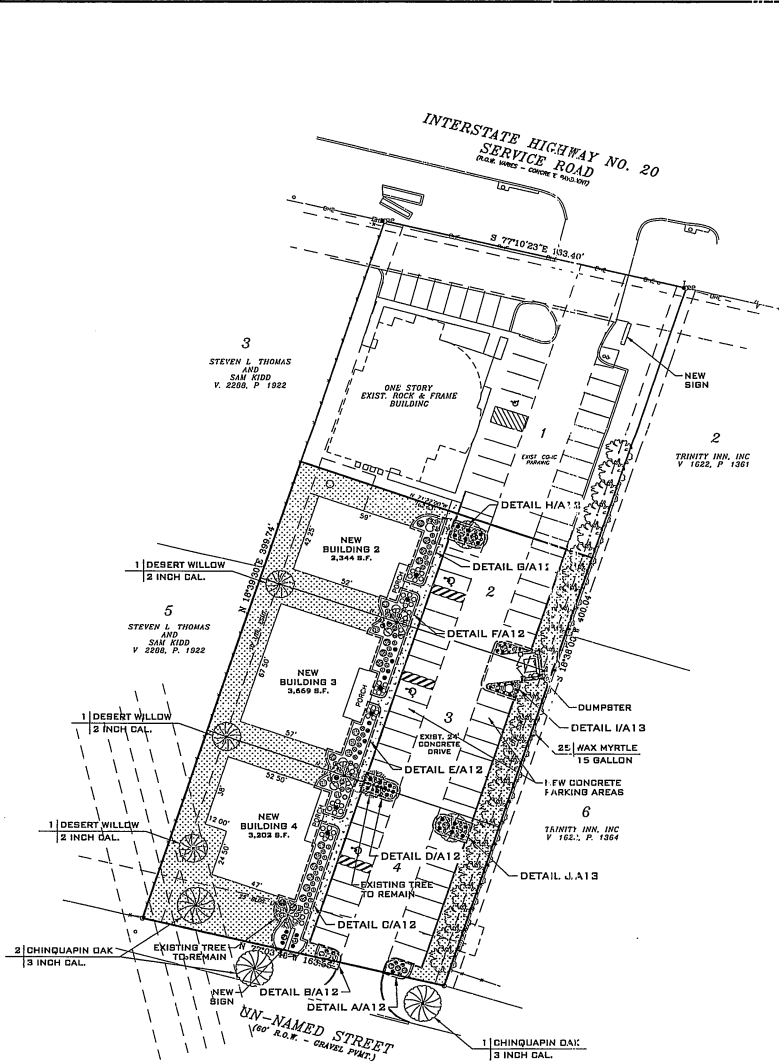
PLANT TABLE			
QUAN.	COMMON NAME	SCIENTIFIC NAME	SIZE
3	CHINKAPIN OAK	QUERCUS MUEHLINGII	3 INCH CAL.
8	DESERT WILLOW	CHILOPSIS LINEARIS	2 INCH CAL.
25	WAX MYRTLE	MYRTIDA DERIFERA	15 GALLON
6	BRIDAL WREATH SPIREA	SPIRAEA BPP.	3 GALLON
5	DWARF POMEGRANATE	PUNICA GRANATUM	3 GALLON
17	DOUBLE KNOCK OUT ROSE	ROSA 'RADTKO'	3 GALLON
7	SHERWOOD ABELIA	ABELIA X. BRADFLORA 'HILARY JON'	3 GALLON
6	WHALE'S TONGUE AGAVE	AGAVE OVATIFOLIA	3 GALLON
8	BRAZILIAN ROCK ROSE	PAVONIA BRAZILIENSIS	3 GALLON
59	TROPICAL SAGE	SALVIA COCCINEA	1 GALLON
51	HARDY PLUMBAGO	DERANTHISMA PLUMBAGINIFOLIA	1 GALLON
16	BARBERRY	BERBERIS THUNBERGII	1 GALLON
23	YELLOW COLUMBINE	AQUILEGIA BPP.	1 GALLON
15	AZTEO GRASS	OPHIOPOSSON INTERMEDIUS	1 GALLON
21	BLUE CARPET JUNIPER	JUNIPERUS HORIZONTALIS	1 GALLON

LANDSCAPE AREA CALCULATIONS

GRASS AREA	12,120 S.F.
LANDSCAPE AREA	3,278 S.F.
SIDEWALK AREA	1,412 S.F.
NEW CONC. PARKING	8,556 S.F.
EXIST. CONC DRIVE	5,976 S.F.
BUILDING SLAB AREA	9,818 S.F.

LEGEND:

	GRASS AREA
	LANDSCAPE AREA
	SIDEWALK AREA



LANDSCAPE PLAN

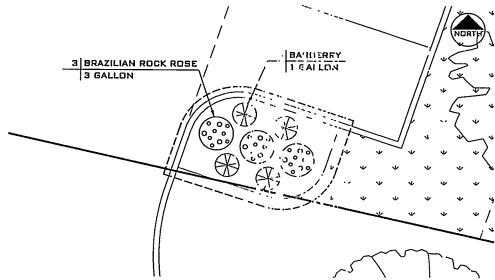
WILLOW CROSSING WEST
WILLOW PARK, TEXAS

SCALE: 1" = 30'
DATE: 04/19/18
DRAWN BY: JAS

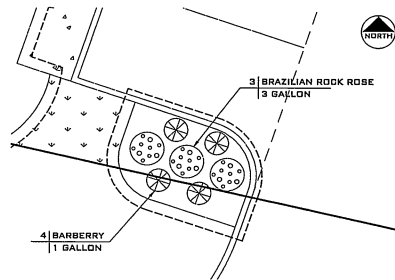
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NUMBER
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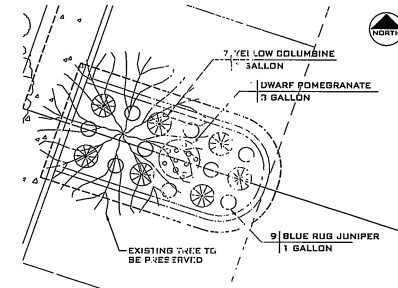
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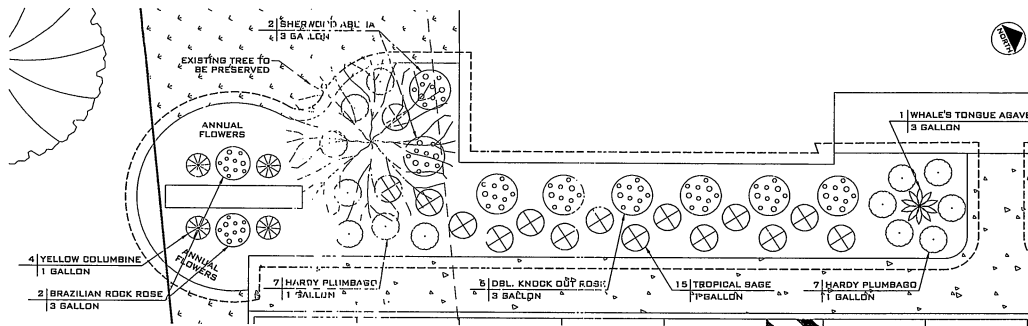
DETAIL A



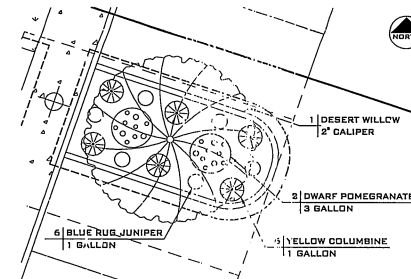
DETAIL B



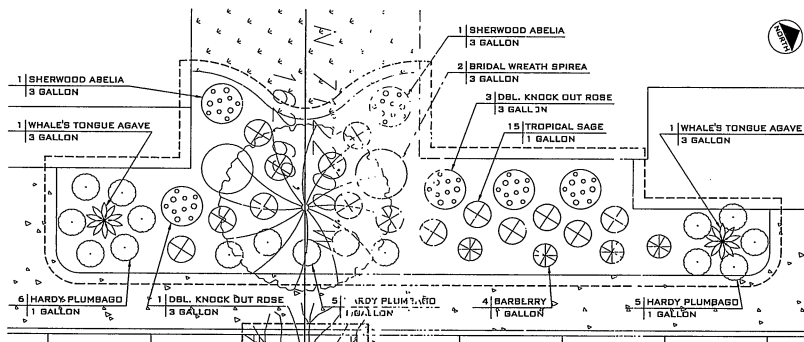
DETAIL C



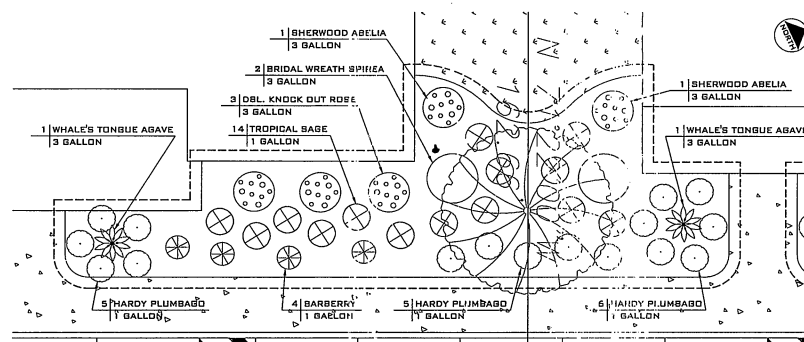
DETAIL D



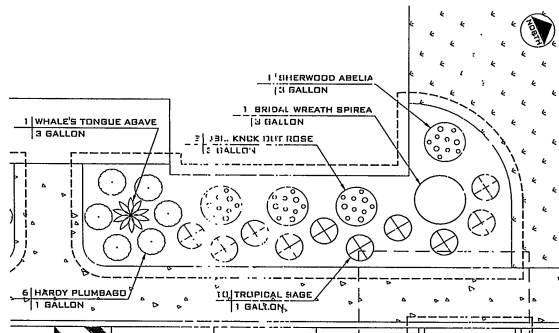
DETAIL E



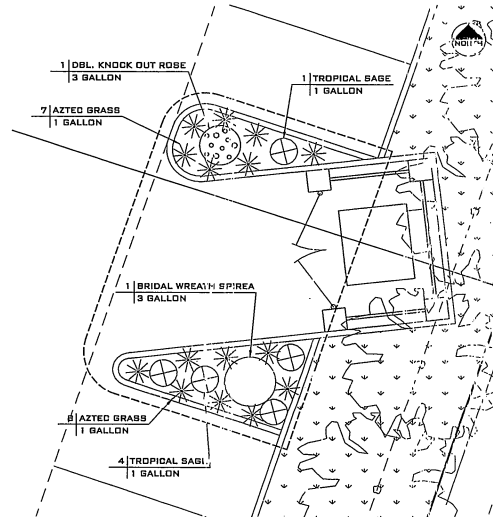
DETAIL F



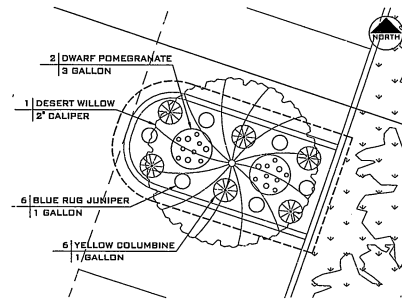
DETAIL G



DETAIL G



DETAIL I



DETAIL J

PIERTECH
DESIGN CONSULTANTS
308 S. FRONT ST., ALBUQUERQUE, NM, 87102
(505) 243-1722, FAX (505) 243-1723

AI **BD**
MICHAEL L. PIERCE
PROFESSIONAL
BUILDING DESIGNER

**LANDSCAPE
DETAILS**

**WILLOW CROSSING WEST
WILLOW PARK, TEXAS**

SCALE: 1"= 5'
DATE: 04/19/18
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**SHEET
NUMBER**
A13

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TTI

TRACY TOMLIN G.C. LLC

A Tradition of Excellence


9-20-2016

To the Planning and Zoning Board in Willow Park:

The buildings will look like the just like the Reunion Title building in Willow Park. The exterior will be a tan colored exterior trim and a sand stone rock just like the picture. If y'all have any questions, please let me know.

Thank You

Tracy Tomlin G. C. LLC



Tracy Tomlin G.C. LLC

4-2-2018

Date

P.O. BOX 1037

Aledo, Texas 76008

Telephone (817) 596-4000

Cell (817) 929-9730

Fax (817) 441-1039

Email tracy@ttomlin.com

REUNION 1111





P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: May 23rd, 2018	Department: Development Services	Presented By: Betty Chew
--	--	------------------------------------

AGENDA ITEM: 3

Consider and act on a request for a Special Use Permit for Lot 1, Block 1, Bell Natural Stone Addition, to operate and expand a masonry supply store and warehouse in the C Commercial/IH-20 Overlay District at 4801 E. IH-20 Service Road.

BACKGROUND:

The applicant Ronald Bell is requesting a Special Use Permit to expand his masonry supply store and masonry supply yard and also construct a warehouse at Bell's Natural Stone. Mr. Bell has operated his stone and masonry supply business at this location since 2003. He would like to expand his existing 1,600 square foot building by adding 2,147 square feet of showroom area on the ground floor and add a 981 square foot second story which will be an office and conference room. The expanded building will have a stone and masonry siding façade with a metal roof. A new 4,000 square foot warehouse shop building will be built west of the showroom. The site will be improved with concrete paving and additional parking spaces as well as an access drive to adjacent commercial property. New landscaping and screening are proposed to buffer the residential development north and east of the site.

Attached is the applicant's request which included a site plan, elevation drawings, and landscape plans.

Property owners were notified by mail and Notice of Public Hearing has been published and posted.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff would recommend consideration of a Special Use Permit for the expansion of Bell's Natural Stone as requested and shown on the site and building plans.

The Planning and Zoning Commission recommends approval of the Special Use Permit for the expansion of Bell's Natural Stone as requested.

The Commission vote was unanimous.


EXHIBITS:

SUP Application
Site Plan
Building Elevations

ADDITIONAL INFO:	FINANCIAL INFO:
-------------------------	------------------------

	Cost	\$ N/A
	Source of Funding	\$ N/A

Specific Use Permit Application

Name of applicant/agent: Mr. Ronald Bell		
Street address of applicant/agent: 4801 E. I-20 Service Rd. N.		
City/State/Zip Code of applicant/agent: Willow Park, TX 76087		
Email: tbell@bellstone.com	Telephone # of applicant/agent: 817.441.9590	
DESIGNATION OF PROPERTY		
Current Zoning Classification: C-Commercial with I-20 Overlay	Street address of property: 4801 E. I-20 Service Rd. N. Willow Park, TX 76087	Proposed Use of property: Masonry Supply Store
Describe the nature of the proposed activity and any particular characteristics related to the use of the property: <div style="text-align: center;">Building Addition: Showroom & Office Warehouse: Warehouse</div>		
PROPERTY OWNER INFORMATION		
Name of property owner: Mr. Ronald Bell		
Street address of property owner: 4801 E. I-20 Service Rd. N.	Reason for Special Use Permit: Use is Considered Light Industrial	
City / State / Zip Code of property owner Willow Park, TX 76087	Telephone number of Property Owner: 817.441.9590	
Survey or Map attached (if applicable)	Note: A map or plot plan of the property and drawings of the proposed construction must be submitted with this application. The applicants or their representatives must be present at their scheduled public hearing.	
I hereby certify that I am, or that I represent the legal owner of the property described above and do hereby submit this request for a Special Use Permit to the Planning and Zoning Commission for consideration.		
Signature 		Date <u>May 1st, 2018</u>
FOR OFFICIAL USE ONLY		
Date of Planning & Zoning Public Hearing	Taxes, Liens and Assessments Paid?	Case Number
Special Use Permit Approved:	Date of City Council Meeting:	Fees: \$
This application will not be		

City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087
817-441-7108
www.willowpark.org



City of Willow Park Development Services
Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Bellstone Site Improvements and Expansion	
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ 409,860.00 (round up to nearest whole dollar)		Project Address (or description): 4801 E. I-20 Service Rd. N. Willow Park, TX 76087	
Brief Description of the Project: Masonry Supply Store Addition and Warehouse			
Existing zoning: C-Commercial with I-20 Overlay		# of Existing Lots (plats only):	
Proposed zoning: C-Commercial with I-20 Overlay		# of Proposed Lots (plats only):	
Applicant/Contact Information <i>(this will be the primary contact)</i>			
Name: Mr. Ronald Bell		Mailing Address: 4801 E. I-20 Service Rd. N. Willow Park, TX 76087	
Company: Bell's Natural Stone			
Primary Phone: 817.441.9590		E-mail: tbell@bellstone.com	
Property Owner Information <i>(if different than above)</i>			
Name:		Mailing Address:	
Company:			
Primary Phone:		E-mail:	
Other Phone:		Fax:	
() Developer / (X) Engineer / () Surveyor Information <i>(if applicable)</i>			
Name: Mr. Shannon Nave		Mailing Address: 1901 Martin Dr. Ste. 100, Weatherford, TX 76086	
Company: Baird, Hampton and Brown			
Primary Phone: 817.596.7575		E-mail: shannon@bhbin.com	
Other Phone:		Fax:	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	SLN	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	SLN	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	SLN	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	SLN	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	SLN	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	SLN	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		✓	
7	SLN	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		✓	
8	SLN	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	SLN	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	SLN	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		✓	
11		Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.	N/A		
12		Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.	N/A		
13	SLN	Adjacent property lines within 300 feet of the subject property lines are shown by a light dashed line.		✓	
14	SLN	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 300 feet of the property line is indicated		✓	
15	SLN	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16		Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.	N/A		
17		Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.	N/A		



City of Willow Park Development Services Department

18		<p>Driveways within 200 feet of the property line:</p> <p>_____ a. Are accurately located and dimensioned.</p> <p>_____ b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines.</p> <p>_____ c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline.</p> <p>_____ d. Typical radii are shown.</p>			
19		Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.	N/A		
20		Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.	N/A		
21		<p>Off-site streets and roads:</p> <p><u> X </u> a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned.</p> <p><u> N/A </u> b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site.</p> <p><u> N/A </u> c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable.</p> <p><u> N/A </u> d.. Distance to the nearest signalized intersection is indicated</p>	N/A		
22	SLN	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.		✓	
23	SLN	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.		✓	
24		Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.		✓	
25	SLN	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.		✓	
26	SLN	Paving materials, boundaries and type are indicated.		✓	
27		Access easements are accurately located/ tied down, labeled and dimensioned.		✓	
28		Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.	N/A		
29		Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.		✓	
30		Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.	N/A		
31		Screening walls are shown with dimensions and materials. An Inset is provided that shows the wall		✓	



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.			
32	SLN	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan Indicating plant species/name, height at planting, and spacing.		✓	
33		A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.			
34		Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.			
35		Boundaries of detention areas are located. Indicate above and/or below ground detention.			
36		Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.			
37		Communication towers are shown and a fall distance/collapse zone is indicated.			
38		Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable			
39	SLN	Explain in detail the proposed use(s) for each structure Building Addition: Showroom & Office Warehouse: Warehouse		✓	
40	SLN	Total lot area less building footprint (by square feet): 7742 Square footage of building: Showroom & Office: 4723 Warehouse: 4000 Building height (stories and feet) 28 Number of Units per Acre (apartments only): N/A		✓	
41	SLN	Parking required by use with applicable parking ratios indicated for each use: 25 Parking Provided Indicated: 30 Handicap parking as required per COWP ordinance and TAS/ADA requirements: 30		✓	
42		Provide service verification from all utility providers			
43	SLN	List any variance requested for this property, dates, and approving authority Special Use Permit City Council		✓	
44	SLN	Provide storm water and drainage study and design		✓	
45		Proposed domestic water usage (gallons per day, month, and year)			
46		Are any irrigation wells proposed?			
47		Applicant has received Landscaping Ordinance and requirements			
48		Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review			
49		Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review			



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: _____

Date: 5/1/2018



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 325357.58 sq. ft.

Area of lot covered with structures and impervious surfaces: 52655.74 sq. ft.

Total number of structures: 2 Total number of habitable structures: 0

Square footage of each building: 4723 sq. ft. 4000 sq. ft. _____ sq. ft.

Proposed use for each structure:

4723 SF- Showroom & Office

4000 SF- Warehouse

Building stories: 2

Building height: 28 ft.

Total number of parking spaces: 30

Number of handicap spaces: 2

Does the site include any storm water retention or detention? Yes

☒ No

Does the project include any engineered alternatives from code requirements? Yes

☒ No

Staff Review: *(for official use only)*

Does the proposed project pose any engineering concerns? Yes

☒ No

Approved

Not Approved

Needs More Information or Corrections

Engineering Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25 ft.

Rear building setback: 25 ft.

Side building setback: 10 ft.

Side building setback: 25 ft.

Does the site include any utility/electric/gas/water/sewer easements?

☒ Yes

☐ No

Does the site include any drainage easements?

☐ Yes

☒ No

Does the site include any roadway/through fare easements?

☐ Yes

☒ No

Staff Review: (for official use only)

Does the site plan include all the required designations?

☒ Yes

☐ No

Are the setbacks for the building sufficient?

☒ Yes

☐ No

Are there any easement conflicts?

☐ Yes

☒ No

Does the proposed project pose any planning concerns?

☐ Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Building Official Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Will the building have a fire sprinkler/suppression system?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Is the building taller than two-stories?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
If yes, how many stories? _____		
Will the project require installation of a new fire hydrant?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
If yes, how many fire hydrants? _____		
What is the size of the proposed fire connections? _____		

Staff Review: *(for official use only)*

Does the proposed project include the sufficient fire connections?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Is the proposed project an adequate distance to a fire hydrant?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the project have the minimum 24' hard surface?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Is the fire lane appropriate?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the site have the proper turning radius?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the proposed project pose any safety concerns?	<input type="radio"/> Yes	<input checked="" type="radio"/> No

Does the proposed project require any additional fire services? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? ☒ Yes ☐ No

If yes, what is the base flood elevation for the area? 834

Is any built improvement in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any habitable structure in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

If yes, what is the finished floor elevation for the habitable structure? N/A

If yes, please list any wet or dry flood proofing measures being used?

N/A

Staff Review: *(for official use only)*

Base flood elevations confirmed? ☒ Yes ☐ No

Will the project require a "post-grade" elevation certificate? ☒ Yes ☐ No

Flood proofing measures approved? ☒ Yes ☐ No

Does the proposed project pose any safety concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: _____ Date: _____



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 325357.58 sq. ft.

Area of lot covered with structures and impervious surfaces: 52655.74 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 16.18 %

Area of green space/landscaped areas: 272701.84 sq. ft.

Percentage of green space/landscaped areas: 83.82 %

Total number of parking spaces: 30

Does the site include any vegetative erosion or storm water control? Yes

☒ No

Staff Review: *(for official use only)*

Does the proposed project pose any landscaping concerns? Yes

☒ No



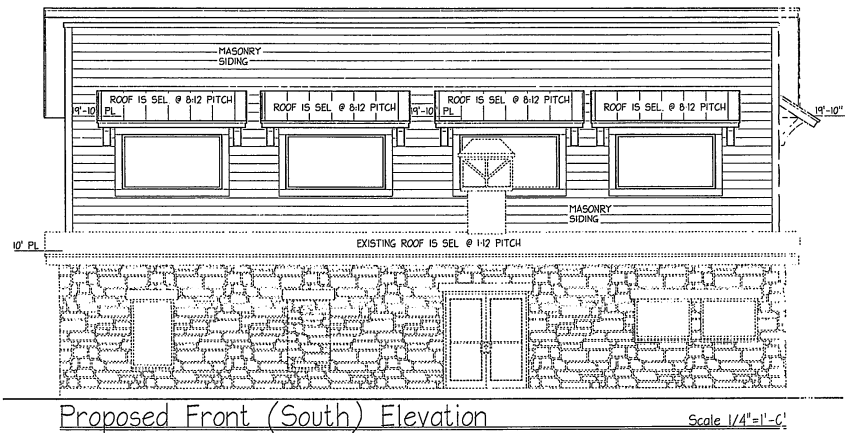
Approved

Not Approved

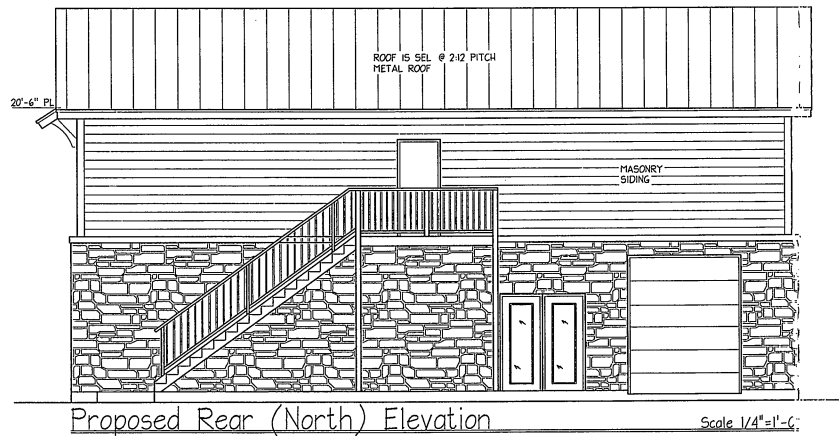
Needs More Information or Corrections

Landscaping Approval Signature: _____

Date: _____



NOTE:
ALL WINDOWS 4:1 IN 12:1 TO
BE COVERED WITH PETAL
OWNER TO SELECT COLOR



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Job Location:
Belts Natural Stone
4801 E. I-20 Service Rd. N.
Willow Park, TX 76087

Lindbergh Designs
Commercial & Residential Planning
bus. (817) 283-4800 • fax (817) 796-1479

d

DATE: 30 APR 18

PLAN: ADD 3128
A5

NOTE:
ALL WINDOW AWNINGS TO
BE COVERED WITH METAL.
OWNER TO SELECT COLOR.

19'-10" PL

26'-1" F.

MASONRY SIDING

ROOF IS SEL @ 8:12 PITCH

10' PL

4" PL

Proposed Right (East) Elevation

Scale: 1/4" = 1'-0"

20'-6" PL

MASONRY SIDING

19'-10" PL

10' PL

Proposed Left (West) Elevation

Scale 1/4"=1'-0"

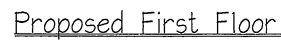
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4801 E. I-20 Service Rd. N.
Willow Park, TX 76087

Lindbergh Designs
Commercial & Residential Planning
bus. (817) 283-4800 • fax (817) 796-1479



DATE: 30 APR 18

PLAN: ADD 3128
A6



Scale $1/4'' = 1' - 0''$

AREA MAIN 213

FIRST FLOOR ADDITION	2147	S.F.
SECOND FLOOR ADDITION	981	S.F.
<hr/> TOTAL A/C AREA ADDITION	<hr/> 3128	<hr/> S.F.

PLAN LEGEND

PLUM TYPE (LETTERED)
 FLOOR TYPE (NUMBERED)
 PLUMBING CABINET
 HOOK-BUD
 VENTILATION HEADER
 OPENING OR CHAIR
 BRICK CLEAR OPENING
 OF FLAKES
 FINISHED STUD WALL
 EIGHTH STUD WALL
 BRICKED BRICK LEDGE
 FINISHED BRICK LEDGE
 PLUMBING WALL
 FINISHING SLOPE
 FINISH CEDAR OR LAMINATED BEAM
 PLASTER OR BEAM
 BRICK HANGING RODS
 FINISH HANGING ROD
 SPANER HEAD @ 7'-0" A.F.F.
 HIC ACCESS
 CUTTLE
 HEATER (20" DIAMETER)
 (20" OUTLET IF GAS IS
 AVAILABLE)
 HEATER OVERHEAD
 (20" OUTLET IF GAS IS
 NOT AVAILABLE)

DOCR SCHEDULE

NO.	F.C.	27	PL	MATERIAL	SPECIAL DETAIL
1	10'-2"				EXISTING DOOR
2	2'-7"			EXTERIOR	
3	2'-0"			INTERIOR	
4	6'-0"			EXTERIOR	(2) 3070 DOORS
5	4'-0"			INTERIOR	(2) 2070 DOORS
6	7'-0"			INTERIOR	
7	4'-0"			INTERIOR	(2) 2070 DOORS @ 9'-0" H.H.
8	2'-0"			EXTERIOR	

WINDOW SCHEDULE

NO	U	H	STYLE	SPECIAL DETAIL
A	16'-0"	7'-0"	CLEAR	EXISTING WINDOW
B	16'-0"	7'-0"	CLEAR	GLASS WITH ALUM DIVIDERS
C	16'-0"	7'-0"	CLEAR	
D	16'-0"	7'-0"	CLEAR	
E	16'-0"	7'-0"	CLEAR	
F	16'-0"	7'-0"	CLEAR	

These plans are the property of Unibridge Designs LLC, and are not to be reproduced, copied or reused for construction without the written permission of Unibridge Designs LLC. These plans are intended to provide the construction information necessary to build this structure. Builder/Owner must verify and correct all dimensions prior to construction. Limit of architect/consultant responsibilities do not exceed the two paid plans. Structural engineering plans may be required in addition with these plans.

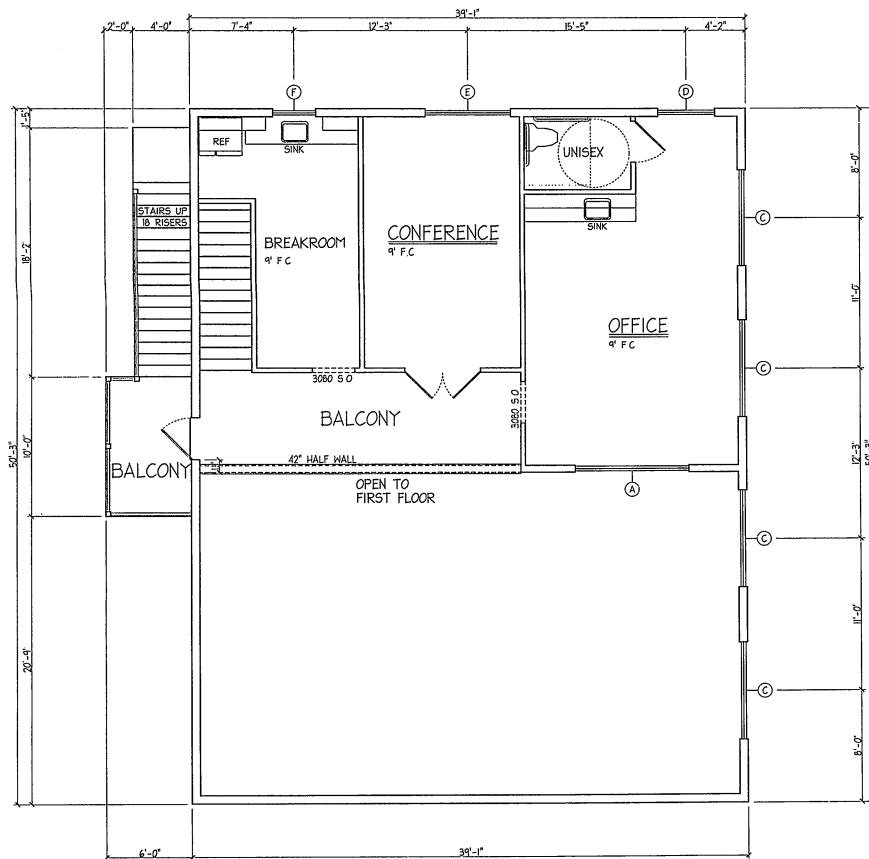
Job Location:
Bell's Natural Stone
4801 E. I-20 Service Rd. N.
Willow Park, TX 76087

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Commercial & Residential Planning
bus. (817) 283-4800 • fax (817) 796-1479

Id

DATE: 22 FEB 18

PLAN:ADD 3128
A7



Proposed Second Floor

Scale 1/4"=1'-0"

AREA ANALYSIS	
FIRST FLOOR	2147 S.F.
SECOND FLOOR	981 S.F.
TOTAL FLOORING	3128 S.F.

PLAN LEGEND	
1	WINDOW TYPE (LETTERED)
2	DOOR TYPE (NUMBERED)
3	PLUMBING
4	MECHANICAL CABINET
5	4\"/>

DOOR SCHEDULE		
NO.	DESCRIPTION	SPECIAL DETAIL
1	11/2"	EXISTING DOOR
2	3/4"	EXTERIOR
3	3/4"	INTERIOR
4	6 7/8"	EXTERIOR (2)3070 DOORS
5	4 1/2"	INTERIOR (2)2070 DOORS
6	4 1/2"	INTERIOR
7	4 1/2"	INTERIOR (2)2070 DOORS @ 9'-0" H.H.

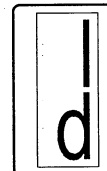
WINDOW SCHEDULE			
NO.	SIZE	STYLE	SPECIAL DETAIL
A	11'6"	-	EXISTING WINDOW
E	12'0"	7'-0"	GLASS WITH ALUM. DIVIDERS
C	10'0"	7'-0"	CLEAR
D	10'0"	7'-0"	CLEAR
E	6'0"	7'-0"	CLEAR
F	6'0"	7'-0"	CLEAR

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Job Location:
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Willow Park, TX 76087

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DATE: 22 FEB 18

PLAN: ADD 3128
A8



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date:	Department:	Presented By:
May 23rd, 2018	Development Services	Betty Chew

AGENDA ITEM: 4

Consider and act on a request to rezone from R-1 Single Family/IH-20 Overlay District to C Commercial/IH-20 Overlay District, 15.67 acre tract David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas, located between the IH-20 Service Road and Bankhead Hwy. east of Clear Fork Circle.

BACKGROUND:

The property is located in Planning Area 4 as identified in the City's Comprehensive Plan. Planning Area 4 represents the areas adjacent to Interstate 20. The area is a prime location for regional retail and commercial uses as well as uses that capitalize on pass-by-trips. Due to the visibility of the corridor higher design standards were identified to present a positive image of Willow Park.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff supports a recommendation for approval of the rezoning request for Commercial/IH-20 Overlay District based on the proposed zoning being in compliance with the Comprehensive Plan.

The Planning and Zoning Commission voted 4-0 to rezone the property to "C" Commercial/I-H 20 Overlay District.

EXHIBITS:

Zoning Application
Future Land Use Map
Aerial Photo
Ordinance

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A



City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 · Fax: (817) 441-6900

ZONING CHANGE REQUIREMENTS

Name of Applicant: BARRON - STARK ENGINEERS, CHUCK STARK, PE

Mailing Address: 6221 SOUTHWEST BLVD, #100, FORT WORTH, TX 76132
Street City State Zip

Phone: 817-296-9550 Fax: 817-231-8144 Email: chucks@barronstark.com

Property Owner: WANDA CUTHBERTSON

Mailing Address: 4425 CHEROKEE TRAIL, FORT WORTH, TX E. BANK 76133
Street City State Zip

Phone: 817 608 6670 Fax: _____ Email: _____

Location of property requesting to be re-zoned: E. BANKHEAD HWY @ CLEAR FORK CIRCLE

Intended Use of property: COMMERCIAL DEVELOPMENT

Current Zoning District: R-1 SINGLE FAMILY


Requested Zoning District: C - COMMERCIAL

Specific reason for zoning request: TO ALLOW FOR COMMERCIAL DEVELOPMENT IN

ACCORDANCE WITH THE SALE OF THE PROPERTY

FEES: \$150 (Residential) Additional fees (if applicable): _____
\$150 (Non-Residential) Additional fees (if applicable): _____

Any reasonable fees and/or costs which are required by the City of Willow Park for a proper review of this request are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building/property inspections and/or testing(s).

SIGNATURE OF OWNER _____ DATE _____
 _____
SIGNATURE OF APPLICANT _____ DATE 4/24/18

If the property owner is represented by another, a notarized letter of authorization must be submitted.

This checklist is provided to assist you in addressing the requirements for a Zoning Change request. An application is incomplete unless all applicable information noted below is submitted to the City of Willow Park Building Official. Please indicate that all information is included on the application by initialing in the box to the left of the required information. **Checking the box certifies to the City that you have completely and accurately addressed the issue.** If not applicable, indicate with "N/A" next in the box. Return this completed form at the time of your application submittal.

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	ZONING CHANGE REQUIREMENTS	N/A	COMPLETE	MISSING
1	cls	Site boundary is indicated by a heavy solid line, dimensioned with bearings and distances, and distance to the nearest cross street.		✓	
2	cls	Site location/vicinity map clearly showing the location of the subject		✓	
3	cls	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	cls	A written and bar scale is provided. 1"= 200' unless previously approved by staff		✓	
5	cls	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		✓	
6	cls	Adjacent property lines within 200 feet of the subject property.		✓	
7	cls	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
8	cls	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
9	cls	Does the request conform to the proposed future land use in the city's Comprehensive Plan		✓	

Wanda Cuthbertson
4425 Cherokee Trail
Fort Worth, TX 76133

April 10, 2018

Honorable Mayor & City Council
City of Willow Park
516 Ranch House Road
Willow Park, TX 76087

Re: Zoning & Final Plat of 15.69 Acres in the
David Addington Survey, Abstract No. 21
City of Willow Park

Mayor & Council:

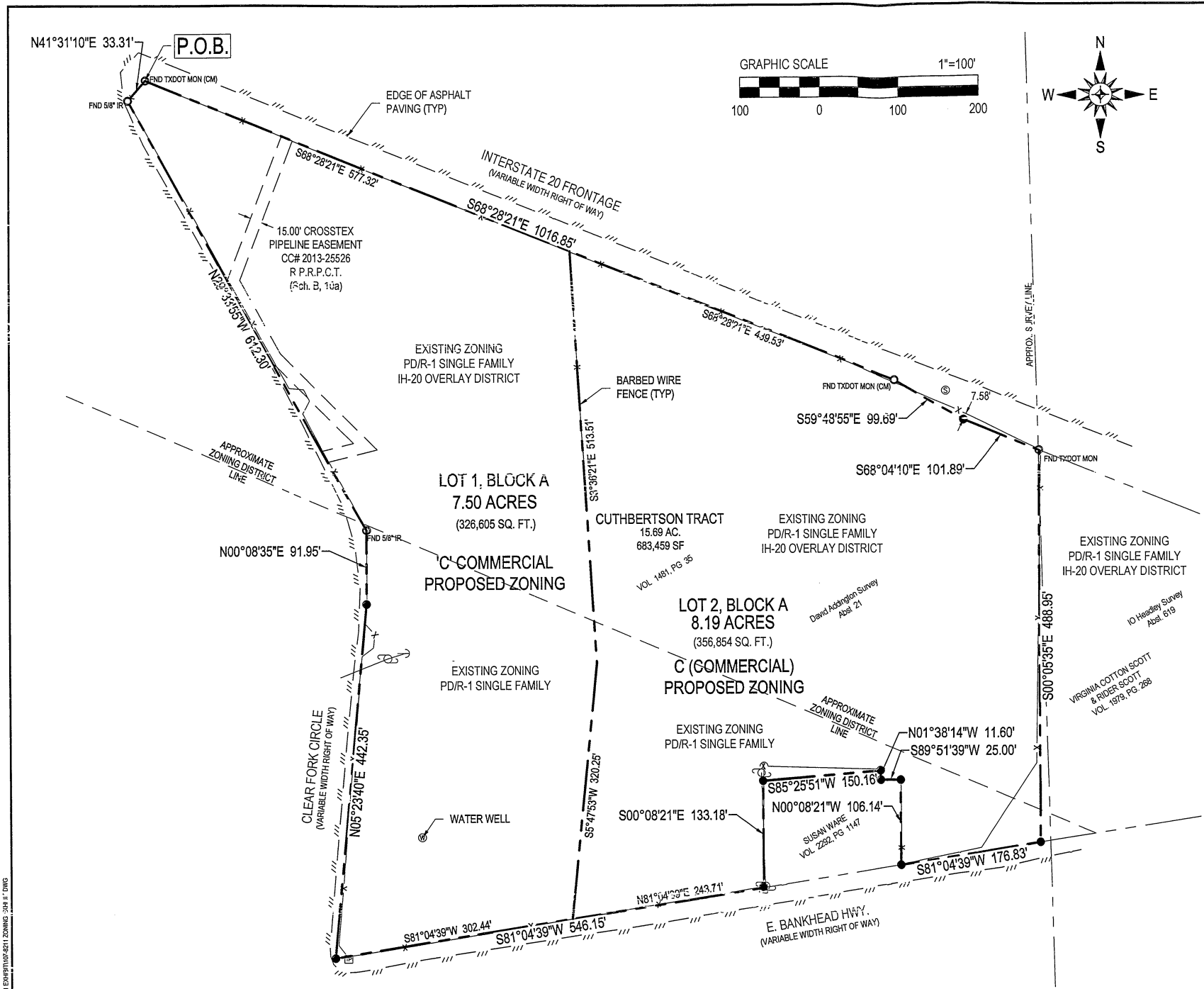
Please accept this letter as authorization for Barron-Stark Engineers, LP to submit and process a zoning and final plat request for 15.69 acres of land owned by myself in the David Addington Survey, Abstract No. 21 City of Willow Park, Texas. The subject property is the northeast corner of E. Bankhead Highway and Clear Fork Circle.

I may be reached at 817-608-6670 if there are any questions.

Sincerely,

or 817-727-5555, Sandy Gandy, Realtor
Alexander Chandler Realty

Wanda Cuthbertson
Wanda Cuthbertson
Property Owner



LEGAL DESCRIPTION

Being called a 15.67 acre tract of land situated in the David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas and being a portion of a tract of land described in deed conveyance from Wanda Cuthbertson, executrix of the Estate of Martha C. Cuthbertson Stevenson to Wanda Cuthbertson, recorded in Volume 1481, Page 35, Real Property Records, Parker County, Texas. Said tract being more particularly described by metes and bounds as follows:

Beginning at a found Texas State Highway Department monument for the northwest corner of subject property, and said point being on the south right of way line of Interstate Highway 20 Frontage Road;

Thence South 68°28'21" East with said south right of way line a distance of 1016.85 feet to a found Texas State Highway Department monument for angle point;

Thence South 59°48'55" East with said south right of way line a distance of 99.69 feet to a set 1/2 inch iron rod for angle point;

Thence South 68°04'10" East with said south right of way line a distance of 101.89 feet to a found Texas State Highway Department monument for the northeast corner of subject tract and northwest corner of Scott tract as recorded in Volume 1979, Page 288, Real Property Records, Parker County, Texas;

Thence South 00°05'35" East with the Cuthbertson/Scott common line a distance of 489.95 feet to a set 1/2 inch iron rod for the southeast corner thereof, said point also being on the north right of way line of E. Bankhead Hwy;

Thence South 81°04'39" West with said north right of way line a distance of 176.83 feet to a set 1/2 inch iron rod for corner. Said point also being the southeast corner of the Ware tract as recorded in Volume 2292, Page 1147, Real Property Records, Parker County, Texas;

Thence following the common lines of the Cuthbertson/Ware tracts along the following 5 courses:
North 00°08'21" West a distance of 106.14 feet to a set 1/2 inch iron rod;
South 89°51'39" West a distance of 25.00 feet to a set 1/2 inch iron rod;
North 01°25'14" West a distance of 11.60 feet to a set 1/2 inch iron rod;
South 85°25'51" West a distance of 150.16 feet to a set 1/2 inch iron rod;
South 00°08'21" East a distance of 133.18 feet to a set 1/2 inch iron rod, said point also being on the north right of way line of E. Bankhead Hwy.

Thence South 81°04'39" West with said north right of way line a distance of 546.15 feet to a set 1/2 inch iron rod being at the intersection of the north right of way line of E. Bankhead Hwy. and the east right of way line of Clear Fork Circle;

Thence North 05°23'40" East with said east right of way line a distance of 442.35 feet to a set 1/2 inch iron rod for angle point;

Thence North 00°08'35" East with said east right of way line a distance of 91.95 feet to a found 5/8 inch iron rod for angle point;

Thence North 29°33'55" West with said east right of way line a distance of 612.30 feet to a found 5/8 inch iron rod for corner;

Thence North 41°31'10" East with said east right of way line a distance of 33.31 feet to the Point of Beginning and containing 683,459 square feet, 15.69 acres, more or less.



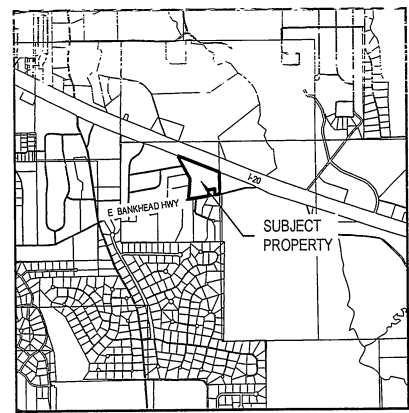
NOTES:

- Bearings & coordinates shown hereon are referenced to the Texas State Plane Coordinate System, N.A.D. 83 Datum (Texas North Central Zone 4202) derived from resolved computations.
- Any reference to the 100 year flood plain or flood hazard zones are an estimate based on the data shown on the flood insurance rate map provided by FEMA and should not be interpreted as a study or determination of the flooding properties of this property, according to the flood insurance rate map for Parker County, Texas, dated Sept. 26, 2008 map no. 48367C0425E, the property described herein does not appear to lie within a special flood hazard area.

NOTES:

- PROPERTY AREA TO BE RE-ZONED = 15.69 ACRES
- PROPERTY SITUATED IN THE CITY OF WILLOW PARK
- PROPERTY TO BE SERVED BY ESD# PARKER COUNTY
- PROPERTY SITUATED IN ALEDO ISD
- PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER
- PROPERTY SITUATED IN PD/R-1 SINGLE FAMILY AND IH-20 OVERLAY
- PROP C-COMMERCIAL ZONING

LEGEND	
○	MONUMENT FOUND (AS LABELED)
●	1/2" RED CAPPED IRON ROD SET, STAMPED "STARK 5084"
⊙	MANHOLE
⊕	UTILITY POLE
→	GUY POLE/WIRE
⊞	TELEPHONE PEDESTAL



ZONING EXHIBIT
LOTS 1 and 2, BLOCK A
CROWN BLUFF ADDITION

15.69 ACRE CUTHBERTSON TRACT
DAVID ADDINGTON SURVEY, ABSTRACT NO. 21
CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

OWNER: WANDA CUTHBERTSON 4425 CHEROKEE TRAIL FORT WORTH, TX 76133		6221 Southwest Boulevard, Suite 100 Fort Worth, Texas 76132 (O) 817.231.8100 (F) 817.231.8144 Texas Registered Engineering Firm F-10998 Texas Registered Survey Firm F-10158800 www.barronstark.com	JOB No. 107-8211 DATE APRIL 2018
			SHEET 1 of 1

USER: CYNTHIA SWIFT
PROJECT: 107-8211
DATE: 04/15/2018
DRAWN BY: CYNTHIA SWIFT
CHECKED BY: CHARLES F. STARK
DATE: 04/15/2018
SURVEY & FEASIBILITY: E:\C\CL\76-11\102000-0400-DWG\DWG01-EXHIBIT-01-01.DWG
ZONING: 308 H DWG



TNR

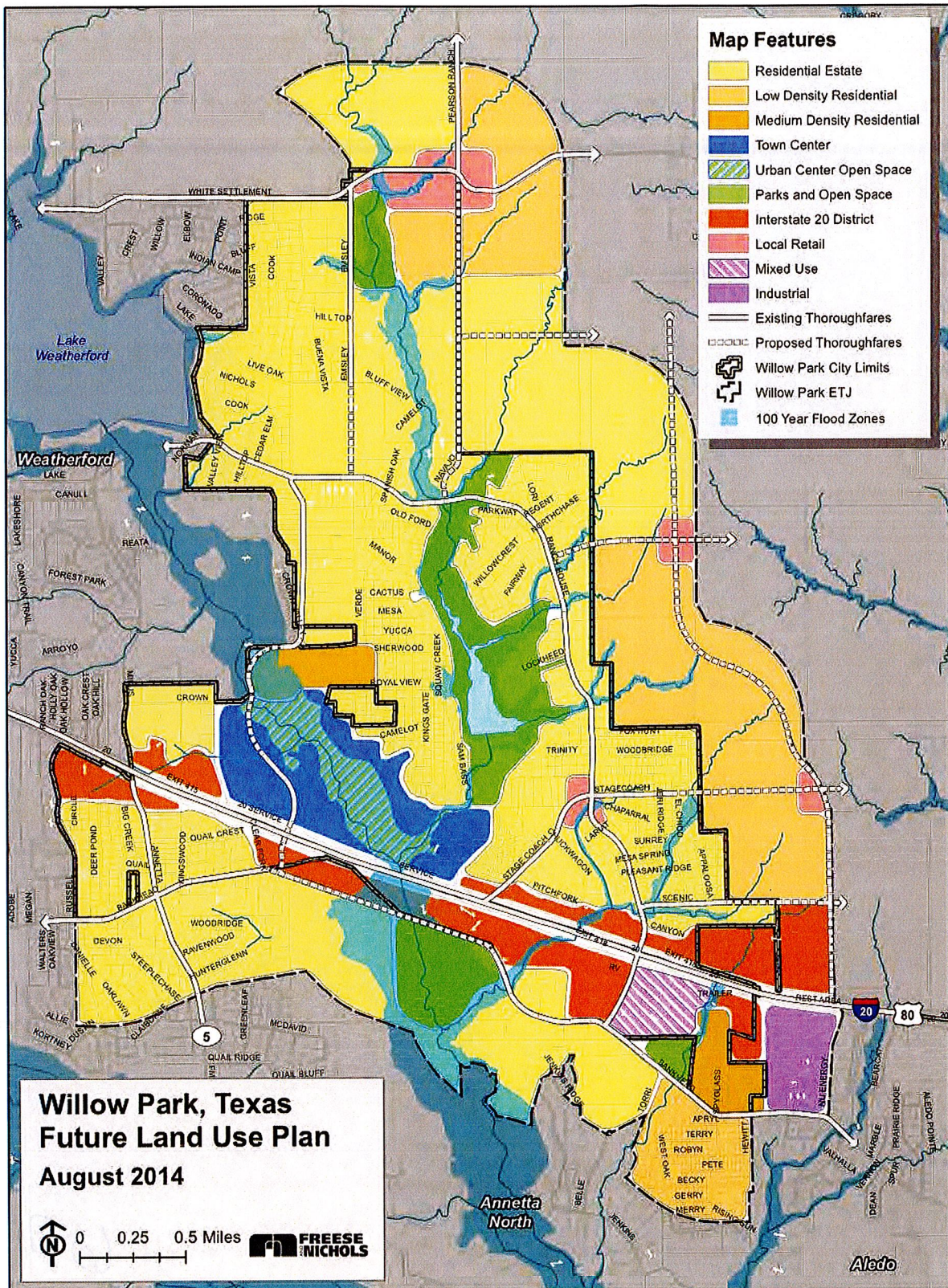


20 SERVICE

MISTY MEADOW

QUAIL CREST

Future Land Use Map



CITY OF WILLOW PARK

ORDINANCE 770-18

AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS, PROVIDING FOR A ZONING CHANGE FROM: “R1” SINGLE FAMILY/ IH-20 OVERLAY CLASSIFICATION AND USE DESIGNATION TO “C” COMMERCIAL/ IH-20 OVERLAY DISTRICT AND USE DESIGNATION FOR THAT CERTAIN 15.67 ACRES OF LAND, MORE OR LESS, SITUATED IN THE DAVID ARRINGTON SURVEY, ABSTRACT 21 IN THE CITY OF WILLOW PARK, TEXAS; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, Wanda Cuthbertson (Owner) has applied for a change in zoning for that certain 15.67 tract of land, more fully described by metes and bounds in Exhibit "A", attached hereto, located in the David Arrington Survey, Abstract 21 (the "Property") from "R1" Single Family/ IH-20 Overlay" zoning district classification and use designation to "C" Commercial/ IH-20 Overlay District; and,

WHEREAS, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements for the rezoning of the Property; and,

WHEREAS, The City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:

SECTION 1. LAND USE PERMITTED

The zoning district classification and use designation of the property described in Exhibit "A" is hereby changed from R-1 Single Family/ IH-20 Overlay Zoning District to “C” Commercial IH-20 Overlay Zoning District classification and use.

SECTION 2. REPEAL OF CONFLICTING ORDINANCES

All Ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict.

SECTION 3. SEVERABILITY

The provisions of this Ordinance are severable, and if any part or provision hereof shall be adjudged invalid by any court of competent jurisdiction, such adjudication shall not affect or impair any of the remaining parts or provisions hereof.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its adoption by the City Council of the City of Willow Park and publication as required by law, and it is so ordained.

PASSED AND APPROVED by the City Council of the City of Willow Park, Texas, this 12th, day of June, 2018.

APPROVED:

Doyle Moss, Mayor

ATTEST:

Alicia Smith TRMC, City Secretary

The Willow Park City Council in acting on Ordinance No. 770-18 did on the 12th day of June, 2018 vote as follows:

	<u>FOR</u>	<u>AGAINST</u>	<u>ABSTAIN</u>
Doyle Moss, Mayor	_____	_____	_____
Norman Hogue, Place 1	_____	_____	_____
Amy Fennell, Place 2	_____	_____	_____
Greg Runnebaum, Place 3	_____	_____	_____
VACANT, Place 4	_____	_____	_____
Gary McKaughan, Place 5	_____	_____	_____

EXHIBIT "A"

LEGAL DESCRIPTION

Being called a 15.69-acre tract of land situated in the David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas and being a portion of a tract of land described in deed conveyance from Wanda Cuthbertson, executrix of the Estate of Martha C. Cuthbertson Stevenson to Wanda Cuthbertson, recorded in Volume 1481, Page 35, Real Property Records, Parker County, Texas. Said tract being more particularly described by metes and bounds as follows:

Beginning at a found Texas State Highway Department monument for the northwest corner of subject property, and said point being on the south right of way line of Interstate Highway 20 Frontage Road;

Thence South 68°28'21" East with said south right of way line a distance of 1016.85 feet to a found Texas State Highway Department monument for angle point;

Thence South 59°48'55" East with said south right of way line a distance of 99.69 feet to a found 1/2-inch iron rod for angle point;

Thence South 68°04'10" East with said south right of way line a distance of 101.89 feet to a found Texas State Highway Department monument for the northeast corner of subject tract and northwest corner of Scott tract as recorded in Volume 1979, Page 268, Real Property Records, Parker County, Texas;

Thence South 00°05'35" East with the Cuthbertson/Scott common line a distance of 488.95 feet to a found 1/2-inch iron rod for the southeast corner thereof, said point also being on the north right of way line of E. Bankhead Hwy;

Thence South 81°04'39" West with said north right of way line a distance of 176.83 feet to a found 1/2-inch iron rod for corner. Said point also being the southeast corner of the Ware tract as recorded in Volume 2292, Page 1147, Real Property Records, Parker County, Texas;

Thence following the common lines of the Cuthbertson/Ware tracts along the following 5 courses:

North 00°08'21" West a distance of 106.14 feet to a found 1/2-inch iron rod;
South 89°51'39" West a distance of 25.00 feet to a found 1/2-inch iron rod;
North 01°38'14" West a distance of 11.60 feet to a found 1/2 inch iron rod;
South 85°25'51" West a distance of 150.16 feet to a found 1/2 inch iron rod;

South 00°08'21" East a distance of 133.18 feet to a found 1/2-inch iron rod,
Said point also being on the north right of way line of E. Bankhead Hwy.

Thence South 81°04'39" West with said north right of way line a distance of 546.15 feet to a found 1/2-inch iron rod being at the intersection of the north right of way line of E. Bankhead Hwy. and the east right of way line of Clear Fork Circle;

Thence North 05°23'40" East with said east right of way line a distance of 442.35 feet to a found
1/2-inch iron rod for angle point;

Thence North 00°08'35" East with said east right of way line a distance of 91.95 feet to a found 5/8 inch iron rod for angle point;

Thence North 29°33'55" West with said east right of way line a distance of 612.30 feet to a found 5/8 inch iron rod for corner;

Thence North 41°31'10" East with said east right of way line a distance of 33.31 feet to the Point of Beginning and containing 683,459 square feet, 15.69 acres, more or less.



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: May 23rd, 2018	Department: Development Services	Presented By: Betty Chew
--	--	------------------------------------

AGENDA ITEM: 5

Consider and act on a Final Plat for Crown Bluff Addition a 15.69 acre tract of land David Addington Survey, Abstract No. 21, City of Willow Park, Parker County, Texas, located between the IH-20 Service Road and Bankhead Hwy., east of Clear Fork Circle.

BACKGROUND:

The owner proposes to plat this 15.69 acre tract of land into 2 lots for future commercial development. (See Agenda Item 4) Lot 1 is a 7.50 acre lot with frontage on IH-20 Service Road, Bankhead Hwy. and Clear Fork Circle. There is an existing single family residence, barn, and out buildings on this lot. Lot 2 is an 8.19 acre vacant lot with frontage on IH-20 Service Road and Bankhead Hwy. The lots will be served by City water. Private on-site sewage systems will serve each lot.

Development of the property will require submittal of site development plans as well as engineering plans including infrastructure improvements for water, stormwater drainage, streets, etc.

STAFF/BOARD/COMMISSION RECOMMENDATION:

The Final Plat for Crown Bluff Addition meets the requirements of the Subdivision Ordinance and Staff recommends approval with required setbacks being incorporated on the recorded plat in accordance with zoning approval.

The Planning and Zoning Commission recommends approval of the Final Plat as presented.

The Commission vote was unanimous.

EXHIBITS:

Final Plat
Plat Application

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A

Wanda Cuthbertson
4425 Cherokee Trail
Fort Worth, TX 76133

April 10, 2018

Honorable Mayor & City Council
City of Willow Park
516 Ranch House Road
Willow Park, TX 76087

Re: Zoning & Final Plat of 15.69 Acres in the
David Addington Survey, Abstract No. 21
City of Willow Park

Mayor & Council:

Please accept this letter as authorization for Barron-Stark Engineers, LP to submit and process a zoning and final plat request for 15.69 acres of land owned by myself in the David Addington Survey, Abstract No. 21 City of Willow Park, Texas. The subject property is the northeast corner of E. Bankhead Highway and Clear Fork Circle.

I may be reached at 817-608-6670 if there are any questions.

Sincerely, or 817-727-5555, Sandy Gandy, Realtor
Alexander Chandler Realty

Wanda Cuthbertson

Wanda Cuthbertson
Property Owner



City of Willow Park Development Services

516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108 · Fax: (817) 441-6900

PLAT APPLICATION
MUST BE AN ORIGINAL DOCUMENT – FAXED COPIES WILL NOT BE ACCEPTED
ALL SIGNATURES MUST BE ORIGINAL

Type of Plat: ☐ Preliminary ☒ Final ☐ Replat ☐ Amended

PROPERTY DESCRIPTION: 15.69 ACRE TRACT

SUBMITTAL DATE: _____

Address (if assigned): _____

Name of Additions: CROWN BLUFF ADDITION

Location of Addition: E. BANKHEAD HWY @ CLEAR FORK CIRCLE

Number of Lots: 2 Gross Acreage: 15.69 Zoning: C # of New Street Intersections: 0

PROPERTY OWNER:

Name: WANDA CUTHBERTSON

Contact: SANDY GANDY, REALTOR

Address: 4425 CHEROKEE TRAIL

Phone: 817 727 5555

City: FORT WORTH

Fax: _____

State: TX Zip: 76133

Email: _____

Signature: SEE SIGNED LETTER OF AUTHORIZATION

APPLICANT:

Name: BARRON-STARK ENGINEERS

Contact: CHUCK STARK, PE

Address: 6221 SOUTHWEST BLVD, #100

Phone: 817-296-9550

City: FORT WORTH

Fax: _____

State: TX Zip: 76132

Email: 817-231-8144

Signature: *Chuck Stark*

SURVEYOR:

Name: BARRON-STARK ENGINEERS

Contact: CHARLES F. STARK, RPLS

Address: 6221 SOUTHWEST BLVD, #100

Phone: 817-296-9550

City: FORT WORTH

Fax: 817-231-8144

State: TX Zip: 76132

Email: chucks@barronstark.com

Signature: *Charles F. Stark*

ENGINEER:

Name: SAME AS APPLICANT

Contact: _____

Address: _____

Phone: _____

City: _____

Fax: _____

State: _____ Zip: _____

Email: _____

Signature: _____

PRINCIPAL CONTACT: _____ Owner X Applicant _____ Surveyor _____ Engineer

- Staff comment letters and mark-ups will be distributed only to the designated principle contact
- Comments will be sent via email unless otherwise specified

UTILITY PROVIDERS

Electric Provider: ONCOR

Water Provider: CITY OF WILLOW PARK

Wastewater Provider: CITY OF WILLOW PARK

Gas Provider (if applicable): ATMOS

APPLICATION FEES

_____ \$300.00 PLUS \$10 PER LOT FOR LOTS UP TO 1/2 ACRE IN SIZE OR

✓ \$300.00 PLUS \$10 PER ACRE OR FRACTION THEREOF FOR LOTS LARGER THAN 1/2 ACRE

Additional fees (if applicable):

$$300^{00} + 156.90 = 456.90$$

Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

City Use Only

Fees Collected: \$ _____

\$ _____

\$ _____

\$ _____

Receipt Number: _____

PLAT REVIEW CHECKLIST:

****This checklist must be submitted with the initial plat application****

I. GENERAL:

Name of Addition: CROWN BLUFF ADDITION
Applicant: BARRON STARK ENGINEERS
Property Owner(s): LIANDA CUTHBERTSON
Location of Addition: E. BANKHEAD HWY @ CLEAR FORK CIR.

II. REQUIRED DOCUMENTS FOR A PRELIMINARY PLAT

	<u>APPLICANT</u>	<u>STAFF</u>
A. Preliminary Plat Application (original signatures)	_____	_____
B. Preliminary Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Preliminary Drainage Analysis (5 paper copies & 1 digital)	_____	_____
D. Concept Construction Plan (5 paper copies & 1 digital)	_____	_____
E. Tree Survey	_____	_____
F. Location and Dimensions of Existing Structures	_____	_____
G. Sectionalizing or Phasing of Plats	_____	_____
H. Zoning Classification of All Properties Shown on the Plat	_____	_____
I. Dimensions of all Proposed or Existing Lots	_____	_____
J. Location of 100-year Flood Limits Where Applicable	_____	_____

III. REQUIRED DOCUMENTS FOR A FINAL PLAT

A. Final Plat Application (original signatures)	<u>✓</u>	<u>✓</u>
B. Final Plat Drawing (5 paper copies & 1 digital copy)	<u>✓</u>	<u>✓</u>
C. Drainage Study (5 paper copies & 1 digital)	_____	_____
D. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
E. Written Metes and Bounds Description	<u>✓</u>	<u>✓</u>
F. Dimensions of All Proposed or Existing Lots	<u>✓</u>	<u>✓</u>
G. Area in acres for each lot	<u>✓</u>	<u>✓</u>
H. Any Existing Structures which Encroach and Setback Lines	<u>✓</u>	<u>✓</u>
I. Parker County Tax Certificate	_____	_____
J. Plans for all water & sewer lines	_____	_____
K. Plans for fire hydrants	_____	_____
L. Plans for all proposed streets and sidewalks	_____	_____

IV. REQUIRED DOCUMENTS FOR A REPLAT

A. Replat Application (original signatures)	_____	_____
B. Replat Drawing (5 paper copies & 1 digital copy)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____
J. Parker County Tax Certificate	_____	_____

V. REQUIRED DOCUMENTS FOR AN AMENDED PLAT

A. Amended Plat Application (original signatures)	_____	_____
B. Final Plat Drawing (5 paper copies & 1 digital)	_____	_____
C. Original Plat for comparison	_____	_____
D. Drainage Study (5 paper copies & 1 digital)	_____	_____
E. Submit 1 mylar copy and 1 paper copy from county filing	_____	_____
F. Written Metes and Bounds Description	_____	_____
G. Dimensions of All Proposed or Existing Lots	_____	_____
H. Area in acres for each lot	_____	_____
I. Any Existing Structures which Encroach and Setback Lines	_____	_____

VI.	REQUIREMENTS ON ALL PLATS	APPLICANT	STAFF
A.	Adjacent Property Lines, Streets, Easements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
B.	Names of Owners of Property within 200 feet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C.	Names of Adjoining Subdivisions	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D.	Front and Rear Building Setback Lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E.	Side Setback Lines	<input type="checkbox"/>	<input type="checkbox"/>
F.	City Boundaries Where Applicable	<input type="checkbox"/>	<input type="checkbox"/>
G.	Date the Drawing was Prepared	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
H.	Location, Width, Purpose of all Existing Easements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
I.	Location, Width, Purpose of all Proposed Easements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
J.	Consecutively Numbered or Lettered Lots and Blocks	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
K.	Map Sheet Size of 18"x24" to 24"x36"	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
L.	North Arrow	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
M.	Name, Address, Telephone, of Property Owner	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
N.	Name, Address, Telephone of Developer	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
O.	Name, Address, Telephone of Surveyor	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
P.	Seal of Registered Land Surveyor	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Q.	Consecutively Numbered Plat Notes and Conditions	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R.	City of Willow Park Plat Dedication Language	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
S.	Location and Dimensions of Public Use Area	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
T.	Graphic Scale of Not Greater Than 1" = 200'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
U.	All Existing and Proposed Street Names	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
V.	Dimensions of All Existing and Proposed Rights-of-Way as Specified on Master Thoroughfare Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W.	Subdivision Boundary in Bold Lines	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
X.	Subdivision Name	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Y.	Title Block Identifying Plat Type	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Z.	Key Map at 1"=2000'	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
AA.	Surveyor's Certification of Compliance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
BB.	Texas NAD83 State Plane Coordinates (Grid) (at least 2 corners)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
CC.	Show relationship of plat to existing "water, sewage, and drainage	<input type="checkbox"/>	<input type="checkbox"/>

VII.	ADDITIONAL DOCUMENTS REQUIRED ON FINAL PLATS	APPLICANT	STAFF
A.	A written and notarized statement describing the minimum improvements which the subdivider agrees to provide, conditional upon City Council approval of the final plat	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
B.	A written and notarized statement that all property taxes and assessments have been paid for past years and up to Current date. This statement shall be signed by the owner or owners (original and one copy)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C.	A written and notarized acknowledgement of the dedication to public use of streets, parks, water courses, drains, easements and other such public places as shown on the plat, and of payments in lieu of certain public dedications. Property designated for schools, churches, hospitals, municipal purposes, and other uses, shall be noted, as well as the conditions and procedures by which such property and monies shall be made available to prospective purchasers or governing bodies. This statement shall be signed by the owner or owners, and all persons having a mortgage or lien interest in the property. (if applicable)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

PLEASE NOTE: After staff approval, up to fifteen (15) additional paper copies may be required for review by the Planning & Zoning Commission and City Council.

Willow Park
Plat
Building Official Review

Applicant Questions:

Front building setback: _____ ft.

Rear building setback: _____ ft.

Side building setback: _____ ft.

Side building setback: _____ ft.

Does the site include any utility/electric/gas/water/sewer easements? Yes No

Does the site include any drainage easements? Yes No

Does the site include any roadway/through fare easements? Yes No

Staff Review:

Does the plat include all the required designations? Yes No

Are the setbacks for the building sufficient? Yes No

Are there any easement conflicts? Yes No

Do the proposed easements align with neighboring easements? Yes No

Are the proposed easements sufficient to provide service? Yes No

Does the proposed project pose any planning concerns? Yes No

Approved

Not Approved

Needs More Information or Corrections

Building Official Approval Signature: _____ Date: _____

N/A

**Willow Park
Plat
Public Works Review**

Applicant Questions:

Is the project serviced by an existing road?	Yes	No
If yes, which road? _____		
Is the project serviced by an existing water line?	Yes	No
If yes, what size line? _____		
Will the project require the extension of a water line?	Yes	No
Does the project use well water?	No	Drinking Irrigation
If yes, which aquifer does the well pull from? _____		
Is the project serviced by an existing sewer line?	Yes	No
If yes, what size line? _____		
If no, what type and size is the septic system? _____		

Staff Review:

Will servicing this project require additional infrastructure beyond what is identified in the Capital Improvement Plan?

Yes No

Any additional concerns: _____

Approved

Not Approved

Needs More Information or Corrections

Public Works Approval Signature: _____ Date: _____

Willow Park
Plat
Flood Plain Review

Applicant Questions:

Is any part of the plat in the 100-year flood plain? Yes No

If yes, what is the base flood elevation for the area? _____

Is the footprint of any built improvement in the 100-year flood plain? Yes No

If yes, what is the base flood elevation for the area? _____

Is the footprint of any habitable structure in the 100-year flood plain? Yes No

If yes, what is the base flood elevation for the area? _____

Staff Review:

Base flood elevations confirmed? Yes No

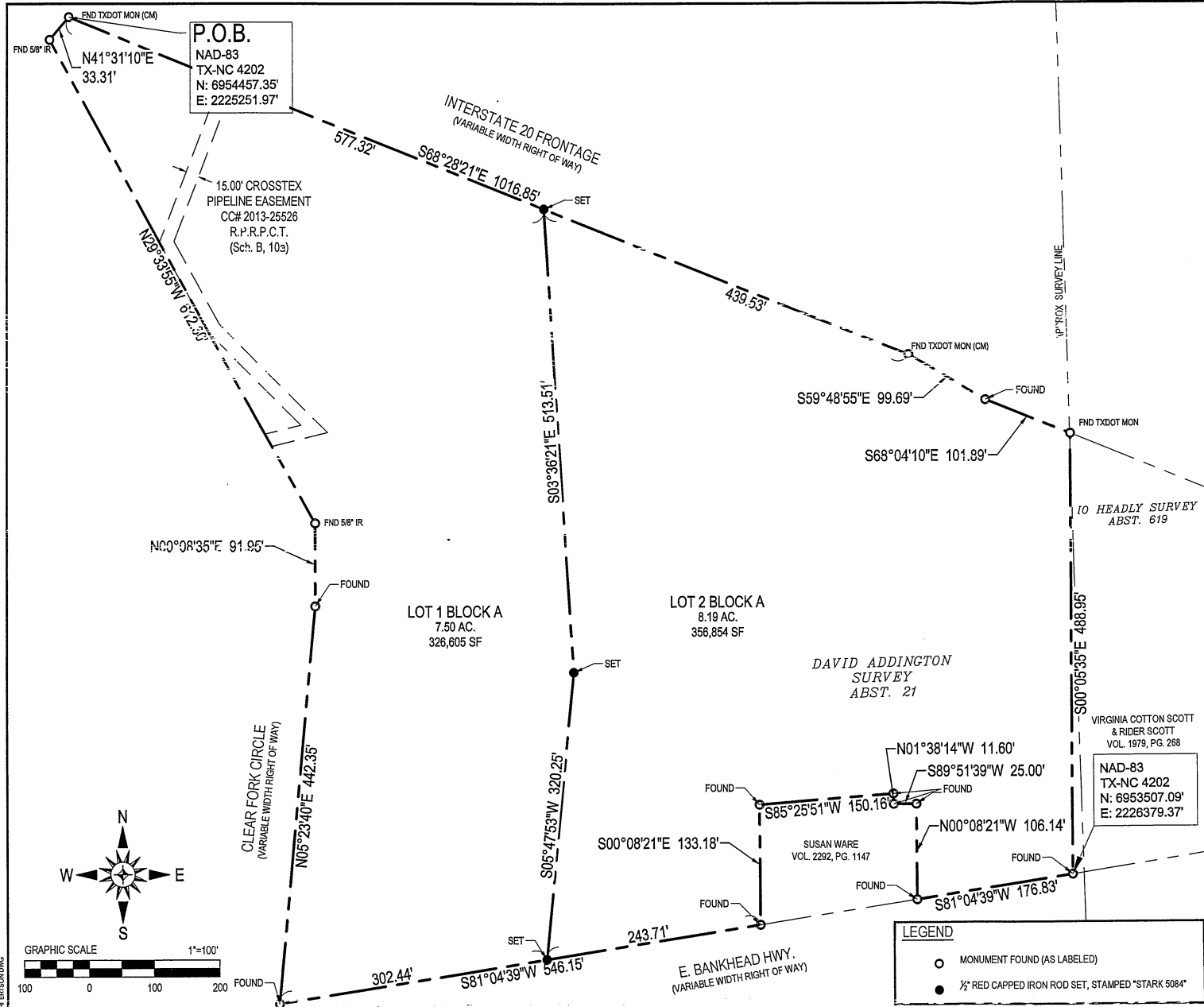
Does the proposed project pose any safety concerns? Yes No

Approved

Not Approved

Needs More Information or Corrections

Flood Plain Manager Approval Signature: _____ Date: _____



LEGAL DESCRIPTION

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Thence North 00°08'35" East with said east right of way line a distance of 91.95 feet to a found 5/8 inch iron rod for angle point;

Thence North 29°33'55" West with said east right of way line a distance of 612.30 feet to a found 5/8 inch iron rod for corner;

Thence North 41°31'10" East with said east right of way line a distance of 33.31 feet to the Point of Beginning and containing 683,459 square feet, 15.69 acres, more or less.

Owner Dedication

Now therefore, know all men by these presents:

That WANDA CUTHBERTSON, do hereby certify and adopt this plat designating the hereinabove described property as LOTS 1&2 BLOCK A CROWN BLUFF ADDITION, an addition to the City of Willow Park, Texas ("City") and does hereby dedicate to the public use forever, the fire lanes, easements and encumbrances shown hereon. WANDA CUTHBERTSON herein certifies the following:

- The fire lanes are dedicated for fire lane purposes.
- The public improvements and dedication shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated or shown on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City.
- The City is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easement may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and the City's use thereof.
- The City and public utilities shall at all times have a right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems or public use without the necessity of procuring permission from anyone.
- Any modification of this document shall be by means of plat and shall be approved by the City.

This plat is approved subject to the conditions herein and to all platting ordinances, rules, regulations and resolutions of the City of Willow Park, Texas.

WITNESS, MY hand this the ____ day of _____, 2018.

By: _____
Name: Wanda Cuthbertson

FINAL PLAT LOTS 1 & 2, BLOCK A CROWN BLUFF ADDITION

BEING 15.69 ACRES SITUATED IN THE
DAVID ADDINGTON SURVEY, ABSTRACT NO. 21

CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

OWNER:
WANDA CUTHBERTSON
4425 CHEROKEE TRAIL
FORT WORTH, TX 76133

APPROVED BY CITY OF WILLOW PARK

APPROVED BY _____ CITY COUNCIL
CITY OF WILLOW PARK
SIGNED: _____ MAYOR _____ DATE _____
SIGNED: _____ CITY ADMINISTRATOR _____ DATE _____

FILED FOR RECORD
PARKER COUNTY, TEXAS PLAT RECORD

CABINET _____, SLIDE _____

DATE _____

B
Barron-Stark
Engineers

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com

JOB No. 107-8211
DATE APR. 2018

SHEET 1 of 1

STATE OF TEXAS
COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared WANDA CUTHBERTSON, known to me to be the person whose name is subscribed to the foregoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
On the ____ day of _____, 2018.

Notary Public in and for the State of Texas

GENERAL NOTES:

- No portion of subject property lies within a FEMA designated flood plain area. Flood Insurance Rate Map 48367C0425E. Effective date September 26, 2008.
- Coordinates shown hereon are referenced to the Texas State Plane Coordinate System, NAD83, Texas North Central Zone 4202.

This is to certify that I, Charles F. Stark, a Registered Professional Land Surveyor in the State of Texas, have platted the above subdivision from an actual survey on the ground and all lot corners, angle points, and points of curve shall be properly marked on the ground upon completion of construction, and that this plat correctly represents the survey from which it is made.

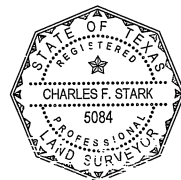
Charles F. Stark, RPLS
Texas Registration No. 5084

STATE OF TEXAS
COUNTY OF PARKER

Before me, the undersigned authority, on this day appeared Charles F. Stark, known to me to be the person whose name is subscribed to the foregoing instrument.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
On the ____ day of _____, 2018.

Notary Public in and for the State of Texas



USE OF THIS ELECTRONIC SEAL/SIGNATURE
AUTHORIZED BY CHARLES F. STARK, R.P.L.S.
TEXAS REGISTRATION NO. 5084

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED
FOR ANY PURPOSE AND SHALL NOT BE USED
OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT.



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 12, 2018	Department: Admin	Presented By: Bryan Grimes
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AGENDA ITEM:

Discuss / Action: To Consider and take action on implementation of Stage 2 Water Conservation

BACKGROUND:

As with most cities in the region, Willow Park has several stages of water conservation measures. Currently, the City of Willow Park has Stage 1 Water Conservation, which is the least restrictive measure the cities requires. For the past several weeks, the City of Willow Park has reached out to our customers to voluntarily comply with Stage 2 restrictions in an attempt to reduce consumption. These efforts have not produced the results needed to ensure stability of the system. Therefore, we are asking Council to give the Staff the authority to begin implementing Stage 2 Water Conservation Measures. As a reference, we have included the various levels of restrictions of our Water Conservation Measures.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends "The Council hereby authorizes City Staff to begin implementation of Stage 2 Water Conservation Measures"

EXHIBITS:

Water Conservation Measures

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$

CITY OF WILLOW PARK

ORDINANCE NO. 466-01

AN ORDINANCE AMENDING *CHAPTER 11, PUBLIC UTILITIES, ARTICLE 11.209 EMERGENCY WATER RATIONING PLAN, SUBPARAGRAPHS (a), (c) and (e)* OF THE CODE OF ORDINANCES, CITY OF WILLOW PARK, TEXAS, AND PROVIDING A PENALTY.

WHEREAS, it is the intent of the City of Willow Park, to provide for the public health, safety and general welfare of citizens and their property; and

WHEREAS, the provision of adequate water resources to the citizens is necessary for health, safety and general welfare; and

WHEREAS, in conditions of drought, certain measures must be put in place to preserve the water resources and to assure the water resources maximum beneficial use and that waste or unreasonable use should be prevented; and.

WHEREAS, when excessive demand of the water resources exceeds the ability to re-supply the existing water storage capacity and thereby prevents an adequate and reasonable storage reserve for the proper beneficial use and protection of the safety, health and general welfare of the citizens and to maintain an adequate pressure in the system, certain restrictions on usage are required including measures to implement the water conservation plan.

NOW THEREFORE:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:

SECTION 1. AUTHORIZATION

The Mayor, or appropriate City Official or Mayor's designee is hereby appointed and directed to implement the applicable provisions of this Ordinance.

SECTION 2. APPLICATIONS

The provisions of this Ordinance shall apply to all persons, customers and property served with the City of Willow Park water, wherever situated. No customer of the City of Willow Park Water System shall knowingly or negligently make, cause, use or permit the use of water received from the City for residential, commercial, industrial, governmental, or any other purpose, in a manner contrary to any provision of this or other previously enacted ordinances, or in an amount in excess of the use permitted by the conservation stage in effect pursuant to action taken by the Mayor in accordance with the provisions of this or other ordinances.

SECTION 3. AMENDMENT

Chapter 11, *Public Utilities*, Article 11.209, *Emergency Water Rationing Plan*, subparagraph (a), (c) and (e) of the Code of Ordinances of the City of Willow Park, Texas shall be amended as follows:

- (a) Declaration of Emergency. When demand on the system exceeds production or storage capability measured over a twenty-four (24) hour period, and refilling of storage facilities is rendered critical as established in subparagraph (e) of this article, the Mayor may declare an emergency to exist and thereafter, ration water in the following manner:

- (1) Stage 1 Initial Water Conservation

- (a) Notification. A yellow banner will be displayed at the City Municipal Office in a manner that is plainly visible to the public.

- (b) Water use restrictions:

- (i) Residents having even numbered addresses are permitted to water outside only on Sunday, Tuesday and Thursday;
 - (ii) Residents having odd numbered addresses are permitted to water outside only on Saturday, Monday and Wednesday.
 - (iii) Outdoor water use of any kind is prohibited on Friday;

- (2) Stage 2 Water Conservation

- (a) Notification. A yellow banner will be displayed at the City Municipal Office in a manner that is plainly visible to the public.

- (b) Water use restrictions:

- (i) Residents having even numbered addresses are permitted to water outside only on Sunday, Tuesday and Thursday;
 - (ii) Residents having odd numbered addresses are permitted to water outside only on Saturday, Monday and Wednesday.
 - (iii) Watering as provided in (i) and (ii) above is restricted to the hours of 6:00 a.m. to 9:00 a.m. and 6:00 p.m. to 9:00 p.m. except as provided in (iv); or other specified hours if approved by the City Council.
 - (iv) Outdoor water use of any kind is prohibited on Friday;

(3) Stage 3 Water Conservation, Restrictive

(a) Notification. An orange banner will be displayed at the City Municipal Office in a manner that is plainly visible to the public.

(b) Water use restrictions:

- (i) Residents having even numbered addresses are permitted to water outside only on Sunday, and Thursday;
- (ii) Residents having odd numbered addresses are permitted to water outside only on Saturday, and Wednesday.
- (iii) Watering, as provided in (i) and (ii) above, is restricted to the hours of 6:00 a.m. to 9:00 a.m. and 6:00 p.m. to 9:00 p.m. except as provided in (iv);
- (iv) Outdoor water use of any kind is prohibited on Monday, Tuesday and Friday.

(4) Stage 4 Water Crisis Condition

(a) Notification. A red banner will be displayed at the City Municipal Office in a manner that is plainly visible to the public.

(b) Water use restrictions:

- (i) Residents having even numbered addresses are permitted to water outside only on Tuesday;
- (ii) Residents having odd numbered addresses are permitted to water outside only on Wednesday.
- (iii) Watering outside, as provided in (i) and (ii) above, is restricted to the hours of 6:00 a.m. to 9:00 a.m. and 6:00 p.m. to 9:00 p.m. except as provided in (iv);
- (iv) Outdoor water use of any kind is prohibited on Saturday, Sunday, Monday, Thursday and Friday.
- (v) Watering as provided in (i) and (ii) above is Permitted only for building foundations, trees and shrubs. Foundations, trees and shrubs shall be watered using only a hand-held hose with restrictor nozzle during the hours specified.

(5) Stage 5 Water Reserve Disaster Condition.

(a) Notification. A black banner will be displayed at the City Municipal Office in a manner that is plainly visible to the public.

(b) Watering outside is prohibited at all times.

(5) Watering of livestock is permitted under all stages (1)-(4) above as is reasonably necessary to preserve the livestock.

(6) All meters shall be read as often as necessary to insure compliance with this program, for the benefit of all customers.

(7) When any of the above described stages of water use rationing are imposed, water system customers are prohibited from operating a pressure booster pump or other device that is intended to or results in a water flow to that customer greater than the volume that would be supplied by the existing water pressure from the City water system.

(b) Notice Requirements. Written notice of the proposed rationing shall be mailed or delivered to each customer or, should an emergency require immediate implementation of the rationing plan, such notice will be given to each customer as may be practicable under the circumstances then prevailing and the rationing will be effective immediately. Should such emergency implementation be necessary, written notice will still be sent to each customer as provided above.

(1) Contents of Notice. Notice of the imposition of emergency water rationing shall contain the following information:

(i) The affected service area;

(ii) The date rationing shall begin;

(iii) The date rationing shall end (if known);

(iv) The stage of rationing to be employed and a description of the rationing to be imposed.

(c) Violation of Emergency Rationing Provisions

(1) It shall be unlawful to violate any term or condition imposed under the Emergency Water Rationing Plan (Water Conservation Plan). A customer who knowingly violates any term or condition imposed by the emergency rationing notice may be issued a citation, or for the first violation thereof, the customer shall receive a written warning. Each separate occurrence or

day of violation shall be deemed a separate offense. Each offense shall be punished by a fine of not less than \$50 nor more than \$500.

- (2) Any customer who after receiving a citation may upon any subsequent violation of any term or condition imposed by the emergency rationing notice, have water service terminated. The termination shall be by the waterworks of the City of Willow Park, Texas. Termination does not require conviction in a court of jurisdiction and the dismissal, acquittal or other disposition of a citation under (1) above is not an affirmative defense. Termination of water service is in addition to any other penalty which may be imposed hereunder. The period of termination shall not exceed seven (7) days and restoration shall be as provided in Chapter 11, Article 11.204 including payment of disconnect and reconnect fees. Water service shall be reconnected immediately upon application to the waterworks and in compliance with provisions of Chapter 11, Art. 11.204. Said reconnection shall not be a defense, bar or mitigation of any offense as alleged in (1) hereof.
- (3) Any appeal by the customer of termination of water service to a location shall be to the Mayor. The Mayor upon a finding of imminent serious health risk, as required herein, may modify the period of termination that is set forth in (2) by the waterworks if provided competent, reliable written documentation of the imminent serious health risk that is life threatening and the unavailability of any other adequate water source. The decision of the Mayor may be appealed by the customer to the Water Review Board. Said appeal shall be under the same standards of proof as set out herein.
- (d) During the period that the emergency declaration exists under the Emergency Water Rationing Plan, the Mayor may grant variances in specific cases after evaluation of hardship, need or customer efforts to conserve water. The Mayor can grant variances only under the following circumstances and conditions:
 - (1) The applicant shall sign a compliance agreement on the forms provided by the City and approved by the City Attorney agreeing to use the water only in the amount and manner permitted by the variance.
 - (2) Granting of the variance shall not cause an immediate, significant reduction of the City's water supply.
 - (3) The applicant shall demonstrate extreme hardship or need relating to health, safety or welfare or show evidence of substantial water conservation efforts.
 - (4) The health, safety and welfare of other persons shall not be adversely affected by the granting of the variance.

- (5) A customer who is refused a variance may appeal such action of the Mayor by written appeal to the Water Review Board.

(e) Duration of Emergency Declaration.

- (1) The Mayor may declare an emergency to exist under this section which is effective for not more than sixty days from the date of announcement. On recommendation of the director of waterworks, the Mayor may upgrade or downgrade the stage of water rationing based upon improvement or deterioration of the waterworks system to provide supply in excess of consumption. The Director of the Waterworks and the Mayor shall in all cases comply with the criteria for upgrading or downgrading the stage of water rationing established by the City Council and documented within the latest revision to the Drought Contingency Plan for the City of Willow Park.
- (2) The City Council may extend or reduce the duration of the emergency declaration. If a recommendation is made to extend the duration, the extension shall not exceed one hundred and twenty (120) days. The Mayor may terminate the declaration of emergency when the director of waterworks determines that the conditions creating the emergency no longer exist.

SECTION 4. REPEAL OF CONFLICTING ORDINANCES

All Ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict; and, Ordinance No. 458-00, as passed and approved by the City Council on July 25, 2000 is particularly repealed.

SECTION 5. SEVERABILITY

If for any reason any section, paragraph, subdivision, clause, phrase or provision of this Ordinance shall be held invalid, it shall not affect any valid provisions of this or any other Ordinance of the City of Willow Park to which these rules and regulations relate.

SECTION 6. EFFECTIVE DATE

This Ordinance shall take effect from and after its publication one time in the official publication of the City of Willow Park, Texas which publication shall contain the captions stating in substance the purpose of the ordinance and reciting the penalty provision of the ordinance.

PASSED AND APPROVED this 17th day of April, 2001

Les Cooley

Mayor

ATTEST:

Hetty Haggard

City Secretary/Clerk

APPROVED AS TO FORM

City Attorney



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 12, 2018	Department: Admin	Presented By: Bryan Grimes
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AGENDA ITEM:

Discussion/ Action: To consider and take action giving the Public Works Director authority to implement Water Conservation Stages as necessary.

BACKGROUND:

As a matter of expediency, this resolution will authorize the Public Works Director the authority to implement the various Water Conservation Stages as necessary after consultation with City Administrator. This will allow Staff to take the needed, and sometimes required action as necessary should changes be warranted.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends "The Council hereby authorizes the Public Works Director the authority to implement the various Water Conservation Measures as needed and/or required."

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 12, 2018	Department: Admin	Presented By: Bryan Grimes
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AGENDA ITEM:

Discussion/ Action: To consider and take action on Economic Development consulting firm.

BACKGROUND:

With the current growth the City of Willow Park is experiencing and at the direction of some Council members, City staff has made contact with the two leading economic development consulting firms in North Texas and the State. City Administrator Bryan Grimes has worked previously with both Buxton and The Retail Coach. Furthermore, City Administrator Grimes requested and received proposals from both firms and how they can assist the City of Willow Park.

After careful consideration, consultation with numerous outside parties and listed references—including past Interim City Administrator Bobby Roundtree—staff recommends Aaron Famer and The Retail Coach to advance our mission to increase sales tax and develop retail business strategies.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends “The Council hereby authorizes City Staff to execute an agreement with The Retail Coach for a period not to extend 3 years and a fee not to exceed \$50,000 per year.”

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$



Proposal

RETAIL RECRUITMENT & RETENTION SOLUTION

Prepared by: Lisa McCay

Buxton[®]

OUR VALUE PROPOSITION

Since our founding in 1994, Buxton has been a leading force in retail site selection and development. We are recognized for creating solutions that provide results. Buxton began as a service to help retailers make informed site selection decisions by understanding their customers and precisely determining their markets. Buxton soon realized that the company's expertise in retail site and market analysis could also be leveraged to benefit communities desiring retail expansion.



More than simply providing data, Buxton supplies custom marketing materials and strategies targeting the unique site requirements of retailers, developers, and commercial real estate brokers. Buxton clients achieve outstanding success using our tools for retail identification, selection, and recruitment. Clients benefit from Buxton's unique understanding of site selection from the retailer's point of view.

- **Grow Your Community.** Create new, permanent jobs that will satisfy your citizens' desire to shop at home; retain dollars currently spent outside of your community and maximize revenue growth to fund city services
- **Leverage Buxton's Retail Industry Expertise.** Establish credibility with decision makers by providing factual evidence to support your site and gain a competitive position by leveraging our experience:
 - 4,000+ total clients from the retail, restaurant, healthcare, and public sector industries
 - 800+ public sector clients nationwide
 - 40+ million square feet of retail space recruited
 - 500+ cumulative years of retail management and economic development experience
- **Access Your Buxton Solution with Ease.** Utilize your best-in-class retail recruitment solution via SCOUT™ with the touch of a button from any mobile device; gain answers to your retail recruitment and site analysis questions and have the big picture in the palm of your hand
- **Develop a Long-Term Partnership.** Receive personal guidance and ongoing insight into key industry topics

BUXTON DIFFERENTIATORS

Buxton Strategic Relationships

Buxton is engaged in an agreement with one of the largest credit card companies in the world. Buxton's customer analytics have the ability to incorporate aggregated and de-identified data to help you enhance your location and customer intelligence. We also partner with LSMx to provide our public sector clients with complimentary, monthly subscriptions to distribute to local retailers, restaurants and service providers to assist with local store marketing efforts and strengthen the business climate in their communities.

Best-in-Class Capabilities

Buxton relies on its best-in-class data and technology to provide the best possible experience for all of our clients. Buxton manages ninety (90) terabytes of data with more than 250 national databases. Our data sources allow us to solve the most complex questions in the retail, healthcare, and economic development industries today. Our continual advances in technology, data, and methodology, including our SCOUT platform, have allowed us to outpace and out-think our competition and have kept us at the leading edge of big data analytics. Our best-in-class data and technology also provide us with unparalleled ability to scale our business and solutions to meet our clients' ever-changing needs and to answer their most challenging business questions.

DATA SET INCLUDES:

- 250 databases
- Granularity to the household-level with 115 million households
- Up to 8 individuals per household
- 7,500 data elements
- 90 terabytes of transactional data
- Demographics
- Psychographics
- Lifestyle characteristics
- 14 million business records
- 70+ business data elements

SCOUT

The most technologically advanced, simple-to-use, data visualization tool in the market, SCOUT, is used by executives to execute real estate, marketing, operational, and economic development strategies and to answer complex business questions. SCOUT is web-based, extremely easy-to-use, and is accessible on any computer or iPad/tablet with an Internet connection. SCOUT provides your team with access to your unique deliverables, both in the field and in the office, to conduct demographic reporting with the click of a mouse or a touch of a finger on an iPad/tablet.

Customer Service

There are a number of things that differentiate Buxton from its competition, but we are most proud of our service to our clients. We are committed to exceeding your expectations and helping you optimize your organization. As a Buxton client you will constantly be impressed by our attention to detail, our responsiveness, and our never-ending drive to assist you. Our number one goal is to ensure you are beyond satisfied with our solutions and that we are able to solve your most pressing and important business questions. First and foremost, at the heart of our company's culture resides a spirit of unparalleled service to our clients. We take pride in our "whatever it takes" attitude and in making you, our client, successful. We go the extra mile to take care of our clients and to ensure their business needs are proactively met.

Multiple Data-Driven Solutions

Buxton's household-level data can be used to support local government decisions in a variety of areas. Key examples include city services analysis (such as library and fire services) and hotel feasibility studies. These analyses may be conducted under a separate scope of work as part of Buxton's ongoing partnership with Willow Park.

Benefits of Partnership

Buxton confirms its ability to provide the following firm differentiators:

- Personalized Content – Advance Willow Park's business recruitment program by providing personal guidance from professional staff and ongoing insight into key industry topics via a variety of channels
- Long-term Partnership – Unlimited access to consultant staff throughout the duration of the agreement
- Exclusive Access – Ability to utilize Buxton's data relationships to access data and develop an actionable program to recruit retail
- Web-based Deliverable – Access to a best-in-class online web-mapping platform with the touch of a button. This application allows screen shots, mobility, and ease of use to assist in business growth objectives. See full description of SCOUT Touch under the Scope of Work.

Insight into Retail/Restaurant Concepts

One of the elements that sets Buxton apart in the retail recruitment service industry is this: we are a company that was founded by retailers. After nearly a decade of helping retailers and restaurants understand their customers and select sites, we used our inside knowledge of the site selection process to develop a service for city governments.

Today, we continue to be the leading customer analytics firm for retailers and restaurants. Our city government clients benefit from using the same type of analytics technology and research that our retail clients depend on to make critical location investment decisions, and our site reports are known and trusted throughout the retail industry.

Current retail and restaurant clients include, but are not limited to, the following:

- | | |
|--------------------------------|------------------------|
| • Aaron's | • Edible Arrangements |
| • BJ's Restaurants & Brewhouse | • Wingstop |
| • Sally Beauty | • Avenue |
| • California Pizza Kitchen | • Firehouse Subs |
| • Anthropologie | • O'Reilly Auto Parts |
| • Bed, Bath & Beyond | • Honeybaked Ham |
| • Zaxby's | • Restoration Hardware |
| • Tuesday Morning | • Lowe's |
| • Which Wich | • McAlister's Deli |
| • Pier 1 Imports | • At Home |

See www.buxtonco.com/clients for additional details on our retail and restaurant client list.

SCOPE OF SERVICES

Buxton is pleased to present this proposal to Willow Park, TX. The purpose of this proposal is to outline and review your community development objectives and how Buxton's solutions will enhance your ability to effectively meet those objectives.

Willow Park's Objectives:

1. Understand current retail and restaurant economic condition
2. Recruit new retailers and restaurants
3. Retain existing retailers and restaurants

Retail Recruitment and Retention Solution: Your Community Profile

Our solution is a total marketing strategy that enables community leaders to understand the consumer profile of their residents and to identify specific retailers and restaurants who seek a market with household purchasing habits just like yours. This solution provides you with the ability to actively pursue identified retailers, making a compelling case for their expansion to Willow Park by utilizing custom marketing packages that Buxton will create for you. You will have access to the same analytical information and insights retailers depend on today to make site selection decisions. This knowledge will provide you with instant credibility and the ability to differentiate your community.

Step 1 – Research Your Community

Buxton uses over 250 consumer and business databases that are updated regularly and compares your potential sites to the universe of all competing sites operating in the U.S. We define your current retail situation and those in any neighboring communities that impact your retail environment.

Step 2 – Define and Evaluate Your Trade Area

Customers shop by convenience, measuring distance based on time, not mileage. We will conduct a custom drive-time analysis to determine your trade area using our proprietary methodology and knowledge of individual retail clients' actual trade areas. Your drive-time trade area will be provided to you as a map that accurately depicts your consumer shopping patterns.

Step 3 – Profile Your Trade Area's Residential Customers

Your community profile will analyze every household in your drive-time trade area. Based on more than 7,500 categories of lifestyles, purchase behaviors, and media reading and viewing habits (psychographics), the households in your trade area are assessed to gain an understanding of the types of retailers that would be attracted to your site.

Step 4 – We Match Retailers and Restaurants to Market Potential

Buxton will match the consumer profile of your community's trade area against the customer profiles of 5,000+ retailers in our proprietary database. We will identify the similarity between the two profiles analyzed using Buxton's proprietary retail matching algorithm to determine if your site presents an attractive opportunity for each retailer. We then qualify the list of matched results to verify that a retailer is currently operating or expanding, that they operate in similar sites, and that your site affords adequate buffer from competition and cannibalization to be realistically considered.

Step 5 – We Create Marketing Packages

Buxton will assemble individualized marketing packages for up to twenty (20) targeted retailers. We will notify each retailer's key real estate decision maker by letter, informing them that they have been qualified by Buxton as a potential viable fit for your site and should expect to be contacted by a representative of the city. Your marketing packages will be delivered to you in SCOUT and include a:

1. Map of the retail site and trade area
2. Map of the retailer's potential customers
3. Retailer match report that compares the site's trade area characteristics and consumer profile with the retailer's sites in similar trade areas

Step 6 – We Provide Ongoing Recruitment Support

The Buxton account management team is dedicated to your success and a world-class client experience and partnership. Their sole purpose is to help you drive success in your community's retail economic development efforts. In addition to preparing custom reports and introductory letters to inform retailers on your match list of the opportunities in your community, Buxton will expand and sharpen your business development focus by incorporating best practices we have discovered through daily work with local governments across the nation. Items to bolster the recruitment strategy will include:

- Provision of updated contacts for retailers
- Issuance of warm-up letters on your behalf to "break the ice" with retailers
- Attendance to conference calls with community and retailers/brokers, when available
- Support in recruiting potential opportunities including recommending methods of contact and assisting with prospect calls to matched retailers
- Continued monitoring of progress with retail outreach and advice on how to enhance marketability to retailers

Step 7 – We Provide Business Retention Tools

Buxton will provide reports through SCOUT that can be used to support business retention efforts by helping local business owners to make better business decisions. In addition, Buxton is pleased to offer Willow Park access to LSMx. **LSMx**, which stands for **L**ocal **S**tore **M**arketing powered by Buxton, is a customer acquisition solution designed specifically for small business owners and franchisees. Willow Park can also leverage this tool to support local businesses and entrepreneurs, foster an environment that encourages private-public partnerships, and strengthen the business climate in their community. Upon execution of the LSMx Addendum, Willow Park will have access to up to 25 complimentary *LSMx monthly subscriptions/license codes to distribute to local retailers, restaurants and service providers.

Solution Deliverables:

- SCOUT Touch access
- Drive time trade area maps
- Retail site assessment
- Retailer specific marketing packages (for up to twenty (20) retailers)
- Mobile tablet device at completion with pre-loaded findings
- Recruitment support
- *LSMx subscriptions (for up to twenty-five (25) monthly license codes)

Multi Year Deliverables:

Years 2 and 3 of this agreement will include a Retail Recruitment model refresh, retail marketing packages, ongoing account management support, *LSMx subscriptions, and full access to SCOUT and SCOUT Touch.

**LSMx deliverables are subject to Willow Park executing the LSMx Addendum and the terms and conditions described therein.*

Access and Use Your Retail Recruitment and Retention Solution via SCOUT Touch

Buxton's Retail Recruitment and Retention solution will allow you to actively recruit retailers to your community and support existing businesses with the push of a button in SCOUT Touch, providing you with crucial information about your community, your trade areas, your residents, and much more. SCOUT is a web-based platform that is accessible on any Windows or iOS enabled device with an Internet connection. It is designed to give decision-makers in your community access to the data and solutions that will assist them in making better business decisions. The Retail Recruitment and Retention solution includes one (1) mobile tablet device that will be provided at completion and pre-loaded with all key findings. This mobile tablet device, possession of the City of Willow Park, enables four (4) SCOUT users with the ability to run demographic and trade area profile reports, and view maps and other data elements.

In Buxton's SCOUT Touch you will be able to:

- Identify retail matches
- Run variable reports
- View city limit maps
- Run healthcare reports
- See aerial view
- View physician intelligence
- Run comparable reports
- Run demographic reports

Support local business retention and expansion efforts with reports contained in the SCOUT reporting suite, including but not limited to:

Consumer Propensity Report

Quantifies likelihood of consumers of a given trade area to consume various goods and services or possess certain attitudes and opinions. This report can help local entrepreneurs, business owners and store managers better optimize their merchandise/product offerings or their local marketing strategies.

Create Profiles Report

Profiles a specific trade area to determine the likes/dislikes, spending behavior, and marketing preferences of the households and workers within that geography. This report can help local businesses evaluate a market's retail potential or enhance marketing efforts.

Retail Leakage and Surplus Report

Quantifies the potential surplus or leakage in a trade area. This guide can help businesses understand how well the retail needs of residents are being met, uncover unmet demand and opportunities, and measure the difference between actual and potential retail sales.

Count Base Daytime Population Report

Examines the workforce in the study area and provides a count of the workforce population by industry. This report allows retail and restaurant owners to gain insights about how the population in the trade area differs during work hours so local businesses can cater to different types of workers.



SUPPORT

SCOUT Technical Requirements

SCOUT can be accessed at the following URL: www.buxtonco.com

SCOUT is a web-based application accessible on any desktop, laptop, or mobile tablet device that has an Internet connection. When operating SCOUT, Buxton's recommended hardware configuration is 4-core CPU, 4 GB RAM (or higher). Examples include most modern-day laptops or desktops purchased within the last 3 years, iPad Pro 2017 or newer, Microsoft Surface Pro 2 or newer, or Samsung Galaxy Tab S3. The recommended browser for accessing SCOUT is the latest version of Chrome.

Buxton's Helpdesk

(1-817-332-3681) is available during normal office hours (8:00 AM-5:30 PM CST, excluding weekends and public holidays). Buxton's Helpdesk team will be available to support all educational, functional, and technical inquiries and will respond to all requests within twenty-four (24) hours of submission.

Buxton's Helpdesk

Monday – Friday: 8:00 am – 5:30 pm CST

1-817-332-3681

Preparatory Steps for Project Kick-off

To effectively initiate this project, we request that you provide the following:

1. Project Liaisons

Please designate a primary point of contact from your community to coordinate with the Buxton team. The Buxton project team will serve as your day-to-day point of contact to ensure you are educated and informed as we are moving through the analytics process to determine which retailers are the best fit for your community.

2. Community Information and Reports

- Logo (vector file – request from your ad agency and/or printer)
- Addresses and descriptive information for the specified sites that will be evaluated
- List of planned retail, commercial or mixed use developments (either proposed or in development)
- List of major, national or regional retailers that have closed, left or moved from the community

3. Project Launch

A conference call with your representatives and the Buxton project team will officially launch the project. The project launch will occur when:

1. An agreement is executed
2. The initial payment is received, and
3. The Community Information and Reports are received

To ensure we deliver our analysis to you within the promised timeline, our account manager will be working directly with a dedicated project manager who oversees the smooth and timely development of all public sector client projects in our internal analytics departments.

TERM, FEES, AND DELIVERY

Annual Fee

\$50,000

Agreement Term

Year 1 Fee (50% invoiced upon execution of this agreement;
50% invoiced upon targeted retailer identification)

\$50,000

Year 2 Fee (Invoiced 1st anniversary of this agreement)

\$50,000

Year 3 Fee (Invoiced 2nd anniversary of this agreement)

\$50,000

Delivery

Willow Park will have access to retail match lists and marketing packages within sixty (60) business days of execution.

Your SCOUT access will be enabled within ten (10) business days of the execution of this agreement. Willow Park will have access to retail match lists and marketing packages within sixty (60) business days of execution. The initial term of this agreement is for three (3) years with services invoiced annually. However, at any time during this initial 3-year term, Willow Park may cancel services for the following year by providing written notice to Buxton at least sixty (60) days in advance of a yearly renewal with a 10% cancellation fee. All service fees associated with this agreement are due in net ten (10) days of the date of the invoice. Execution of this agreement will act as full consent that Buxton may include Willow Park on its client list and in presentations and public relations efforts. Additionally, Buxton may issue a press release announcing Willow Park as a client. When doing so, Buxton will not reveal information that is confidential and proprietary to Willow Park.

Buxton

Willow Park, TX

Signature _____

Signature _____

Printed Name _____

Printed Name _____

Title _____

Date _____

Title _____

Date _____

Please provide us with a primary point of contact for invoice receipt.

Please provide us with a primary point of contact.

Name: _____

Name: _____

Phone: _____

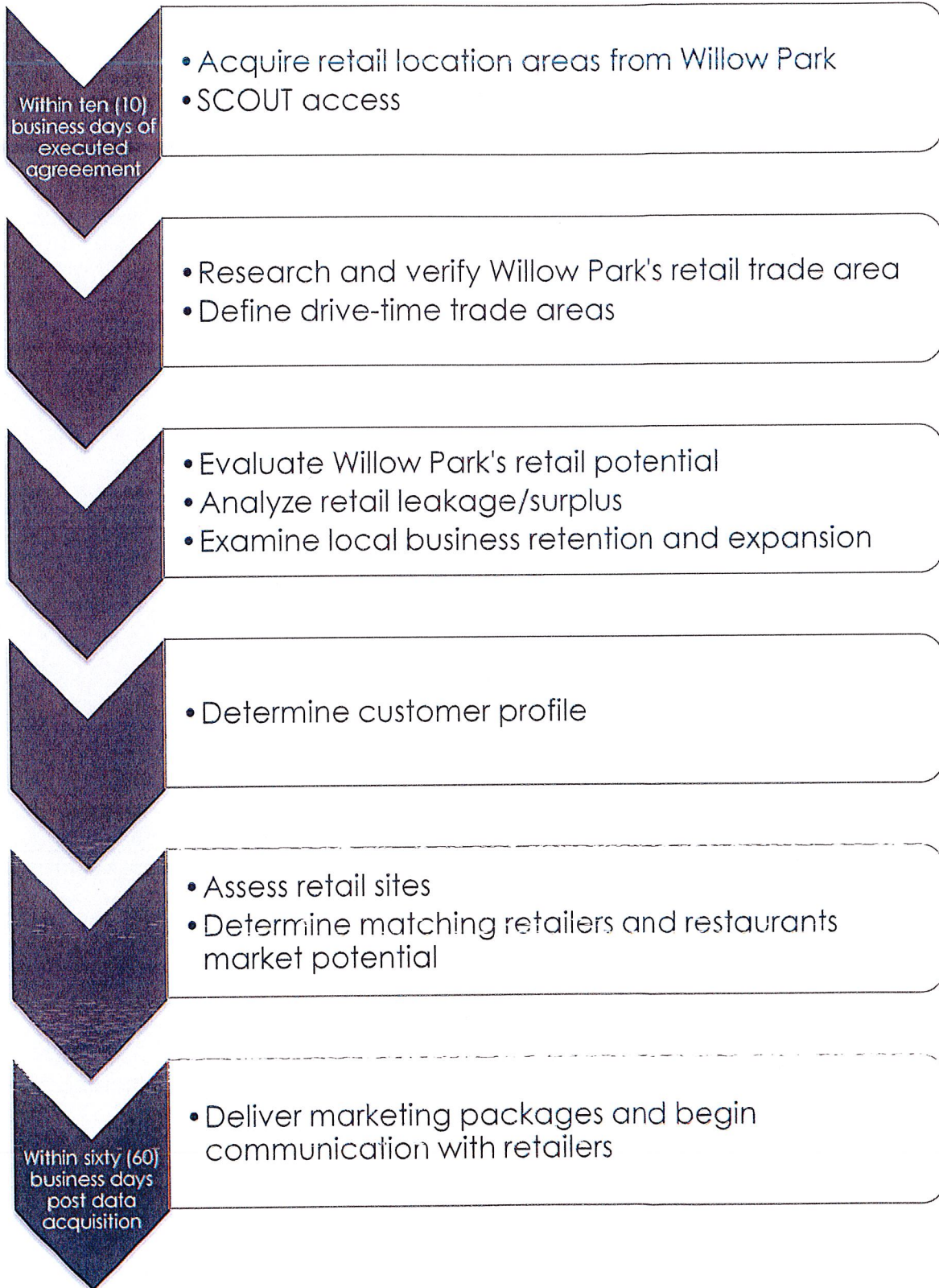
Phone: _____

Email: _____

Email: _____

Preferred Method of Receipt: Email OR U.S. Mail

PROJECT TIMELINE



LSMx Addendum
Business Retention
Supplement

Buxton®



Prepared by Lisa McCay

Willow Park, TX

This Addendum is entered into between Willow Park, TX ("Willow Park"), Buxton Company ("Buxton"), and LSMx, Inc. ("LSMx") (each a "Party" and collectively the "Parties"). This Addendum is attached to and made part of the Agreement between Buxton and Willow Park, dated _____ ("Buxton Agreement").

The purpose of this Addendum is to provide Willow Park with access to LSMx software subscriptions for the Term of the Buxton Agreement, unless terminated earlier as set forth in the Buxton Agreement. The Parties acknowledge that this Addendum and each of its provisions is expressly contingent upon the Buxton Agreement and associated fees remaining in full force and effect.

Background

LSMx, which stands for **Local Store Marketing** powered by Buxton, is a proprietary customer acquisition solution designed specifically for small business owners and franchisees. Local governments and economic development agencies can also leverage this tool to support local businesses and entrepreneurs, foster an environment that encourages private-public partnerships, and strengthen the business climate in their community. For each month of the Term of the Buxton Agreement, Willow Park will have access to up to 25 complimentary LSMx monthly subscriptions.

Deliverables and Terms

- Up to 25 LSMx subscriptions will be provided at no additional charge to Willow Park for designation of access at Willow Park's sole discretion to local retail, restaurant and service provider subscribers (each a "subscriber") during the Term of the Buxton Agreement.
- Any default or termination under the Buxton Agreement will also constitute a default and termination under this Addendum. In the event that the Buxton Agreement is terminated, the 25 monthly subscriptions will be canceled, at which time, each Subscriber will have the option of continuing their subscription at standard rates. Standard rates will be the prevailing rate at the time of cancellation.
- All fees associated with advertising campaigns executed via the LSMx software by the subscriber are at an additional cost to the subscriber. Each subscriber executing advertising campaigns within the LSMx software are responsible for such costs via the credit card information they provide in the LSMx software.
- If Willow Park requests services not specified in this Addendum, the parties shall enter into an additional Addendum setting forth the additional services, fees, and other mutually agreed upon terms.
- The Parties to this Addendum expressly agree to the following terms and conditions:
 - Each subscriber will be subject to the applicable terms and conditions contained in the LSMx software license agreement accessed via the LSMx software.
 - The LSMx software is provided to each subscriber under a non-exclusive, non-transferable, limited, non-sublicensable, revocable license to access and use the LSMx software.
 - The LSMx software is not being sold to Willow Park or a subscriber and it is not available for resell.
 - The LSMx software license does not convey any rights in or to the LSMx software or any patent, copyright, trademark or any other intellectual property rights of LSMx. LSMx retains all right, title, and interest in and to the LSMx software (including any upgrades, improvements, modifications, derivatives, and refinements to the LSMx software).

The parties hereby agree to and accept the terms of this Addendum as of the date written below.

Buxton Company

Willow Park, TX

By: _____

By: _____

Name: David Glover

Name: _____

Title: Chief Financial Officer

Title: _____

Date: _____

Date: _____

LSMx, Inc.

By: _____

Name: David Glover

Title: Chief Financial Officer

Date: _____

LSM Benefits

Powered by Buxton TM

LSMx, Local Store Marketing powered by Buxton, is a simple, but powerful, customer acquisition solution, that allows local business owners to easily see and understand:

- Who and where their best potential customers are coming from
- How far their most valuable customers are willing to drive to their location
- How many potential customers are near or around them

LSMx:

- Alerts users about upcoming local events that could be driving business
- Shows where specific competitors are in relation to potential customers
- Highlights traffic congestion that might interfere with performance

Key Differentiator

LSMx completely executes marketing campaigns to the potential customers users see right from their mobile device in just minutes. Local businesses can target the potential customers that LSMx identifies with any or all the following marketing channels:

- Direct Mail
- Email
- Facebook
- Google
- Mobile Banner Ads

Benefits to Willow Park

- Encourages private-public partnerships
- Supports local businesses
- Provides local businesses with resources (analytics, application, marketing automation, marketing execution) normally reserved for much larger entities
- Supports business retention
- Supports localization efforts
- Supports increase in local tax income because businesses can be more successful

June 6, 2018



Comprehensive Retail Recruitment & Development Plan

CONTENTS

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Our Team & Retail Successes.....	03
The Retail360® Process.....	04
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PROPOSAL FOR:

City of Willow Park

PREPARED BY:

Aaron Farmer
Senior Vice President

C. Kelly Cofer, CCIM
President & CEO



OUR TEAM OF RETAIL RECRUITMENT EXPERTS DEDICATED TO WOOD DALE'S PROJECT

Retail Recruitment Experts You Can Trust



- 50+ years of retail recruitment and development experience.
- We are consultants, not brokers. We have no conflicts of interest and will do what is best for the long-term growth of your community.
- Member of the most exclusive retail professional network - CCIM.

Project Lead



Kelly Cofer, CCIM
President
& CEO



Aaron Farmer
Senior Vice
President



Charles Parker
Director - Retail
Strategy



Will Kline
Director - Retail
Strategy



Nancy Dees
Director
of Finance



Matthew Lautensack
Director of Research
& Development



Caroline Hearnberger
Retail Recruitment
Specialist



Kyle Cofer
Project Manager -
Retail Strategy



Shelby Nickol
Project
Coordinator



Austin Farmer
Director of
Marketing

RETAILERS WE'VE RECRUITED



And Hundreds More...



A PROVEN PROCESS FOR RESULTS

Retail360® Process: Moving Beyond Data to Bring Retailers to Willow Park

Retail recruitment is a process, not an event. Through our proprietary Retail360® Process, we offer a dynamic system of products and services that enable communities to expand their retail base and generate additional sales tax revenue.

OUR COMPREHENSIVE APPROACH



Market-Based Solutions

We understand that no two communities are the same, and that each one has its own unique set of development and/or redevelopment needs. Therefore, we work with our clients to determine those needs and to offer custom, tailored solutions. Our strategies are data-driven and verified through our comprehensive Retail360® process.

On-The-Ground Analysis

Just as each client has their own set of needs, we know that each client has a unique position in the marketplace as it competes to recruit new retailers. We spend time in your community with leaders and stakeholders, which enables us to determine your market position and identify retailers that fit your community.

Retail Action Plan

We analyze, recommend, and execute aggressive strategies for pursuing the ideal retailers, as well as coaching our clients through the recruitment and development process. This partnership typically produces the best results when, together, we derive short-term and long-term strategies based on market data and opportunities.

Scope of Services

PHASE 1

Analyzing The Market

The Retail Coach will perform extensive market research and analysis to evaluate the area and the Willow Park community. This “macro” to “micro” approach enables The Retail Coach to analyze competitive and economic forces that may impact the community’s retail recruitment and development plan. The Retail Coach will gather market-specific data to assist in identifying Retail Trade Area boundaries, potential consumer bases, community issues and opportunities.

Competing Community Analysis

It is important to monitor what is occurring in area communities from a retail economic development perspective. What are their advantages and/or challenges? Are they experiencing positive or negative growth? What are their current retail offerings?

A community must have a clear understanding of the competitive nature of retail recruitment. Before analyzing the Willow Park community, The Retail Coach will look at competing communities to identify a competitive advantage, via economic and market forces, that have a direct impact on retail recruitment and development in Willow Park.

Custom Retail Trade Areas

The Retail Trade Area is the geographical area from which the community’s retailers derive a majority of their business. It is the foundation-piece of the retail plan and its accuracy is critical.

To best confirm a community’s Retail Trade Area, we will execute the following strategic steps:

Mobile Data for Location Decisions

The Retail Coach will utilize mobile location technology that analyzes location and behavioral data collected from mobile devices to determine consumer visits to Willow Park. This high-confidence data is used to verify Retail Trade Areas and validate retail site selection decisions.

Retail Trade Area Mapping

The Retail Coach will delineate a boundary map of the Retail Trade Area utilizing the mobile data collected.

Demographic Profiling

A community must be able to instantaneously provide information and data sets sought by retailers during the site selection and site evaluation process. The data must be accurate, current, and readily available.

The Retail Coach will create comprehensive 2010 Census, 2018, and 2023 demographic profiles for the Retail Trade Area and Willow Park community. The profile includes population and projected population growth, ethnicities, average and median household incomes, median age, households and household growth, and educational attainment.

Psychographic Profiling

As retail site selection has evolved from an art to a science, psychographic lifestyle segmentation has become an essential element of retailers’ preferred location criteria. Understanding a consumer’s propensity to purchase certain retail goods and services—as well as specific retail brands—is valuable to national, regional, and independent retailers. Knowing the retail sectors and products that consumers demand removes a great deal of risk for an independent business.

Based on the market segmentation system developed by ESRI, The Retail Coach will develop a Tapestry Segmentation profile of the households in the Retail Trade Area. This is done by using the most advanced socioeconomic and demographic data to measure consumer attitudes, values, lifestyles, and purchasing behaviors, to understand the sectors and brands of retailers that may be of interest.

Analyzing The Market

Daytime Population

The daytime population, or workplace population, of a community's labor market is important to quick-serve and casual dining restaurants that rely heavily on lunch business. The labor market may be confined to community boundaries, or it may include areas of employment outside community boundaries.

The Retail Coach will provide an employment summary report detailing the total number of establishments, by industry, and employee counts within the designated labor market area. This report will provide insight into the "work here" population versus the "live here" population.

Stakeholder Discussions

Buy-in by key community leaders and stakeholders is crucial to the retail plan. Our belief is that, "if they are not in on it and up on it - they may be down on it." One of our first meetings will be with independent businesses who may see our work as threatening.

The Retail Coach will obtain plan buy-in from public and private stakeholders through a series of individual and group meetings. Stakeholders may include city staff and representatives, community leaders, real estate brokers, retail developers, property owners, and owners of independent businesses.

Determining Retail Opportunities

Retail Gap Analysis

A community is able to quantify its retail demand through a Retail Gap Analysis, which provides a summary of the primary spending gaps - or opportunities - for 68 retail sectors. The analysis is ultimately used to identify recruitment targets for the community.

A Retail Gap Analysis will determine the level of retail demand for the designated Retail Trade Area. The analysis computes the retail potential of the Retail Trade Area and then compares it to estimated actual sales in the community. The difference is either a leakage, where Willow Park consumers are traveling outside the community to purchase certain retail goods and services; or a surplus, where consumers are traveling from outside to Willow Park to purchase certain retail goods and services.

The Retail Coach will perform a Retail Gap Analysis to calculate the approximate flow of retail dollars in and out of Willow Park.

The Retail Gap Analysis will:

- Identify retail sales surpluses and leakages for more than 68 retail sectors.
- Distinguish retail sectors with the highest prospect for success, and quantify their retail potential.

Identifying Development & Redevelopment Opportunities

Identifying & Marketing Vacancies & Development/Redevelopment Sites

Retailers are interested not only in the market data on your community, but also in evaluating all available property vacancies and sites that fit their location preferences. A community must create and maintain a database of prime available properties along with accurate and current marketing information. Successful retail recruitment begins to happen with the introduction of available sites.

The Retail Coach will identify priority retail vacancies and development/redevelopment sites to market. Factors influencing site selection for priority sites will include:

- Existing market conditions
- Retail Trade Area population
- Traffic counts and traffic patterns
- Site-line visibility from primary & secondary traffic arteries
- Ingress/regress
- Adequate parking
- Site characteristics
- Topography
- Proximity to retail clusters

Retail Site Profiles

A critical step in attracting retail is providing accurate and current information on each identified vacancy and site.

The Retail Coach will create a retail site profile for each identified vacancy and site with current site-specific information, including:

- Location
- Aerial photographs
- Site plan
- Demographic profile
- Property size and dimensions
- Traffic count
- Appropriate contact information

Identifying Retailers & Developers for Recruitment

The Retail Coach has been successful in recruiting leading retail brands to our client communities for more than 18 years. Our process is driven by providing accurate and current data sets, as well as site-specific information to retailers that “fit” the community.

Identification of Retail Prospects

The Retail Coach will target national and regional retail brands that are a good “fit” for the community. This means that the Retail Trade Area population, disposable incomes, consumer spending habits, and education levels meet the retailers’ ideal location criteria.

The Retail Coach will review a master list with Willow Park staff and work together to prepare a final target list of retailers for recruitment.

Identification of Developer Prospects

Much of our recruitment success comes from establishing a network of regional and national retail developers over the past 18 years. Developer networking and recruitment have become key components in a community’s retail recruitment and development/redevelopment success. If a higher-tier retailer were to express interest in a community, and there was not sufficient ready-to-lease properties matching their needs and brand requirements, a developer must be identified to build the interested retailer a suitable property.

The Retail Coach will use its network to identify retail real estate developers active in Willow Park and the region for recruitment.

Marketing & Branding

To attract targeted retailers, the most critical step is to provide accurate and current community data and site-specific information on available vacancies and sites. It is important that this marketing information positively reflects the community's attributes and brand to corporate site selectors, real estate brokers, and developers, because it is essential in making initial decisions about locating in the community.

Retail Market Profile

The Retail Coach will develop a retail market profile tailored to the specific needs of targeted retailers' essential site selection and location criteria. The profile serves as a community introduction, and includes:

- Retail Trade Area Map
- Location Map
- Traffic Count Map
- Demographic Profile Summary
- Appropriate logo and contact information

Retailer Feasibility Packages

The Retail Coach will create a retailer-specific feasibility package to address essential location criteria. The feasibility package includes:

- Community Overview
- Retail Site Profiles
- Location Map
- Retail Trade Area Map
- Existing Retailer Aerial Map
- Retailer Location Map
- Retail Trade Area Demographic Profile Summary
- Retail Gap Analysis Summary Table
- Retail Trade Area Psychographic Profile
- Retail Trade Area Demographic Profile
- Community Demographic Profile
- Area Traffic Generators
- Appropriate logo and contact information

Marketing & Branding

Real Estate Developer Opportunity Package

The Retail Coach will create a *Developer Opportunity Package* to highlight development/redevelopment opportunities in Willow Park.

This will include:

- Community Overview
- Location Map
- Retail Trade Area
- Demographic Trends
- Aerial Imagery
- Traffic Counts
- Site-line visibility from major and secondary traffic arteries
- Ingress/egress for primary and secondary traffic arteries
- Median cuts or possibilities
- Traffic signal existence or possibilities
- Site characteristics and topography
- Appropriate Zoning
- Area Retail
- Residential clustering and support
- Proximity to “anchor” retailers
- Top Employers
- Workplace Population
- Potential retail tenants

Online Retail Dashboard

The Retail Coach will create a Retail360® Retail Dashboard for Willow Park, which will be available for visual presentation and easy downloading of all data sets and marketing information. With a few clicks, retailers, brokers and developers can learn about your community's retail potential like never before.

Interactive Site Mapping

Retail site selectors do much of their research while in hotel rooms and in airports, so a visual GIS platform that streamlines data and sites into one interactive and centralized location is a powerful tool.

The Retail Coach will develop a concise, easy to-access, interactive site mapping platform for Willow Park, along with the preloaded prime vacancies and development/redevelopment sites that we will be marketing. Data can be presented by demographic, socioeconomic, psychographic, and retail spending layers that are detailed down to the block level, to meet the needs of each individual user - whether they be a retailer, developer, or even a local entrepreneur. Additionally, this platform can be hosted as a stand-alone application on your iPad, or embedded within your community's website, for “touch of a button” access to important economic indicators, such as: median household income, population density, population growth, psychographic lifestyle segmentation, ethnicity, median home value, and median age

Recruiting Retailers & Developers

Recruitment of Retailers

The Retail Coach is the first national retail recruitment firm to introduce retailer and developer recruitment specifically for communities. Eighteen years and 500 projects later, the recruitment of retailers remains one of the primary metrics of success. Today, our experience has proved that a community must move beyond just gathering data sets, and proactively recruit retail.

The retailer recruitment process includes the following steps:

1. Introductory emails and retail market profiles are sent to each targeted retailer.
2. Personal telephone calls are placed to measure interest level.
3. Personal emails and retailer feasibility packages are sent to each targeted retailer.
4. Personal emails and retail site profiles for prime vacancies and sites are sent to the appropriate targeted retailer.
5. Personal emails are sent to inform targeted retailers of significant market changes.
6. Personal emails are sent to decision makers, once per quarter, to continue seeking responses regarding their interest level.

A retailer status report is provided with each retailer's complete contact information and comments resulting from recruitment activities.

Recruitment of Developers

Much of our recruitment success comes from having established a network of national retail developers over the past 18 years. Oftentimes, a retailer may have interest in a community, only to find that suitable "for lease" properties do not exist.

Our developer recruitment process includes the following steps:

- Introductory emails and opportunity packages are sent to developers.
- Personal telephone calls are placed to measure interest level.
- Personal emails are sent to inform developers of the status of interested retailers, and any significant market changes.

A developer status report is provided with each developer's complete contact information and comments resulting from recruitment activities.

Retail Conferences

The Retail Coach will assist in marketing Willow Park, and its vacancies and sites, to retailers, developers, and brokers with whom we meet at retail industry conferences.

Retail Coaching

Coaching

The Retail Coach will partner with Willow Park on a long-term basis, and will be available when you have questions, new ideas, or need access to GIS mapping and current data and statistics. We are also available if Willow Park needs to brainstorm opportunities as the community grows and develops.

Deliverables & Responsibilities

PHASE 1

Analyzing the Market

Competing Communities Analysis
Custom Retail Trade Area Map (Mobile Location Technology)
Retail Trade Area Demographic Profile (Historical, Current, Projected)
Retail Trade Area Psychographic Profile
Willow Park Demographic Profile (Historical, Current, Projected)
Daytime Population Summary
Stakeholder Discussions

PHASE 2

Determining Retail Opportunities

Retail Gap Analysis

PHASE 3

Identifying Development & Redevelopment Opportunities

Analysis of 10 Vacancies & Development/Redevelopment Sites
10 Retail Site Profiles

PHASE 4

Identifying Retailers & Developers for Recruitment

Target list of 25 retailers along with contact information
Target list of 25 developers along with contact information

PHASE 5

Marketing & Branding

Retail Market Profile
Retail Market Flyer
Retailer Feasibility Packages
Developer Opportunity Package
Online Retail Dashboard
Interactive Site Mapping (10 PRELOADED SITES)

PHASE 6

Recruiting Retailers & Developers

Proactive Retail Recruitment & Recruitment Updates
Proactive Developer Recruitment & Recruitment Updates

PHASE 7

Coaching

Ongoing Coaching & Support

PROJECT EXPECTATIONS

Timeline & Pricing



REPORTING

The Retail Coach will provide written or electronic project updates on a bi-monthly basis.



COMMUNITY TRIPS

The Retail Coach team will make three (3) site visits to Willow Park during the project.



PROJECT TIMELINE

The Retail Coach is available to begin work immediately upon agreement of terms with a project duration of 12 months.

Project Pricing

Work Fees

The total fee for completion of this work is **\$40,000**, payable in three installments:

- a) **\$15,000** upon execution of the agreement;
- b) **\$10,000** at 90 days following execution of contract; and
- c) **\$15,000** at 180 days following execution of contract.

If Willow Park elects to extend the agreement, the additional fee shall be **\$27,500** for each additional 12 month period of data updates, recruitment and coaching. (See Next Page)

Work fees are payable within 30 days of receiving invoice.

Reimbursable Project Expenses

It is estimated that reimbursable expenses will be approximately **\$2,500**. Reimbursable expenses include:

- a) All travel costs;
- b) Cost of special renderings and maps, if any;
- c) Cost of copies for reports and maps/drawings; and
- d) Cost of shipping expenses, if any.

Project expenses are payable within 30 days after receipt of the expense invoice.

Optional Contract Extensions

Because we believe retail recruitment is an ongoing process, and not an event, we offer the ability to extend the project agreement for up to two additional years. Your agreement can be extended at any time to ensure you have the tools, resources, and support you need to successfully recruit retailers.

Year 2 Contract Extension

\$27,500

Extends your agreement by an additional 12 months. During that 12 month period, you will continue to receive the following:

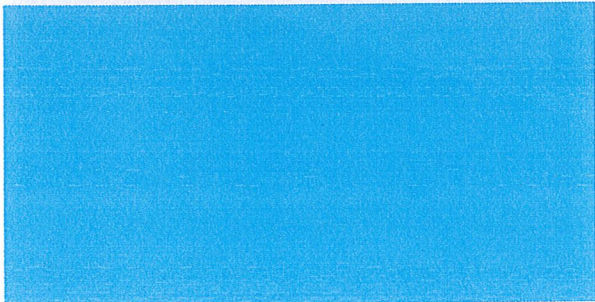
- Data Updates
 - Site Evaluations
 - Online Dashboard Update
 - Access to GIS Site Mapping
 - Recruitment of Retailers and Developers
 - Coaching and Support from the The Retail Coach Team
-

Year 3 Contract Extension

\$27,500

Extends your agreement by an additional 12 months. During that 12 month period, you will continue to receive the following:

- Data Updates
 - Site Evaluations
 - Online Dashboard Update
 - Access to GIS Site Mapping
 - Recruitment of Retailers and Developers
 - Coaching and Support from the The Retail Coach Team
-



PLEASE CONTACT:

Aaron Farmer
Senior Vice President
The Retail Coach, LLC
Ph. 662.231.0608
Fx. 662.844.2738

**Building Partnerships.
Developing Communities.**





CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: 5-15-18	Department: Development Services	Presented By: Bryan Grimes / Bernie Parker
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AGENDA ITEM: Discussion Action: To consider and take action on
awarding a construction contract to build a new Public Safety Building.

BACKGROUND:

At time of Packet Submission - Staff is conducting background checks and doing its due diligence on the two lowest bidders for the Public Safety Building. Possible Item to be tabled.

STAFF/BOARD/COMMISSION RECOMMENDATION:

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	
	Source of Funding	\$



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 12, 2018	Department: Admin	Presented By: Bryan Grimes
---------------------------------------	-----------------------------	--------------------------------------

AGENDA ITEM:

To consider and take on selection of Engineering, Bond Counsel, and Financial Advisory firms for the Water Supply Improvements project funded by the Texas Water Development Board Drinking Water State Revolving Fund and as required for obtaining a water supply from the City of Fort Worth.

BACKGROUND:

As part of the Texas Water Development Board (TWDB) Funding, the City of Willow Park was required to publish Requests for Proposals for the following: Engineering, Bond Counsel, and Financial Advisor

After reviewing all the proposals submitted, Staff Recommends the following:

Engineering	Halff Associates, Inc
Bond Counsel	Norton, Rose, Fulbright
Financial Advisor	Hilltop Securities

The City of Willow Park only received one proposal for Engineering (Halff), and one for Financial Advisor (Hilltop Securities). We received 3 proposals for Bond Counsel. Staff reviewed and ranked those proposals based on the scoring criteria as set out in the RFP. We have provided that scoring criteria for your review.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends "The Council hereby awards the following proposals:

Engineering to Halff, Bond Counsel to Norton, Rose, Fulbright, and Financial Advisor to Hilltop Securities.

EXHIBITS:

Bond Counsel Scoring Sheet

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$

The City's RFP for Bond Counsel provides that the City of Willow Park shall use the following selection criteria and point system to evaluate and score each proposal:

Criteria Points

Experience	40
Capacity to Perform	40
Familiarity with the Entity	10
Affirmative Action	10

Total	100
--------------	------------

After carefully reviewing each of the Proposals, the City scores each Firm using the selection criteria and point system as follows:

Respondent: **Escamilla & Poneck**

Experience	35
Capacity to Perform	35
Familiarity with the Entity	0
Affirmative Action	10

Total	80
--------------	-----------

Respondent: **McCall, Parkhurst & Horton**

Experience	35
Capacity to Perform	35
Familiarity with the Entity	0
Affirmative Action	0

Total	70
--------------	-----------

Respondent: **Norton, Rose, Fulbright**

Experience	40
Capacity to Perform	40
Familiarity with the Entity	10
Affirmative Action	0

Total	90
--------------	-----------