



**City of Willow Park
City Council
Regular Meeting Agenda
Municipal Complex
516 Ranch House Rd, Willow Park, TX 76087
Tuesday, June 23, 2020 at 7:00 p.m.**

Call to Order

Invocation & Pledge of Allegiance

Proclamations

Public Comments (Limited to five minutes per person)

Residents may address the Council regarding an item that is not listed on the agenda. Residents must complete a speaker form and turn it in to the Secretary five (5) minutes before the start of the meeting. The Rules of Procedure states that comments are to be limited to five (5) minutes. The Texas Open Meetings Act provides the following:

- (a) If, at a meeting of a governmental body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by this subchapter, the notice provisions of this subchapter do not apply to:
 - (1) A statement of specific factual information given in response to the inquiry; or
 - (2) A recitation of existing policy in response to the inquiry.
- (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

Consideration of Minutes

- A. Approve City Council Regular Meeting Minutes – June 9, 2020 regular meeting minutes

Regular Agenda Items

1. Consider and Act on a Site Plan for a restaurant on Lot 2, Block 2, The Village at Willow Park, City of Willow Park, Parker County, Texas located on the southwest corner of Willow Bend Drive and Willow Crossing Drive.

2. Consider and Act on a Site Plan for an addition to the Eye Clinic -Medical Office on 1.601 acres, Lot 1, Block 9 and 73; El Chico Addition, City of Willow Park, Parker County, Texas, located at 101 Chuckwagon Trail.
3. Discussion Only: Fort Worth Water Project Update.
4. Discussion Only: City Hall Committee Update.
5. Discussion Only: New website Update.
6. Discussion/ Action: To consider and act on a budget calendar.
7. Discussion/ Action: To consider and act on items to be considered for future council meetings.
8. Discussion/ Action: To consider and act on setting the date and time for the next council meeting.

Executive Session

The City Council may convene into a closed executive session pursuant to the provisions of the Texas Open Meetings Act, Texas Government Code Chapter 551, in accordance with the authority contained in the following sections:

The City Council reserves the right to retire into closed, executive session on any of the regular agenda items listed above should the need arise and if authorized by Chapter 551, of the Texas Government Code, including but not limited to: Government Code Sections 551.071-Consultation with Attorney; 551.072-Deliberations about Real Property; 551.074-Personnel Matters; 551.087-Economic Development.

Following Executive Session, the City Council will reconvene into Regular Session and may take any action deemed necessary as a result of the Executive Session.

Regular Agenda Items

9. Discussion/ Action: To consider and act on items as a result of the Executive Session.

Informational

- A. Mayor & Council Member Comments
- B. City Manager's Comments

Adjournment

I certify that the above notice of this meeting posted on the bulletin board at the municipal complex of the City of Willow Park, Texas on or before June 19, 2020, at 5:00 p.m.

Alicia Smith TRMC, CMC
City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (817) 441-7108 ext. 6 or email at asmith@willowpark.org, at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



**City of Willow Park
City Council
Regular Meeting Minutes
Municipal Complex
516 Ranch House Rd, Willow Park, TX 76087
Tuesday, June 9, 2020 at 7:00 p.m.**

Call to Order

Mayor Doyle Moss called the meeting to order at 7:00 pm

Present:

Councilmember Eric Contreras

Councilmember Amy Fennell

Councilmember Lea Young

Councilmember Nathan Crummel

Absent:

Councilmember Greg Runnebaum

Staff present:

City Administrator Bryan Grimes

City Secretary Alicia Smith

Invocation & Pledge of Allegiance

Clark Boshier of Willow Park Baptist Church, led the invocation and the pledge.

Proclamations

Mayor Moss read a proclamation commending the East Parker County Chamber of Commerce on receiving a five-star rating from the US. Chamber of Commerce.

Public Comments (Limited to five minutes per person)

Marilyn Thompson 1408 Robyn Dr, Aledo, Tx – Asked the City to look into damage done to her driveway by a contractor (not employed by the City).

Randy Keck – Community News Paper – Thanked the City for their support and cooperation with the Community news.

Consideration of Minutes

A. Approve City Council Regular & Workshop Meeting Minutes – May 12, 2020 regular meeting minutes

Motion made by Councilmember

To accept the meeting minutes from May 12, 2020.

Seconded by Councilmember

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

Regular Agenda Items

1. Discussion/ Action: To consider and act on the appointment of a Mayor ProTem for the 2020-2021 year.

Motion made by Councilmember Fennell

To nominate Councilmember Young as Mayor ProTem for the 2020-2021 year.

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

2. Discussion/ Action: To consider and act on the appointment of an alternate Mayor ProTem for the 2020-2021 year.

Motion made by Councilmember Fennell

To nominate Councilmember Runnebaum as alternate Mayor ProTem for the 2020-2021 year.

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

3. **Discussion/ Action: To consider and act on a Replat of Lots 1 R1, 1 R2, 1 R3; Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas.**

Motion made by Councilmember Young

To approve a Replat of Lots 1 R1, 1 R2, 1 R3; Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas.

Seconded by Councilmember Contreras

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

4. **Discussion/ Action: To consider and act on a Site Plan for Recreational Vehicle Sales and Service on Lot 1 R 1, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas, located in the 4500 Block of IH-20 Service Road.**

Motion made by Councilmember Contreras

To approve a Site Plan for Recreational Vehicle Sales and Service on Lot 1 R 1, Block A, Crown Bluff Addition, City of Willow Park, Parker County, Texas, located in the 4500 Block of IH-20 Service Road.

Seconded by Councilmember Young

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

5. **Discussion/ Action: To consider and act on all matters incident and related to requesting financial assistance from the Texas Water Development Board and authorizing the filing of an application for financial assistance, including the adoption of a resolution pertaining thereto.**

Speaking against:

Marcy Galle – 500 Squaw Creek, Willow Park

Signed up to Speak Against (but was unable to attend) :

Jeffrey Galle – 500 Squaw creek, Willow Park

Motion made by Councilmember Young

To approve Resolution 2020-06, a resolution to act on all matters incident and related to requesting financial assistance from the Texas Water Development Board and authorizing the filing of an application for financial assistance, including the adoption of a resolution pertaining thereto.

Seconded by Councilmember Contreras

Aye votes: Councilmembers Contreras, Young and Crummel.

Nay vote: Councilmember Fennell

Motion passes with a vote of 3-1.

6. Discussion/ Action: To consider and act on a resolution authorizing the City Administrator to apply for grants through the Coronavirus Relief Fund.

Motion made by Councilmember Contreras

To adopt Resolution 2020-05, a resolution to authorize the City Administrator to apply for grants through the Coronavirus Relief Fund.

Seconded by Councilmember Young

Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.

Motion passes with a vote of 4-0

7. Discussion only: Pacheco Koch presentation on the progress of Cross Timbers Park (Playground and Trail Addition)

Dorothy Whitmire with Pacheco and Koch gave an update on the progress and possible options for the Cross Timbers Park.

8. Discussion only: 2020-2021 budget calendar.

Council and staff discussed potential dates for the 2020-2021 budget workshops.

9. Discussion/ Action: To consider and act on items to be considered for future council meetings.

Items council would like to see on the next agenda include:

Status report on the Fort Worth water project

Status update from the City Hall Advisory Committee
Status update on the new website site
Budget calendar and possible workshop dates

10. Discussion/ Action: To consider and act on setting the date and time for the next council meeting.

Motion made by Councilmember Young
To hold the next City Council meeting on June 23, 2020
Seconded by Councilmember Contreras
Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.
Motion passes with a vote of 4-0

Executive Session

None

Regular Agenda Items

11. Discussion/ Action: To consider and act on items as a result of the Executive Session.

None

Adjournment

Motion made by Councilmember Contreras
To adjourn
Seconded by Councilmember Fennell
Aye votes: Councilmembers Contreras, Fennell, Young and Crummel.
Motion passes with a vote of 4-0

APPROVED:

Doyle Moss, Mayor

ATTEST:

Alicia Smith, City Secretary



P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date:

June 16, 2020

Department:

Development Services

Presented By:

Betty Chew

AGENDA ITEM: 1

Consider and Act on a Site Plan for a restaurant on Lot 2, Block 2, The Village at Willow Park, City of Willow Park, Parker County, Texas, located on the southwest corner of Willow Bend Drive and Willow Crossing Drive.

BACKGROUND:

The property is zoned PD/VWP Planned Development/The Village at Willow Park. The property is located in Planning Area 4 as identified in the City's Comprehensive Plan. Planning Area 4 represents the area adjacent to Interstate 20. Due to the high traffic volumes, the area is a prime location for commercial use. The development will consist of a 3,624 square foot restaurant with outdoor seating and entertainment area. There are two additional buildings a 408 square foot restroom building and a 438 square foot building with storage, audio and video.

There will be 70 parking spaces provided with this development. The development regulations provide minimum parking for restaurants at 1:150. A shared parking agreement is provided.

The lot is accessed from Willow Crossing Drive and Willow Bend Drive both 60 foot collector streets. Mutual access, fire lane, and utility easements are dedicated and will be improved with this development.

The buildings will connect to City water and sanitary sewer mains. There are 8 inch water and sanitary sewer mains in both street right of ways. Fire hydrants will be installed in accordance with I.S.O. regulations. The stormwater drainage plan will be reviewed and approved by the City's Engineer. The landscape plan meets ordinance requirements and additional landscaping will be provided on the property.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan as presented.

The Planning and Zoning Commission recommends approval of the Site Plan.

EXHIBITS:

Site Plan
Building Elevation
Landscape Plan

ADDITIONAL INFO:	FINANCIAL INFO:
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City of Willow Park Development Services

Universal Application

Please PRINT **CLEARLY** to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Willow Park Icehouse	
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ (round up to nearest whole dollar)		Project Address (or description): 210 WILLOW BEND	
Brief Description of the Project: 0.72 acre development with new restaurant, patio including parking for future development.			
Existing zoning: PD/VWP		# of Existing Lots (plats only): 0	
Proposed zoning: PD/VWP		# of Proposed Lots (plats only): 3	
Applicant/Contact Information (this will be the primary contact)			
Name: Johnathan Lilley		Mailing Address: 1601 E Lamar Blvd, Ste 205 Arl. TX 76011	
Company: Westra Consultants			
Primary Phone: 817-345-7684		E-mail: jlilley@westraconsultants.com	
Property Owner Information (if different than above)			
Name: Mike Sangalli		Mailing Address: 1620 Wabash Ave. Fort Worth, TX 76107	
Company: Morrison Company			
Primary Phone: 817-709-8671		E-mail: mike@sangalli-inc.com	
Other Phone:		Fax:	
() Developer / (X) Engineer / () Surveyor Information (if applicable)			
Name: Johnathan Lilley		Mailing Address: 1601 E Lamar Blvd, Ste 205 Arl. TX 76011	
Company: Westra Consultants			
Primary Phone: 817-345-7684		E-mail: jlilley@westraconsultants.com	
Other Phone:		Fax:	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A **Site Plan** is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: Jonathan Liley Date: 05 / 26 / 2020



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	JL	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; Indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	JL	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	JL	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	JL	A written and bar scale is provided. 1"=200' unless previously approved by staff		✓	
5	JL	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	NA	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.	N/A		
7	NA	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.	N/A		
8	JL	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	JL	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	NA	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.	N/A		
11	JL	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.		✓	
12	NA	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.	N/A		
13	JL	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	JL	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	JL	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	JL	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.		✓	
17	JL	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	



City of Willow Park Development Services Department

18	JL	Driveways within 200 feet of the property line: <u>JL</u> a. Are accurately located and dimensioned. <u>JL</u> b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines. <u>JL</u> c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline. <u>JL</u> d. Typical radii are shown.		✓	
19	NA	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.		N/A	
20	JL	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.		✓	
21	JL	Off-site streets and roads: <u>JL</u> a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned. <u>JL</u> b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site. <u>JL</u> c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable. <u>JL</u> d.. Distance to the nearest signalized intersection is indicated		✓	
22	JL	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.		✓	
23	JL	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.		✓	
24	NA	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.		N/A	
25	JL	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.		✓	
26	JL	Paving materials, boundaries and type are indicated.		✓	
27	JL	Access easements are accurately located/ tied down, labeled and dimensioned.		✓	
28	NA	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.		✓	
29	JL	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with Internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.		✓	
30	JL	Proposed dedications and reservations of land for public use including, but not limited to, rights-of way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.		✓	
31	NA	Screening walls are shown with dimensions and materials. An Inset is provided that shows the wall		N/A	



City of Willow Park Development Services Department

		details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.		N/A	
32	JL	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan Indicating plant species/name, height at planting, and spacing.		N/A	
33	JL	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.		✓	
34	JL	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		✓	
35	JL	Boundaries of detention areas are located. Indicate above and/or below ground detention.		✓	
36	JL	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	NA	Communication towers are shown and a fall distance/collapse zone is indicated.		N/A	
38	JL	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		N/A	
39	JL	Explain in detail the proposed use(s) for each structure		✓	
40	JL	Total lot area less building footprint (by square feet): Square footage of building: Building height (stories and feet) Number of Units per Acre (apartments only):		✓	
41	JL	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:		✓	
42	JL	Provide service verification from all utility providers			
43	JL	List any variance requested for this property, dates, and approving authority		N/A	
44	JL	Provide storm water and drainage study and design			
45	JL	Proposed domestic water usage (gallons per day, month, and year)		N/A	
46	NA	Are any irrigation wells proposed?		N/A	
47	JL	Applicant has received Landscaping Ordinance and requirements		✓	
48	JL	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	JL	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 31,395 sq. ft.

Area of lot covered with structures and impervious surfaces: 23,269 sq. ft.

Total number of structures: 3 Total number of habitable structures: 1

Square footage of each building: A: 3,654 sq. ft. B: 408 sq. ft. C: 438 sq. ft.

Proposed use for each structure:

Building 1: Restaurant

Building 2: Restrooms

Building 3: Storage, Audio/Video

Building stories: 1

Building height: 24 ft.

Total number of parking spaces: Required: 43
Provided: 70

Number of handicap spaces: 2

Does the site include any storm water retention or detention?

☒ Yes

☐ No

Does the project include any engineered alternatives from code requirements? Yes

☒ No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns?

Yes

☒ No

OK FINAL DETENTION POND WITH CONSTRUCTION
DOCUMENTS

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Engineering Approval Signature: DEREK TURNER

Date: 06/04/2020



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 20 ft.

Rear building setback: 20 ft.

Side building setback: 10 ft.

Side building setback: 10 ft.

Does the site include any utility/electric/gas/water/sewer easements? ☒ Yes ☐ No

Does the site include any drainage easements? ☐ Yes ☒ No

Does the site include any roadway/through fare easements? ☐ Yes ☒ No

Staff Review: *(for official use only)*

Does the site plan include all the required designations? ☒ Yes ☐ No

Are the setbacks for the building sufficient? ☒ Yes ☐ No

Are there any easement conflicts? ☐ Yes ☒ No

Does the proposed project pose any planning concerns? ☐ Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date: 06/04/2020



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm? ☒ Yes ☐ No

Will the building have a fire sprinkler/suppression system? ☒ Yes ☐ No

Is the building taller than two-stories? Yes ☒ No

If yes, how many stories? N/A

Will the project require installation of a new fire hydrant? Yes ☒ No

If yes, how many fire hydrants? _____

What is the size of the proposed fire connections? 6 Inch

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections? ☒ Yes ☐ No

Is the proposed project an adequate distance to a fire hydrant? ☒ Yes ☐ No

Does the project have the minimum 24' hard surface? ☒ Yes ☐ No

Is the fire lane appropriate? ☒ Yes ☐ No

Does the site have the proper turning radius? ☒ Yes ☐ No

Does the proposed project pose any safety concerns? Yes ☒ No

Does the proposed project require any additional fire services? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature:

MIKE LE NOIR

Date:

06/08/2020



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any built improvement in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any habitable structure in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

If yes, what is the finished floor elevation for the habitable structure? N/A

If yes, please list any wet or dry flood proofing measures being used?

Staff Review: (for official use only)

Base flood elevations confirmed? N/A Yes No

Will the project require a "post-grade" elevation certificate? Yes ☒ No

Flood proofing measures approved? N/A Yes No

Does the proposed project pose any safety concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: DEREK TURNER Date: 06/04/2020



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 31,395 sq. ft.

Area of lot covered with structures and impervious surfaces: 23,269 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 74 %

Area of green space/landscaped areas: 8,126 sq. ft.

Percentage of green space/landscaped areas: 26 %

Total number of parking spaces: 30

Does the site include any vegetative erosion or storm water control? ☒ Yes ☐ No

Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns? Yes ☒ No

ADDITIONAL LANDSCAPING OFF SITE

☒ Approved

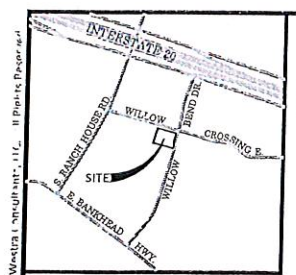
☐ Not Approved

☐ Needs More Information or Corrections

Landscaping Approval Signature:

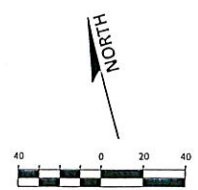
BETTY L. CHEW

Date: 06/04/2020

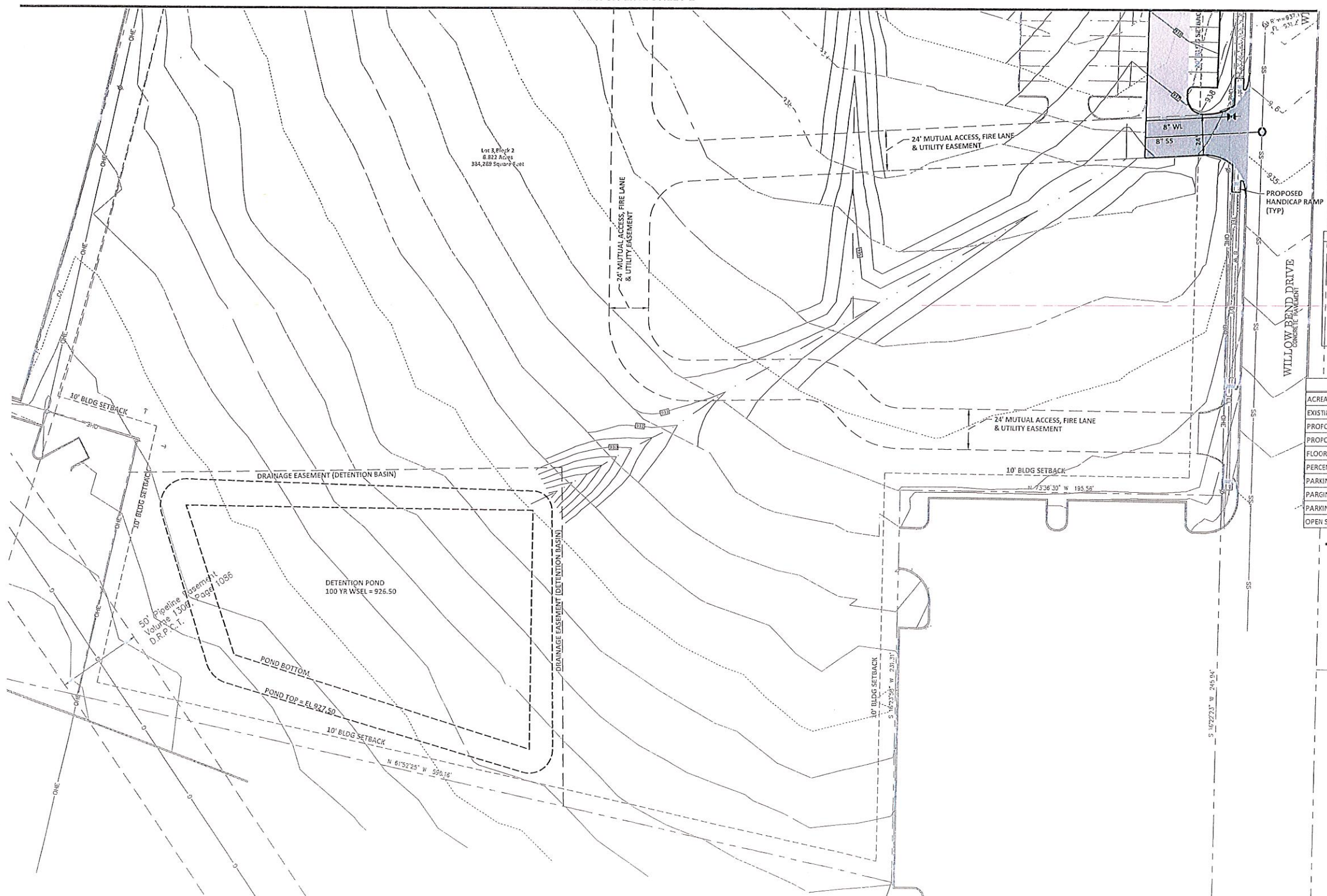


SITE LOCATION MAP
NO SCALE

NORTH



MATCH LINE SHEET 1



Lot 3 Block 3
The Village at Willow Park
Cabinet E-167
P.R.P.C.T.
(ZONED PD/VWP)

Lot 2 Block 3
The Village at Willow Park
Cabinet E-167
P.R.P.C.T.
(ZONED PD/VWP)

PAVING LEGEND

- 6" CONCRETE PAVEMENT - FIRE LANE
- 6" CONCRETE PAVEMENT
- 5" CONCRETE PAVEMENT
- 4" CONCRETE FLATWORK
- DINING FLOOR AREA

SITE PLAN DATA TABLE	
ACREAGE	0.721 ACRES
EXISTING ZONING	PD/VWP
PROPOSED USE	RESTAURANT
PROPOSED STRUCTURES	(3) 1 STORY COMMERCIAL - 4,500 S.F.
FLOOR AREA	6,406 S.F.
PERCENT IMPERVIOUS	74.00%
PARKING REQ.	(1 SP PER 150 S.F. FLOOR AREA)
PARKING PROVIDED	43 (INCLUDES 2 HANDICAP)
OPEN SPACE	* 70 (INCLUDES 2 HANDICAP)
	8,126 S.F.

* OFFSITE SHARED PARKING IS PROVIDED MEETING THE INTENT OF PD FOR "THE VILLAGE AT WILLOW PARK" AS APPROVED ON AUGUST 16, 2018.

OWNER:
MIKE SANGALLI
THE MORRISON GROUP
1620 WABASH AVE
FORT WORTH, TX 76107
817.709.8671

SURVEYOR:
JEREMY DEAL, R.L.P.S.
REALSEARCH OF TEXAS, LLC
P.O. BOX 1006
GODLEY, TX 76044
682.200.6050

ENGINEER:
JOHNATHAN LILLEY, P.E.
WESTRA CONSULTANTS, INC
1601 E. LAMAR BLVD, STE 205
ARLINGTON, TX 76011
817.345.7684
LOT 1, BLOCK 2
0.961 ACRES
41,852 SQUARE FEET
PYLE
(REMAINDER)
CABINET C-134
P.R.P.C.T.
THE MORRISON GROUP, INC.
CCH201328039
D.R.P.C.T.



WILLOW PARK ICEHOUSE
240 WILLOW BEND ROAD
WILLOW PARK, TX 76008
JOB NUMBER: 19-105.01

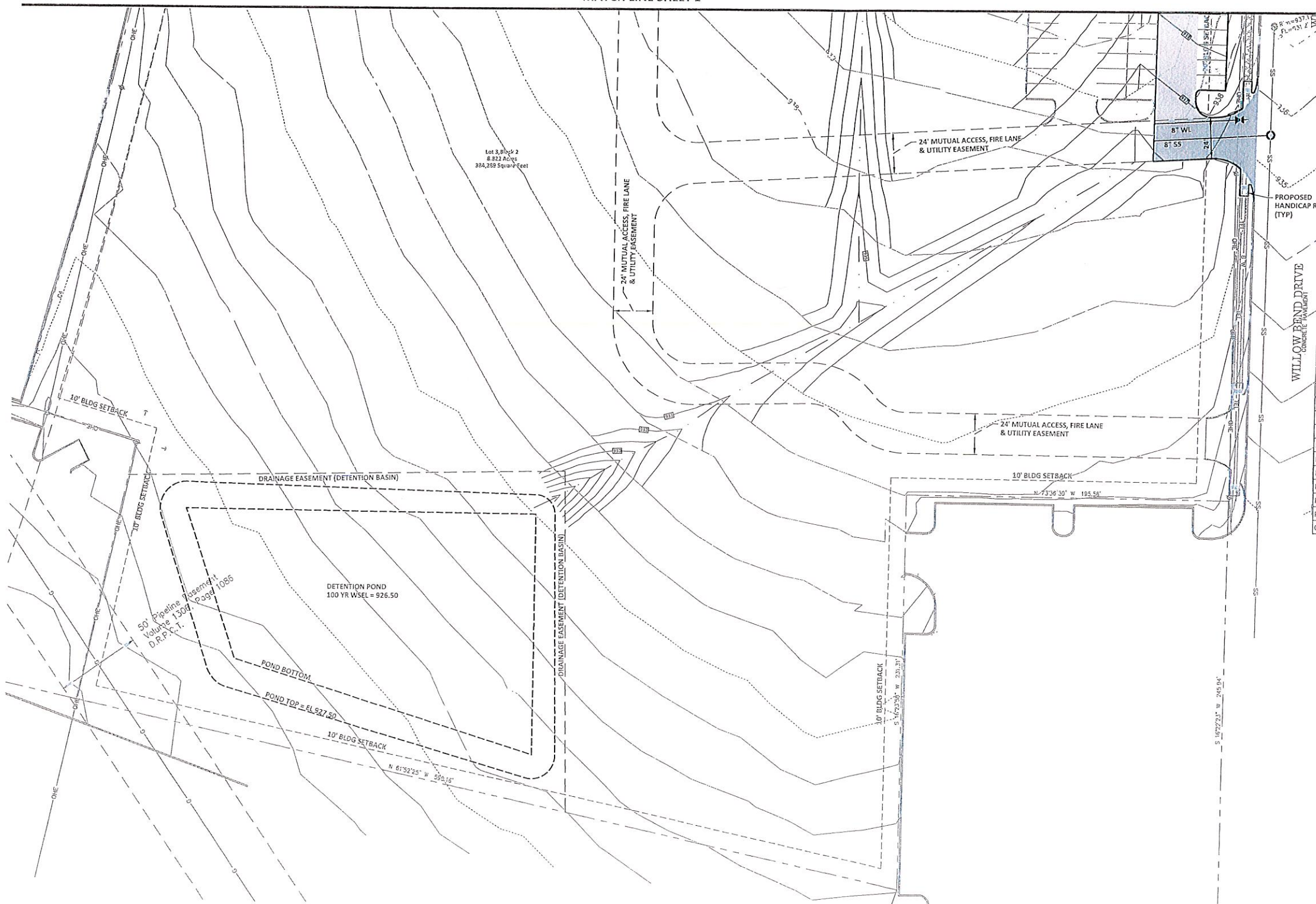
ISSUE BLOCK	
CITY COMMENTS	06/04/2020
CHECKED BY:	JDL
DRAWN BY:	ARG
DOC. DATE:	05/25/2020

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JOHNATHAN D. LILLEY, P.E.
SERIAL NO. 108719
DATE: JUNE 2020

SITE PLAN
SHEET 1 OF 2






SITE LOCATION MAP
NO SCALE

MATCH LINE SHEET 1



Lot 3 Block 3
The Village at Willow Park
Cabinet E-167
P.R.P.C.T.
(ZONED PD/VWP)

Lot 2 Block 3
The Village at Willow Park
Cabinet E-167
P.R.P.C.T.
(ZONED PD/VWP)

PAVING LEGEND	
	6" CONCRETE PAVEMENT - FIRE LANE
	6" CONCRETE PAVEMENT
	5" CONCRETE PAVEMENT
	4" CONCRETE FLATWORK
	DINING FLOOR AREA

SITE PLAN DATA TABLE	
ACREAGE	0.721 ACRES
EXISTING ZONING	PD/VWP
PROPOSED USE	RESTAURANT
PROPOSED STRUCTURES	(3) 1 STORY COMMERCIAL - 4,500 S.F.
FLOOR AREA	6,406 S.F.
PERCENT IMPERVIOUS	74.00%
PARKING REQ=	(1 SP PER 150 S.F. FLOOR AREA)
PARKING REQUIRED	43 (INCLUDES 2 HANDICAP)
PARKING PROVIDED	* 70 (INCLUDES 2 HANDICAP)
OPEN SPACE	8,126 S.F.

* OFFSITE SHARED PARKING IS PROVIDED MEETING THE INTENT OF PD FOR "THE VILLAGE AT WILLOW PARK" AS APPROVED ON AUGUST 16, 2018.

OWNER:

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THE MORRISON GROUP
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FORT WORTH, TX 76107
817.709.8571

SURVEYOR:
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REALSEARCH OF TEXAS, I
P.O. BOX 1006
GODLEY, TX 76044
682.200.6050

ENGINEER:

JOHNATHAN LILLEY, P.E.
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ARLINGTON, TX 75011
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LOT 1, BLOCK 2
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41,852 SQUARE FEET
PYLE
(REMAINDER)
CABINET C-134
P.R.P.C.T.
THE MORRISON GROUP, INC.
CCF#201328039
D.R.P.C.T.



urban bobcat
ARCHITECTS

PLANTAN AVENUE SUITE 154
FORTH WORTH, TX 76104
WWW.USABOBCAT.COM
817.602.3263 | 817.602.3264




WESTRA
CONSULTANTS

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Arlington, Texas 76011
817.230.4777
TBPE No. 17261
www.westraconsultants.com

WILLOW PARK ICEHOUSE
220 WILLOW BEND ROAD
WILLOW PARK, TX 76008

JOB NUMBER: 19-105.01

ISSUE BLOCK	
	CITY COMMENTS 06/04/20

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DOC. DATE:	05/26/20

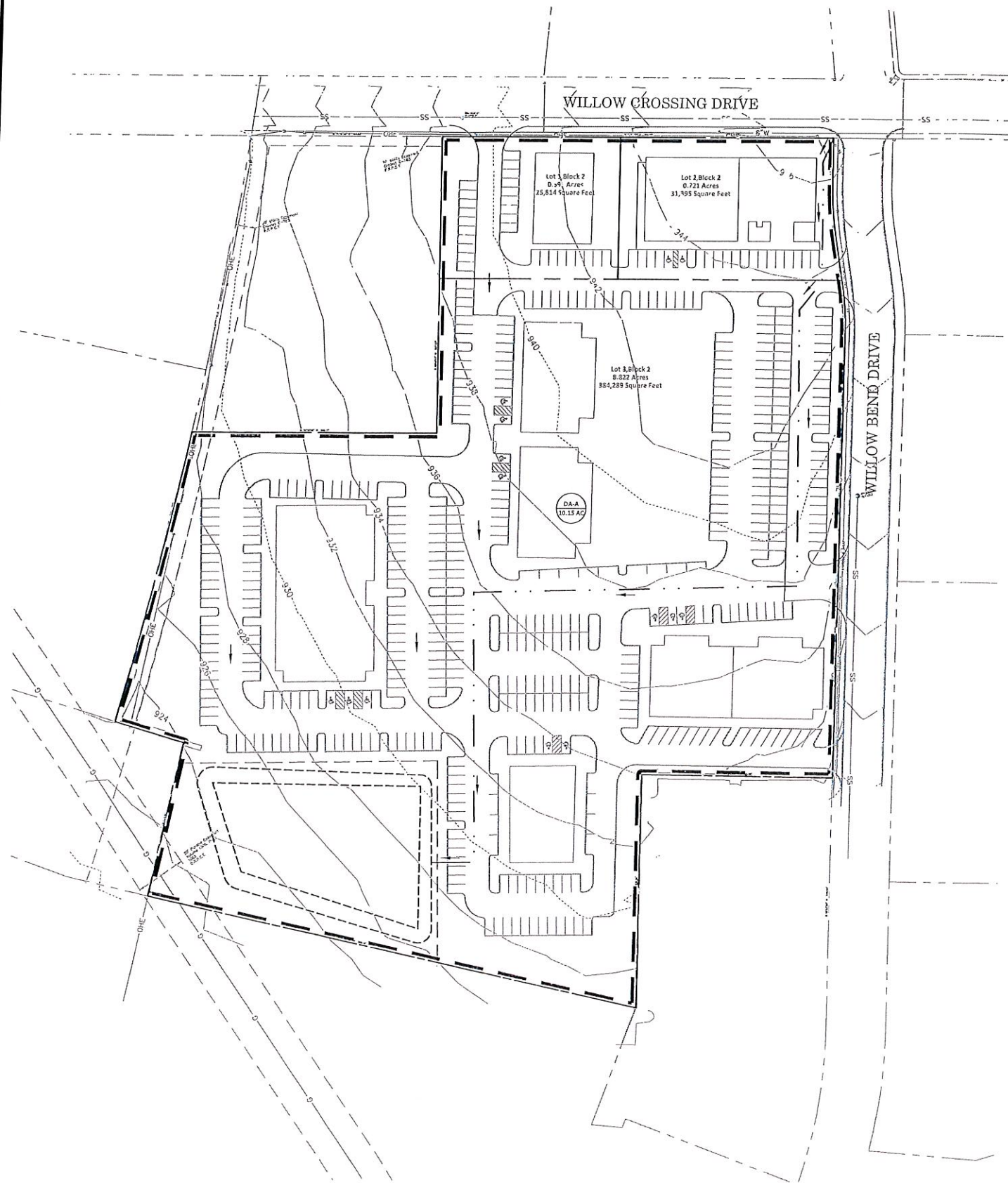
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JOHNATHAN D. ULLEY
SERIAL NO. 108719
DATE: JUNE 2020

SITE PLAN
SHEET 1 OF 2

Drawing: C:\Users\jwilley\Documents\Projects\Ice House\Drawings\4 Drainage Area Map Proposed Conditions.dwg
Project: Ice House
Location: Willow Park
Area: A - PROPOSED
Engineer: SND
Job No: UBC19041
Date: 25-Mar-20

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PROJECT INFORMATION:	PROJECT:	Ice House	SOLUTION:	TOTAL LENGTH (FEET)	TIME OF CONC. (MINUTES)
	LOCATION:	Willow Park			
	AREA:	A - PROPOSED			
	ENGINEER:	SND			
	JOB NO:	UBC19041			
	DATE:	25-Mar-20		1189	11.3

SHEET FLOW COMPONENT						TOTAL TRAVEL TIME (MINUTES)
LENGTH (FEET)	N	SLOPE (FT/FT)	P2 (INCHES)	VELOCITY (FT/SEC)	TRAV. TIME (MINUTES)	
50	0.240	0.0212	3.36	0.11	7.81	
0	0.000	0.0000	0.00	0.00	0.00	
0	0.000	0.0000	0.00	0.00	0.00	
						7.81

SHALLOW FLOW COMPONENT					TOTAL TRAVEL TIME (MINUTES)
COMPONENT	LENGTH (FEET)	SLOPE (FT/FT)	VELOCITY (FT/SEC)	TRAV. TIME (MINUTES)	
PAVED	97	0.0228	3.07	0.53	
UNPAVED			0.00	0.00	
					0.53

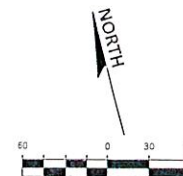
PIPE FLOW COMPONENT							TOTAL TRAVEL TIME (MINUTES)
COMPONENT	LENGTH (FEET)	DIAMETER (INCHES)	N	SLOPE (FT/FT)	VELOCITY (FT/SEC)	TRAV. TIME (MINUTES)	
0	0	0.000	0.0000	0.00	0.00	0.00	
0	0	0.000	0.0000	0.00	0.00	0.00	
0	0	0.000	0.0000	0.00	0.00	0.00	0.00

CHANNEL FLOW COMPONENT									TOTAL TRAVEL TIME (MINUTES)
COMPONENT	LENGTH (FEET)	BW (FEET)	DEPTH (FEET)	SS (H:V)	N	SLOPE (FT/FT)	VELOCITY (FT/SEC)	TRAV. TIME (MINUTES)	
PARKING LOT	1042	0	0.5	5.0	0.013	0.0172	5.89	2.95	
0	0	0	0.0	0.0	0.000	0.0000	0.00	0.00	
0	0	0	0.0	0.0	0.000	0.0000	0.00	0.00	2.95

DRAINAGE AREA DATA - PROPOSED CONDITION

Area ID	Area (acres)	C	CA	T _c	I ₂	I ₅	I ₁₀	I ₂₅	I ₁₀₀	Q ₂	Q ₅	Q ₁₀	Q ₂₅	Q ₁₀₀
				(min.)	(in/hr)	(in/hr)	(in/hr)	(in/hr)	(in/hr)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)
A	10.15	0.80	8.12	11.30	4.39	5.42	7.18	8.85	35.62	44.04	58.27	71.86		

NOTE:
FINAL DETENTION POND FOR
ICEHOUSE DEVELOPMENT (LOT 2) TO
BE PROVIDED WITH ICEHOUSE
CONSTRUCTION DOCUMENTS.



LEGEND	
	PROPOSED DRAINAGE DIVIDE
	PROPOSED T _c FLOW PATH
	DRAINAGE AREA ID & AREA (POND)
	DRAINAGE FLOW DIRECTION



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WILLOW PARK ICEHOUSE
20 WILLOW BEND ROAD
WILLOW PARK, TX 76008
JOB NUMBER: 19-105.01

ISSUE BLOCK	

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DRAWN BY:	ARG
DOC. DATE:	05/26/2020

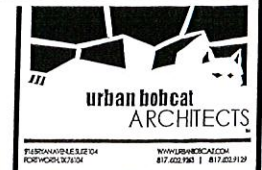
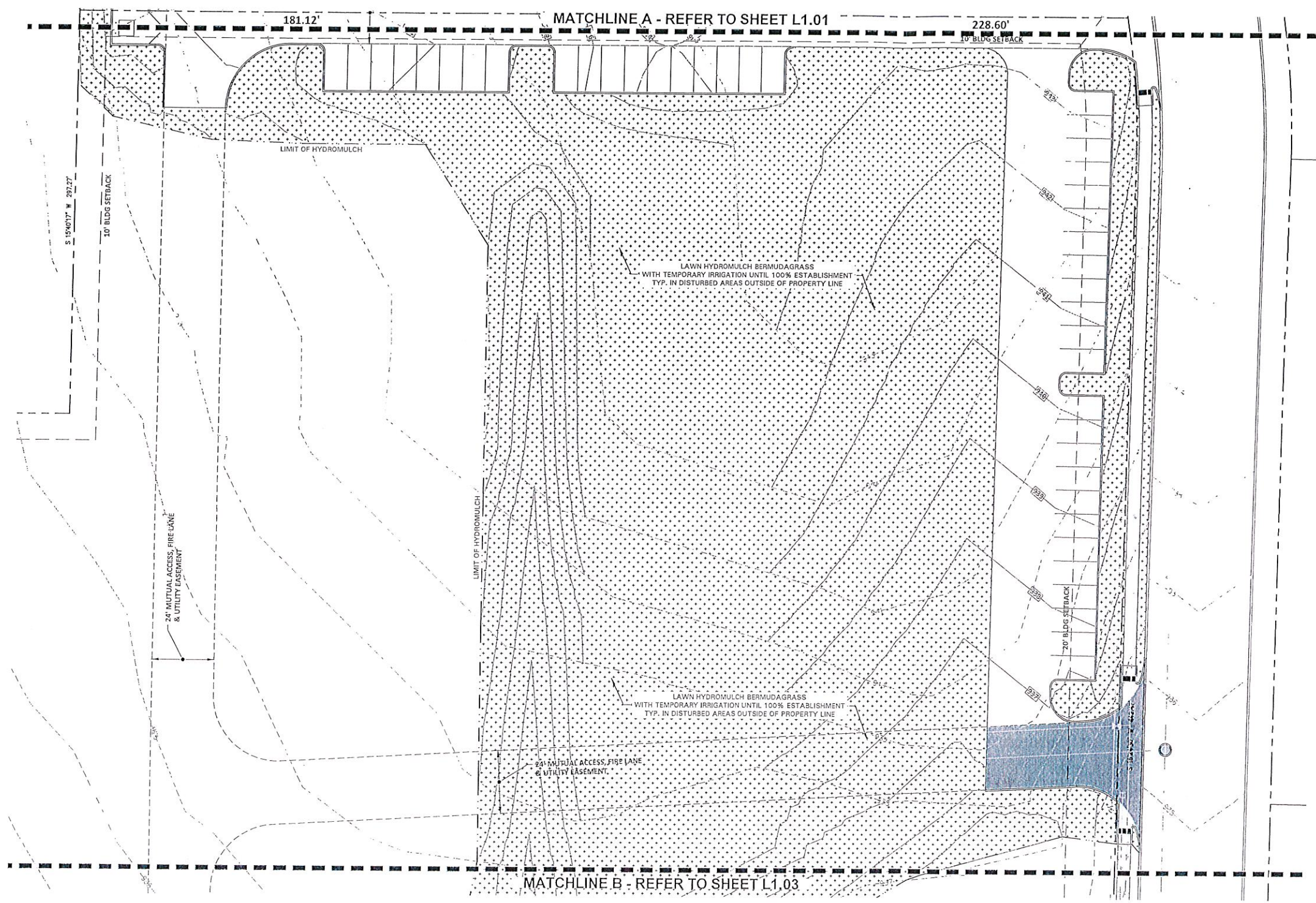
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JOHNATHAN D. LILLEY P.E.
SERIAL NO. 108719
DATE: MAY 2020

DRAINAGE AREA
MAP PROPOSED
CONDITIONS

L1.01

• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office

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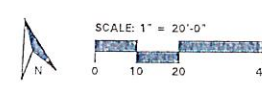
WILLOW PARK ICEHOUSE
260 WILLOW BEND ROAD
WILLOW PARK, TX 76008
JOB NUMBER: 19-105.01

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DRAWN BY:	RMT
DOC. DATE:	

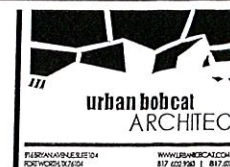
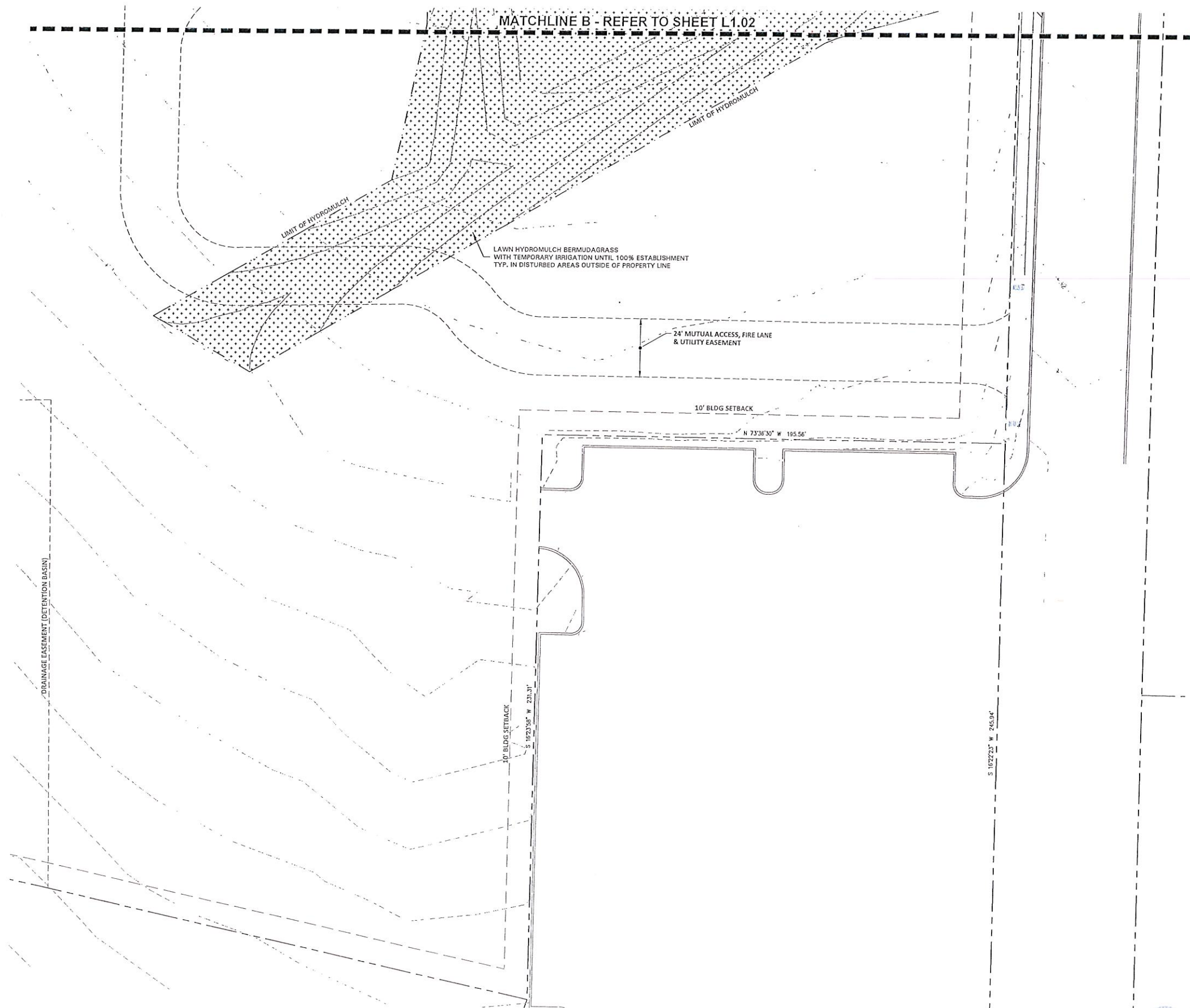


LANDSCAPE
PLAN

L1.02



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192



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Arlington, Texas 76011
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T&PE No. 17261
www.westraconsultants.com

WILLOW PARK ICEHOUSE
210 WILLOW BEND ROAD
WILLOW PARK, TX 76008
JOB NUMBER: 19-105.01

ISSUE BLOCK
CHECKED BY: KAH
DRAWN BY: RMT
DOC. DATE:



LANDSCAPE
PLAN

L1.03



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192

WILLOW PARK ICEHOUSE
260 WILLOW BEND ROAD
WILLOW PARK, TX 76008

JOB NUMBER: 19-105.01

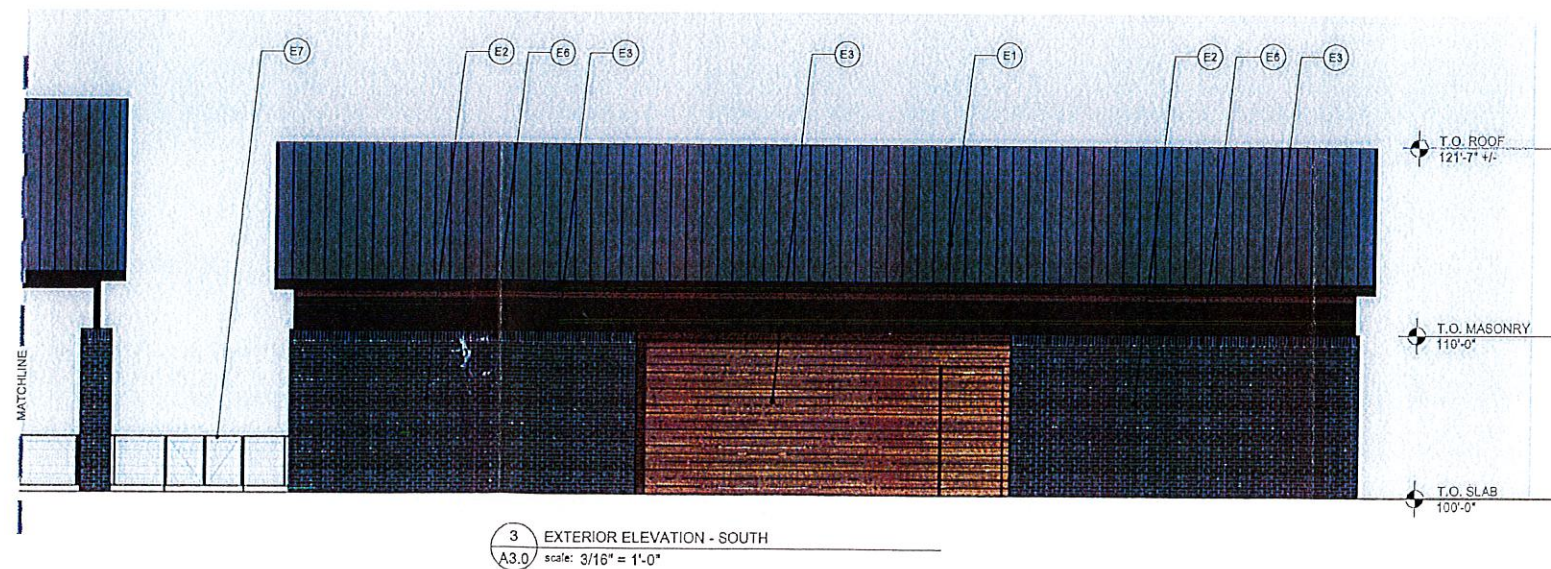
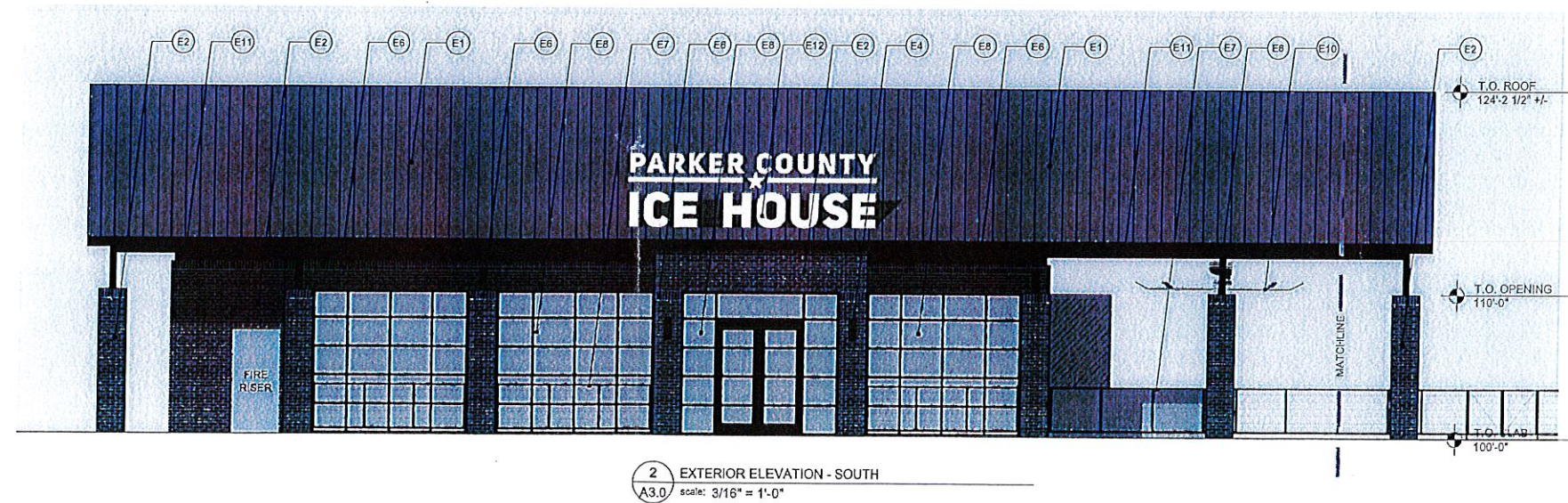
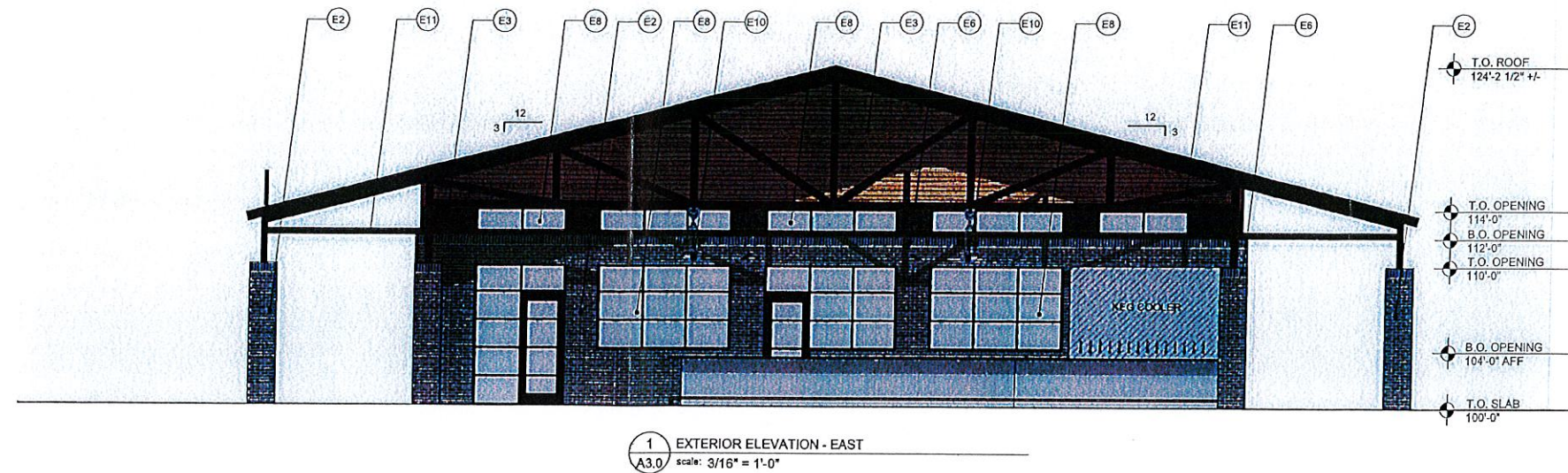
ISSUE BLOCK	

CHECKED BY: NKC
DRAWN BY: JMB
DOC. DATE: 05/15/2020



EXTERIOR
ELEVATIONS

A3.0



MATERIAL LEGEND

MARK	LOCATION	MATERIAL	FINISH / NOTE
EXTERIOR			
E1	ROOFING	METAL	TBD
E2	PRIMARY FACADE	BRICK VENEER	TBD
E3	ACCENT FACADE	CEMENTITIOUS BOARD (HARDIE)	TBD
E4	WALL SCONCE	PER MANUF.	TBD
E5	WALL PACK LIGHTS	PER MANUF.	TBD
E6	SOLDIER COURSE	BRICK VENEER	TBD
E7	GUARDRAIL	METAL	TBD
E8	STOREFRONT	ALUMINUM	TBD
E9	GUTTER AND DOWNSPOUTS	METAL	TBD
E10	OUTDOOR FAN	PER MANUF.	TBD
E11	EXPOSED STRUCTURE	STEEL	PAINTED, COLOR TBD
E12	SIGNAGE	PER MANUF.	TBD

FACADE NOTES

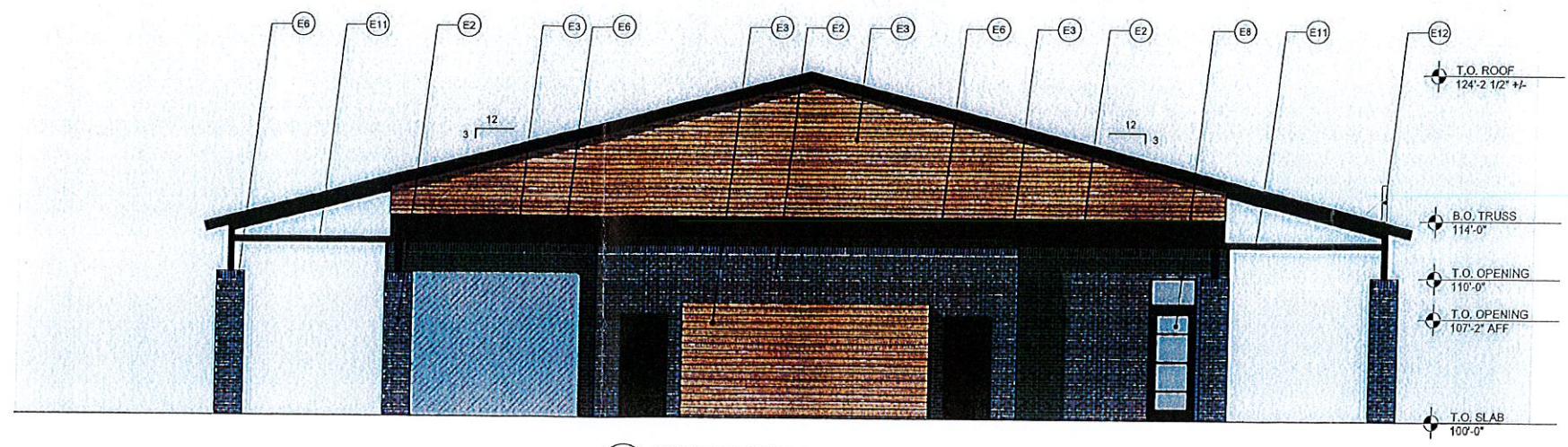
- 1) ALL SIGNAGE SUBJECT TO CITY SIGNAGE DEPARTMENT APPROVAL.
- 2) ALL MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- 3) UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
- 4) ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY BUILDING OFFICIAL.
- 5) PROVIDE MASONRY MOCKUP FOR FINAL APPROVAL OF OWNER AND ARCHITECT

ISSUE BLOCK	
CHECKED BY:	NKC
DRAWN BY:	JMB
DOC. DATE:	05 / 15 / 2020

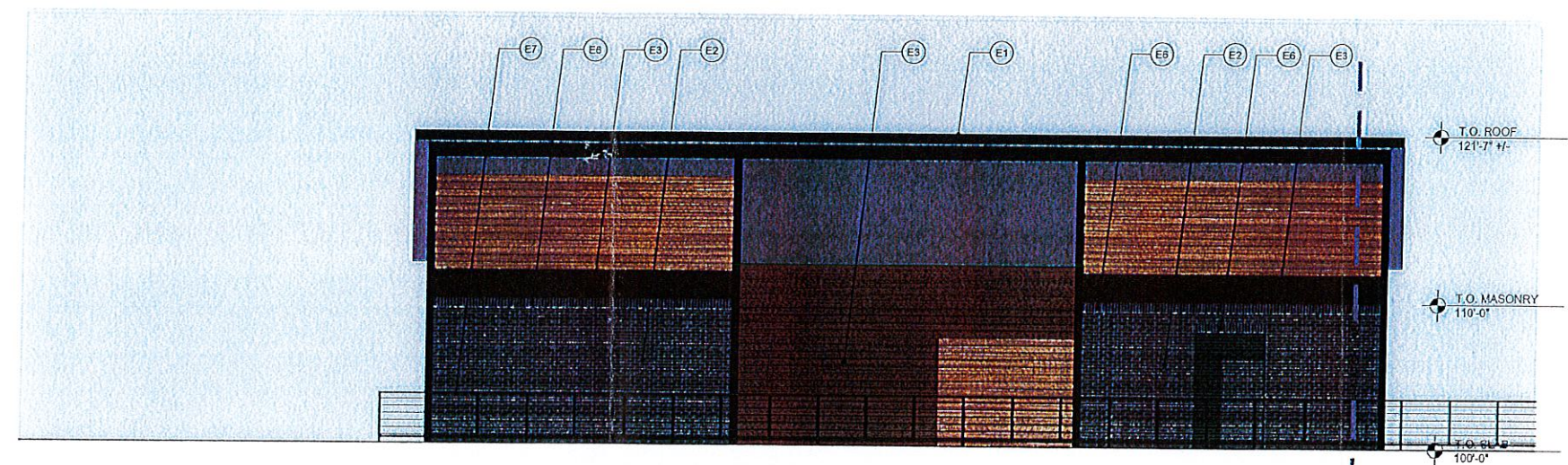


EXTERIOR
ELEVATIONS

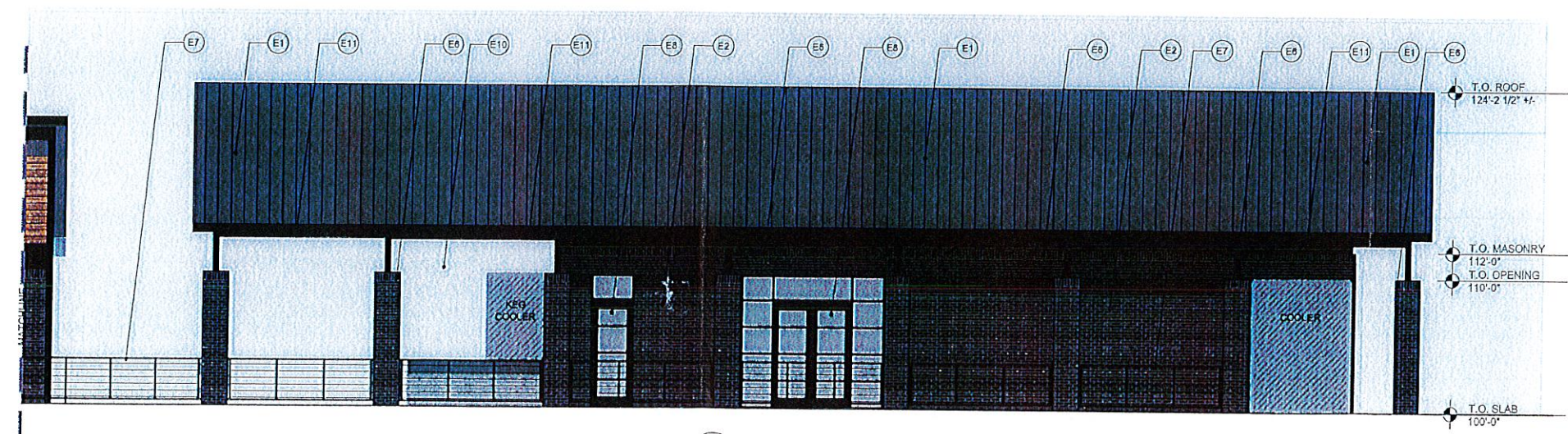
A3.1



1 EXTERIOR ELEVATION - WEST
A3.1 scale: 3/16" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
A3.1 scale: 3/16" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
A3.1 scale: 3/16" = 1'-0"

MATERIAL LEGEND			
MARK	LOCATION	MATERIAL	FINISH / NOTE
EXTERIOR			
E1	ROOFING	METAL	TBD
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E11	EXPOSED STRUCTURE	STEEL	PAINTED, COLOR TBD
E12	SIGNAGE	PER MANUF.	TBD

FACADE NOTES

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P&Z AGENDA ITEM BRIEFING SHEET

Meeting Date: June 16, 2020	Department: Development Services	Presented By: Betty Chew
---------------------------------------	--	------------------------------------

AGENDA ITEM: 2

Consider and Act on a Site Plan for a Eye Clinic-Medical Office on 1.601 acres Lot 1, Block 9 and 73, El Chico Addition, City of Willow Park, Parker County, Texas, located at 101 Chuckwagon Trail.

BACKGROUND:

The property is zoned Commercial/IH-20 Overlay District. This property is located in Planning Area 4 as identified in the City's Comprehensive Plan.. This property is located on the north side of Interstate 20. The development will consist of a 2,312 square foot addition in the West Texas Retina Center, outpatient Eye Clinic-Medical Office building. This addition to the existing 10,000 square foot building will be on the west side of the property.

The property is accessed from Chuckwagon Trail off the IH-20 Service Road. Two existing entrance/exists access the property via 24 foot fire lanes which provide emergency access to the property. Required parking spaces will be provided. The building is connected to City water and sanitary sewer. The existing building and addition have an automatic fire suppression system. Fire hydrants are installed in accordance with ISO regulations. The stormwater drainage plan has been reviewed and approved by the City Engineer. The landscape plan meets ordinance requirements.

STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff has reviewed the Site Plan and recommends approval as presented.

The Planning and Zoning Commission recommends approval of the Site Plan.

EXHIBITS:

Site Plan
Building Elevation
Landscape Plan

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	N/A
	Source of Funding	N/A



City of Willow Park Development Services Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

Project Information		Project Name: Addition to North Texas Retina Consultants	
<input type="checkbox"/> Residential		<input checked="" type="checkbox"/> Commercial	
Valuation: \$ 475,000.00 (round up to nearest whole dollar)		Project Address (or description): 101 Chuckwagon Trail, Willow Park, TX 76087	
Brief Description of the Project: 2,312 sf addition to existing facility, outpatient Eye Clinic Medical Office Building			
Existing zoning:		# of Existing Lots (plats only): 1	
Proposed zoning: C-IH20 Overlay		# of Proposed Lots (plats only): 1	
Applicant/Contact Information <i>(this will be the primary contact)</i>			
Name: Larry J. Meers, P.E.		Mailing Address: 3444 North 1st, Suite 200, Abilene, TX 79603	
Company: Meers Engineering, Inc.			
Primary Phone: 325-691-1200		E-mail: larry.meers@meersengineering.com	
Property Owner Information <i>(if different than above)</i>			
Name: Sunil S. Patel		Mailing Address: 5441 Health Center Drive, Abilene, TX 79606	
Company: West Texas Retina Consultants			
Primary Phone: 325-690-4407		E-mail: michael.guerrero@wtrc.clinic	
Other Phone:		Fax:	
() Developer / (x) Engineer / () Surveyor Information <i>(if applicable)</i>			
Name: Larry J. Meers		Mailing Address: 3444 North 1st, Suite 200, Abilene, TX 79603	
Company: Meers Engineering, Inc.			
Primary Phone: 325-691-1200		E-mail: larry.meers@meersengineering.com	
Other Phone:		Fax: 325-691-1206	
For City Use Only			
Project Number:		Permit Fee:	
Submittal Date:		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page



City of Willow Park Development Services Department

SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: L. Meers Date: 5/26/2020

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www.willowpark.org



City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	✓	Site boundary is indicated by a heavy solid line intermittent with 2 dash lines, dimensioned with bearings and distances; indicate and label lot lines, setback lines, and distance to the nearest cross street.	X		
2	✓	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		X	
3	✓	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		X	
4	✓	A written and bar scale is provided, 1"=200' unless previously approved by staff <i>1" = 20'</i>		X	
5	✓	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		X	
6	✓	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement.		X	
7	✓	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		X	
8	✓	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		X	
9	✓	Accurately located, labeled and dimensioned footprint of proposed structure(s).		X	
10	✓	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.		X	
11	N/A	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.	X		
12	✓	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		X	
13	✓	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		X	
14	✓	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		X	
15	✓	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		X	
16	✓	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.		X	
17	✓	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		X	



City of Willow Park Development Services Department

18	✓	Driveways within 200 feet of the property line: _____ a. Are accurately located and dimensioned. _____ b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines. _____ c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline. _____ d. Typical radii are shown.	X	X	
19	N/A	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.	X		
20	✓	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.		X	
21	N/A	Off-site streets and roads: _____ a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned. _____ b. Medians, median openings with associated left- turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site. _____ c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable. _____ d.. Distance to the nearest signalized intersection is indicated	X		
22	✓	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.		X	
23	✓	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.		X	
24	N/A	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.	X		
25	N/A	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff. EXISTING ENCLOSURE TO REMAIN	X		
26	N/A	Paving materials, boundaries and type are indicated.	X		
27	✓	Access easements are accurately located/ tied down, labeled and dimensioned.		X	
28	N/A	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.	X	X	
29	✓	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.		X	
30	N/A	Proposed dedications and reservations of land for public use including, but not limited to, rights-of way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.	X	X	
31	N/A	Screening walls are shown with dimensions and materials. An inset is provided that shows the wall	X		



City of Willow Park Development Services Department

	✓	details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.		✓	
		EXISTING RETAINING WALL			
32	N/A	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.	X		
33	✓	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.		X	
34	✓	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.		X	
35	✓	Boundaries of detention areas are located. Indicate above and/or below ground detention.		X	
36	✓	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		X	
37	N/A	Communication towers are shown and a fall distance/collapse zone is indicated.	X		
38	N/A	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable	X		
39		Explain in detail the proposed use(s) for each structure Addition to an existing facility to be used for an outpatient Eye Clinic Medical Office Building			
40	✓	Total lot area less building footprint (by square feet): Square footage of building: 2313 Building height (stories and feet) 1 story Number of Units per Acre (apartments only):		X	
41	✓	Parking required by use with applicable parking ratios indicated for each use: Parking Provided Indicated: Handicap parking as required per COWP ordinance and TAS/ADA requirements:		X	
42	✓	Provide service verification from all utility providers		X	
43	N/A	List any variance requested for this property, dates, and approving authority	X		
44	✓	Provide storm water and drainage study and design		X	
45	N/A	Proposed domestic water usage (gallons per day, month, and year)	X		
46	N/A	Are any irrigation wells proposed?	X		
47	✓	Applicant has received Landscaping Ordinance and requirements		X	
48	✓	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		X	
49	✓	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		X	



City of Willow Park Development Services Department

Site Plan Engineering Review

Applicant Questions:

Total gross lot area of the development: 2,313 sq. ft.

Area of lot covered with structures and impervious surfaces: 2,313 sq. ft.

Total number of structures: 1 Total number of habitable structures: 1

Square footage of each building: 2,313 sq. ft. _____ sq. ft. _____ sq. ft.

Proposed use for each structure:

Addition to an existing facility to be used for an outpatient Eye Clinic Medical Office Building

Building stories: 1

Building height: _____ ft.

Total number of parking spaces: 61

Number of handicap spaces: 3

Does the site include any storm water retention or detention?

Yes

No

Does the project include any engineered alternatives from code requirements? Yes

No

Staff Review: (for official use only)

Does the proposed project pose any engineering concerns?

Yes

No

Approved

Not Approved

Needs More Information or Corrections

Engineering Approval Signature:

DEREK TURNER

Date:

06/10/2020



City of Willow Park Development Services Department

Site Plan Building Official Review

Applicant Questions:

Front building setback: 25 ft. Rear building setback: 25' ft.
Side building setback: 10/25 ft. Side building setback: 10/25 ft.

Does the site include any utility/electric/gas/water/sewer easements? ☒ Yes No
Does the site include any drainage easements? Yes No
Does the site include any roadway/through fare easements? Yes ☒ No

Staff Review: (for official use only)

Does the site plan include all the required designations? ☒ Yes No
Are the setbacks for the building sufficient? ☒ Yes No
Are there any easement conflicts? Yes ☒ No
Does the proposed project pose any planning concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date: 06/09/2020



City of Willow Park Development Services Department

Site Plan Fire Review

Applicant Questions:

Will the building have a fire alarm?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Will the building have a fire sprinkler/suppression system?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Is the building taller than two-stories?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
If yes, how many stories? <u>N/A</u>		
Will the project require installation of a new fire hydrant?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
If yes, how many fire hydrants? <u>N/A</u>		
What is the size of the proposed fire connections? <u>N/A</u>		

Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Is the proposed project an adequate distance to a fire hydrant?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the project have the minimum 24' hard surface?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Is the fire lane appropriate?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the site have the proper turning radius?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the proposed project pose any safety concerns?	<input type="radio"/> Yes	<input checked="" type="radio"/> No

Does the proposed project require any additional fire services?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
---	---------------------------	-------------------------------------

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Fire Department Approval Signature: MIKE LENOIR

Date: 06/02/2020



City of Willow Park Development Services Department

Site Plan Flood Plain Review

Applicant Questions:

Is any part of the site plan in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any built improvement in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

Is any habitable structure in the 100-year flood plain? Yes ☒ No

If yes, what is the base flood elevation for the area? N/A

If yes, what is the finished floor elevation for the habitable structure? N/A

If yes, please list any wet or dry flood proofing measures being used?

Staff Review: (for official use only)

Base flood elevations confirmed? Yes ☒ No

Will the project require a "post-grade" elevation certificate? Yes ☒ No

Flood proofing measures approved? Yes ☒ No

Does the proposed project pose any safety concerns? Yes ☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Flood Plain Manager Approval Signature: DEREK TURNER Date: 10/10/2020



City of Willow Park Development Services Department

Site Plan Landscaping Review

Applicant Questions:

Total gross lot area of the development: 70,846 sq. ft.

Area of lot covered with structures and impervious surfaces: 10,627 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 15 %

Area of green space/landscaped areas: 1,875 sq. ft.

Percentage of green space/landscaped areas: 10 %

Total number of parking spaces: 61

Does the site include any vegetative erosion or storm water control?

☒ Yes

☐ No

Staff Review: *(for official use only)*

Does the proposed project pose any landscaping concerns?

☐ Yes

☒ No

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Landscaping Approval Signature:

BETTY L. CHEW

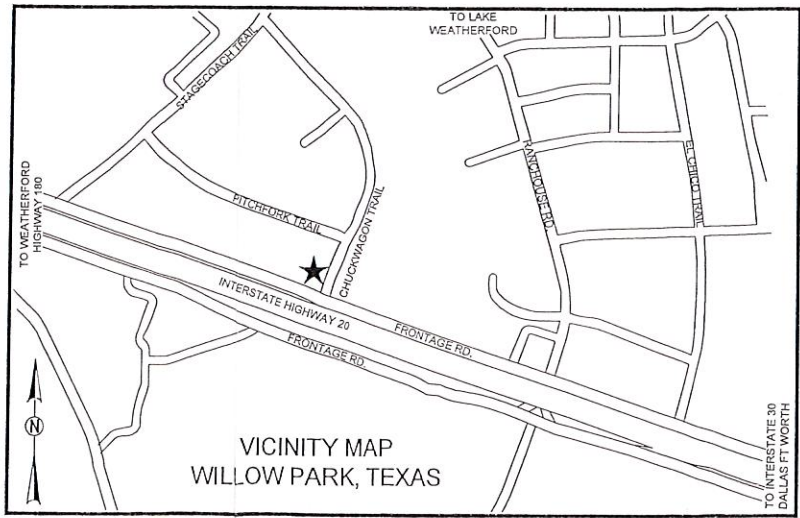
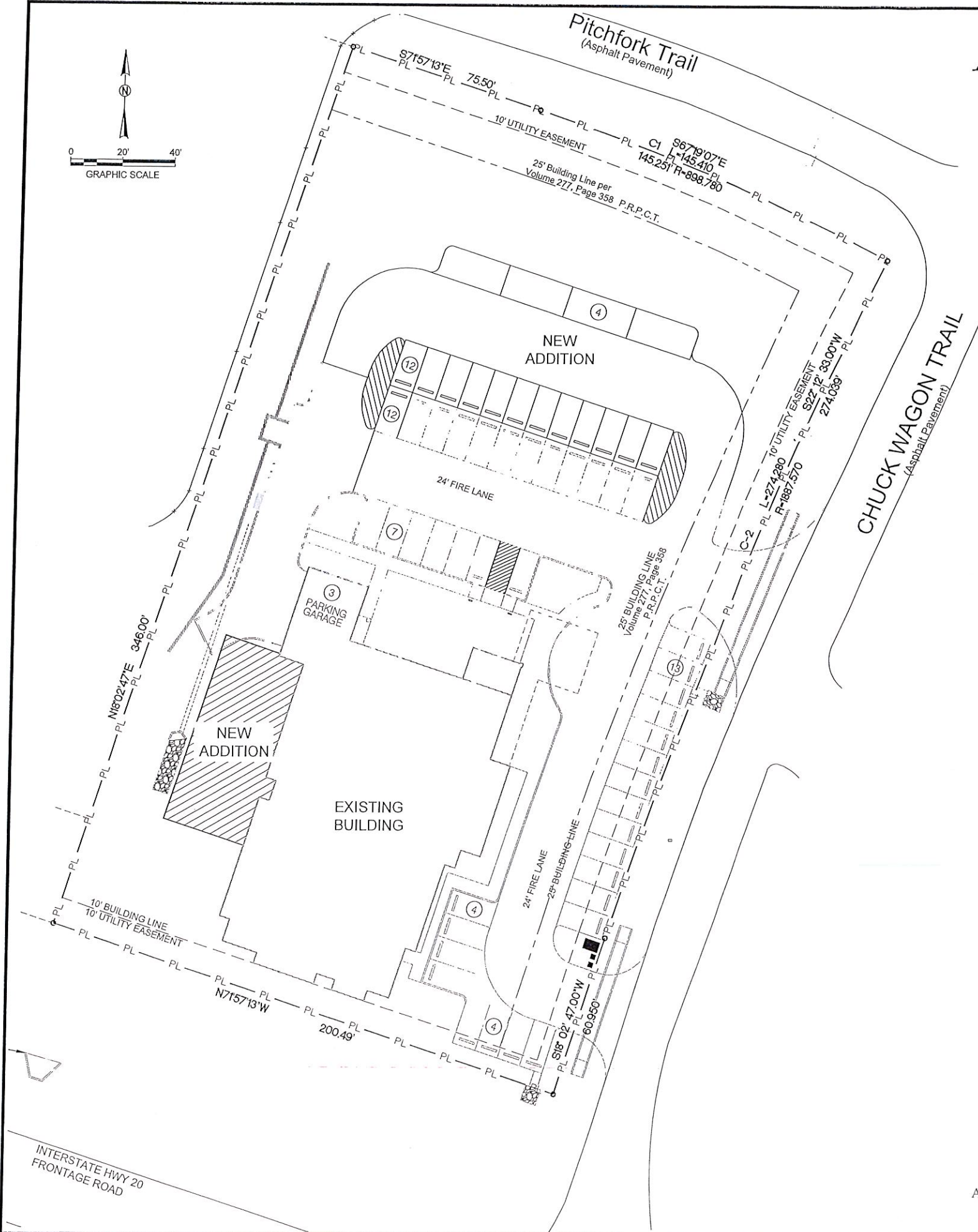
Date: 06/09/2020

ADDITION TO NORTH TEXAS RETINA CONSULTANTS

101 Chuckwagon Trail
Weatherford, Texas 76087

CIVIL DRAWING INDEX

DWG. No.	CIVIL/SITE	REV.
C1.1	SITE PLAN	0
C1.2	SITE DRAINAGE CALCULATIONS	0
C2.1	SWPP PLAN (EROSION CONTROL PLAN)	0
C2.2	SITE GRADING PLAN	0
C3.1	SITE UTILITY PLAN	0



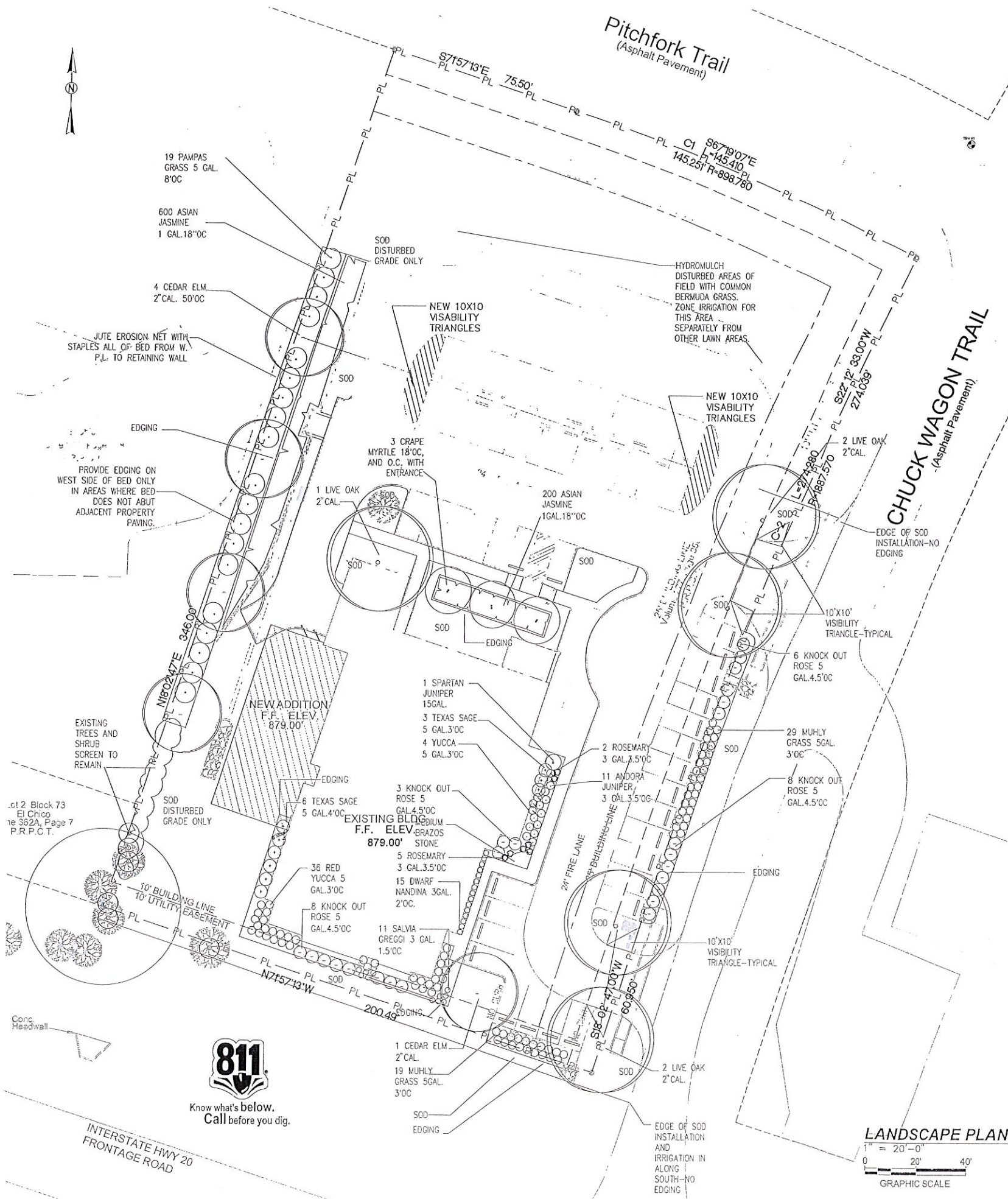
ARCHIS
ARCHITECTS

ARCHIS design, LLC
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 998-7717
www.archisdesign.net



MEERS
ENGINEERING INC.
3444 N. 1st STREET SUITE 200 ABILENE, TEXAS (325) 691-1200
6801 SANGER AVE SUITE 202 WACO, TEXAS (254) 340-2727
Texas Registered Engineering Firm F-3300

JUNE, 2020
CIVIL COVER SHEET



PLANT LIST		(Contractor is responsible for verifying quantities)	
QUANTITY	PLANT NAME/BOTANICAL NAME	SIZE	NOTES
5	Cedar Elm/Ulmus crassifolia	2"cal.	7'ht. min.
5	Live Oak/Quercus virginiana	2"cal.	7'ht. min.
3	Crope Myrtle/Lagerstroemia indica 'Tuscarora'	15gal.	7'ht. min.
1	Spartan Juniper/Juniperus chinensis	15gal.	
48	Muhly Grass/Mulenbergia capillaris	3-5gal.	
19	Pampas Grass/Cortaderia selloana	5gal.	
4	Yucca/Yucca filamentosa	5gal.	
25	Knock Out Rose/Rosa sp.'Radrazz'	5gal.	
9	Texas Sage/Leucophyllum frutescens compacta	5gal.	
36	Red Yucca/Hesperaloe parviflora	5gal.	
15	Dwarf Nandina/Nandina nana	3gal.	
11	Andora Juniper/Juniperus horizontalis plumosa	3-5gal.	
11	Salvia Greggii/Salvia greggii	3gal.	pink
800	Asian Jasmine/Trachelospermum asiaticum	1gal.	6" runners, full
7	Rosemary/Rosmarinus officinalis	3gal.	
SOD	Hybrid Bermuda Sod		solidly
HYDROMULCH	Common Bermuda Grass		maintain until full coverage established

GROSS PARKING LOT 18,753SF
 REQUIRED PARKING LOT LANDSCAPE AREA: 10%(18,753) = 1,875SF
 PROVIDED: 1,940SF
 REQUIRED: PARKING LOT TREES 1,875 = 5 TREES
 PROVIDED: 5 TREES

GROSS SITE AREA 70,846SF
 REQUIRED LANDSCAPE AREA: 15%(70,846) = 10,627SF
 PROVIDED: 42,616SF
 ((NON-VEHICULAR OPEN SPACE=42,616
 (70,846-BLDG. FOOTPRINT AND PARKING AREA)
 42,616/70.946=60%)
 42,616/4000=11 TREES
 PROVIDED 4 EXISTING + 10 NEW TREES=14 TREES

NOTES

IRRIGATION: All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system or a subterranean drip system and shall be equipped with rain and freeze sensors and be in accordance with all City Codes.

MAINTENANCE: Required plant materials must be maintained in a healthy growing condition at all times. The property owner is responsible for regular weeding, mowing of grass, irrigating, fertilizing, pruning and other maintenance of all plantings as needed. Any city-required planting that dies must be replaced with another living plant that complies with this plan within 90 days after notification by the City. **DRAINAGE:** There shall be positive drainage away from all buildings. Final Landscape grade including topdressing mulch, shall be at least 3" below finished floor of adjacent buildings.

BED PREPARATION: Planting areas to receive groundcover, shrubs or ornamental trees shall be prepared as follows:

1. Excavate and remove from site existing soil and rock as necessary to allow for the incorporation of 3" of organic compost, 2" hardwood mulch and still allow for the finished grade of beds to be a min. of 3" below the finished floor of adjacent building structure.
2. Till compost into existing soil to 6" depth.
3. Rake beds smoothly and evenly. Ensure positive drainage away from building and/or toward any surface drains, if present.

MULCH: All beds shall receive 2" of shredded hardwood mulch and have positive drainage away from all building structures, walks, porches and patios. Provide 6" soil water retention rings 5' diameter around pampas grass. Backfill with 2" of shredded hardwood mulch.

EDGING: All edging shall be 10 gauge 'Ryerson' or approved equal.

BRAZOS STONE: Size to be 3" to 5" diameter stones. Areas to receive stone shall be excavated to a depth of 5" below adjacent sidewalks. Install filter fabric between raked soil and rocks, overlapping seams by 2". Place stone evenly over fabric ensuring the fabric is not visible and so that finished tops of rocks are not more than 1" above grade of adjacent walks.

EROSION NET: Jute fiber, woven netting complete with metal staples installed 4'oc. Cover with 2" of hardwood mulch after installation and planting to conceal net.

TREE PLANTING: Tree pits of 15 gallon and larger trees shall be dug 12" greater than the root ball and slightly shallower than root ball height. Backfill in 6" lifts, tamping between lifts, with 1/2 compost 1/2 native soil mix. Provide water retention rings constructed with 6" ht. of soil around all live oaks and cedar elms. Mulch interior of rings with 3" hardwood mulch.

TREE PROTECTION: All trees being preserved will be protected during all development activities by a 6'ht. temporary chain link fence installed to encompass the critical root zone of each protected tree. Development activities will include, grading, installation of utilities and/or construction of structures and site amenities. Protective measures are required at the critical root zone (the critical root zone, CRZ, radius is defined as one foot per inch diameter measured at breast height (4' or and 1/2 feet) of the tree. The following activities within the critical root zone are prohibited: No waste, grading, or construction material shall be placed within the limits of the CRZ. No paint, oil, solvents, asphalt, concrete, mortar or similar materials shall be deposited or allowed to flow overland within the CRZ. No signs, wires or other attachments other than those of a protective nature shall be attached to any preserved tree. No parking is allowed under the CRZ. No heavy equipment, including but not limited to trucks, tractors, trailers, bulldozers, bobcat tractors, trenchers, copressors and hoists shall be allowed inside the CRZ or on any construction site without the specific approval of the Owner's representative.

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 ARCHITECTS

ADDITION TO NORTH TEXAS
 RETINA CONSULTANTS
 101 Chuckwagon Trail
 Weatherford, Texas 76087, Texas

MEERS
 ENGINEERING INC.
 3444 N. 1st STREET
 SUITE 200
 WACO, TEXAS
 76798-1200
 (817) 869-1200
 Texas Registered Engineering Firm F-3300

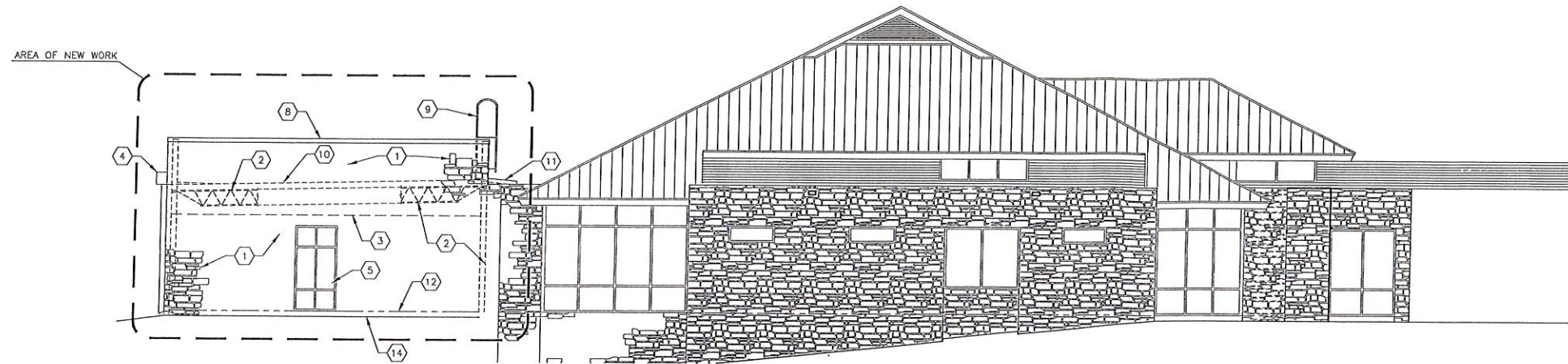
PROJ. NO.: 19-011
 DATE: 06-08-20
 REVISION:
 DESIGNER: RRB
 DRAFTER: LTM

LANDSCAPE PLAN

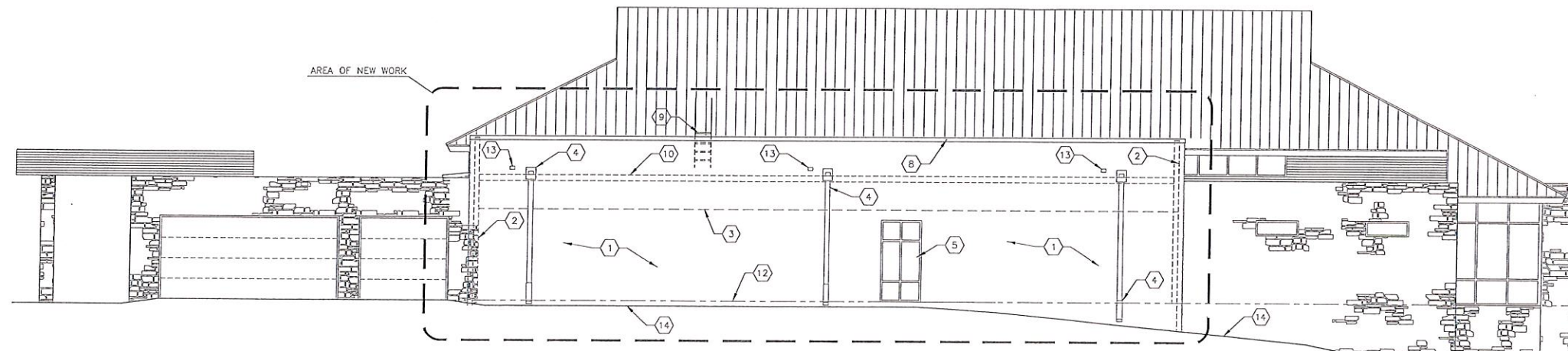
SHEET 1 OF 1

DRAWING NO.

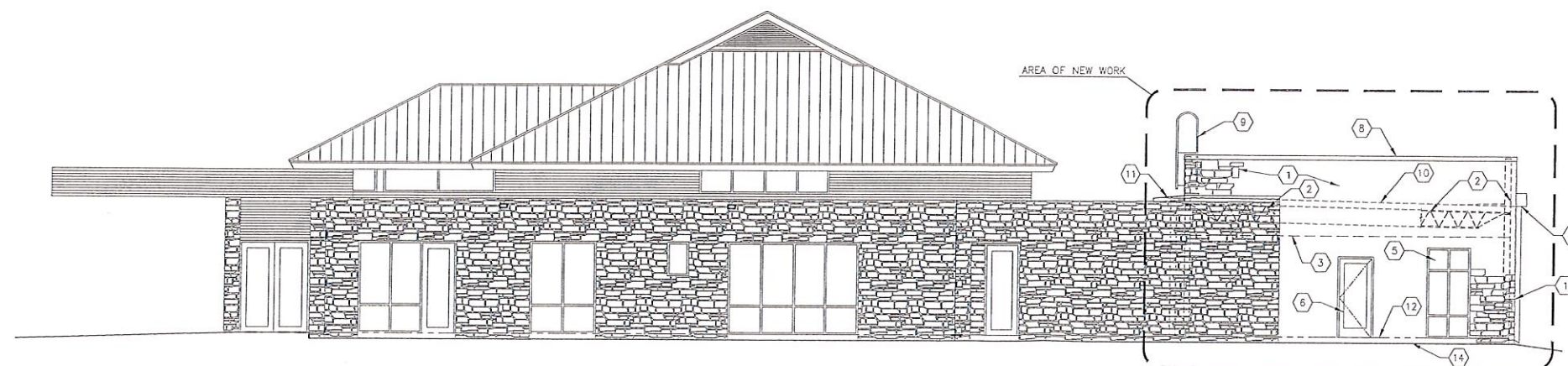
LS 1.1



3 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- REFER TO A-101 FOR FLOOR PLAN INFORMATION.
- COORDINATE FINAL EXTERIOR MATERIAL SELECTIONS AND COLORS WITH ARCHITECT/OWNER
- REFER TO A-602 FOR DOOR AND WINDOW DIMENSIONS, HEIGHTS AND ADDITIONAL INFORMATION
- PROVIDE SPLASH BLOCK AT BASE OF DOWNSPOUTS WHERE NOT PIPED TO POND AND AT LANDSCAPE AREAS
- PROVIDE CONCRETE DIVERSION CHANNEL WITH GRATE AT SIDEWALKS AT BASE OF DOWNSPOUTS WHERE NOT PIPED TO POND

SHEET KEYNOTES

NOTE: NOT ALL KEYNOTES MAY BE USED THIS SHEET

- STONE VENEER - TO MATCH EXISTING
- DASHED LINES INDICATE FRAMING BEYOND; RE: A-102 FLOOR PLAN AND STRUCTURAL SHEETS
- DASHED LINE INDICATES CEILING BEYOND
- PRE-FINISHED, 22 GA. LEADERHEAD AND DOWNSPOUT SYSTEM TO MATCH EXISTING; RE: ROOF DETAILS SHEET A-50X
- SCHEDULED WINDOW; RE: WINDOW SCHEDULE, SHEET A-602
- SCHEDULED DOOR; RE: DOOR SCHEDULE, SHEET A-602
- LIGHT FIXTURE; RE: ELECTRICAL SHEETS
- PRE-FINISHED 22 GA. METAL COPING; RE: ROOF DETAILS, SHEET A-50X
- ROOF TO ROOF ACCESS LADDER; RE: SHEET A-50X
- DASHED LINE INDICATES TOP OF ROOF BEHIND PARAPET
- OVERFRAME AREA BETWEEN EXISTING BUILDING PARAPET AND NEW BUILDING; PROVIDE COVERBOARD AND MEMBRANE ROOFING
- FINISH FLOOR TO MATCH EXISTING
- OVERFLOW SCUPPER
- FINISH GRADE; RE: CIVIL GRADING PLAN

PRELIMINARY
NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION

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design, LLC
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 986-7717
www.architectsdesign.com

ARCHITECTS

ADDITION TO NORTH TEXAS
RETINA CONSULTANTS
101 Chuckwagon Trail
Weatherford, Texas 76087

MEERS
ENGINEERING INC.
209 S. DENVILLE
SUITE B-200
ARLINGTON, TEXAS
(817) 681-1200
Texas Registered Engineering Firm F-3300

PROJ. NO.: 19-011
DATE: 01/24/20
REVISION:
DESIGNER: JFO
DRAFTER: JFO

EXTERIOR ELEVATIONS

SHEET 8 OF 67

DRAWING NO.

A-201



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 23,2020	Department: Admin	Presented By: City Manager
--------------------------------------	-----------------------------	--------------------------------------

AGENDA ITEM:

Fort Worth Water Project

BACKGROUND:

Please see the attached letter from Halff and Associates on the progress of the Fort Worth Water Project.

STAFF/BOARD/COMMISSION RECOMMENDATION:

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$



June 16, 2020
AVO 34094.001

Mr. Bryan Grimes
City Administrator
City of Willow Park
516 Ranch House Road
Willow Park, Texas 76087

RE: Fort Worth Wholesale Water Project
Project Status Update

Dear Mr. Grimes:

This letter provides an update on the current status of the project. Below is an update upon the major elements of our design contract. This is followed by an update on the easement acquisitions necessary to construct the project.

A. Preliminary/Support Tasks

1. Survey – all topographic survey field work has been completed.
2. Easement documents – documents for 3 permanent easements and 3 temporary construction easements have been prepared. One additional temporary construction easement is in the process of being prepared currently.
3. Environmental review – the required public meeting has been held, and a final report has been submitted. We are awaiting TWDB approval of the report.
4. SUE – all Level B subsurface utility engineering field work has been completed. Level A work is currently underway
5. Geotechnical - all bores have been completed. Final report to be complete in the next few weeks.

B. Detail Design Tasks – reported as per each of the three bid packages planned for the overall project

1. Bid Package 1 – 24" pipeline from Fort Worth connection to the El Chico Pump Station – the 60% complete QC has been completed. Design team working towards issuance of 90% complete QC set in mid-July.
2. Bid Package 2 – El Chico Pump Station and Hudson Oaks Meter Station – 30% complete QC package to be issued in next two weeks.
3. Bid Package 3 – 16" pipeline from El Chico Pump Station to Hudson Oaks – the 60% complete QC has been completed. Design team working towards issuance of 90% complete QC set in mid-July.



C. Easement Acquisitions

Water line easements for the Fort Worth to El Chico Pump Station pipeline are required from the Dean Ranch and Boswell Ranch. The Dean Ranch attorney drafted an easement document that included several conditions that Fort Worth Water Department would not accept. They required a standard easement document without conditions and recommended that any conditions be included in a "pre-annexation" agreement. TOASE attorneys are working with the Dean Ranch attorney to meet the Fort Worth requirements to get the easement dedicated by the Dean Ranch. We have been told that the Boswell Ranch representatives will go along with the same agreements as the Dean Ranch.

As of Friday June 12, 2020, a TOASE attorney provided an update on status indicating that he was working with the Dean Ranch attorney to use a standard form of water line easement and draft the "pre-annexation" agreement to present to Fort Worth. TOASE expects to review the "pre-annexation" agreement on Monday, June 16 and provide minor revisions. No time frame was provided, but it does seem that they are getting close to having a document to present to Fort Worth after the original easement was rejected.

The easement dedication by the ranches is predicated on the Fort Worth pipeline being oversized to provide them capacity for future development. If the dedication cannot be worked out by Fort Worth and the Ranches, easements will need to be acquired by other means and the impact on the project schedule will be significant.

Sincerely,

HALFF ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Preston C. Dillard".

Preston C. Dillard, PE
Senior Project Manager

C: Frank Crumb, PE
Derek Turner, PE



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 23,2020	Department: Admin	Presented By: City Manager
--------------------------------------	-----------------------------	--------------------------------------

AGENDA ITEM:

City Hall Advisory Committee Update

BACKGROUND:

Please see the attached report from the City Hall Advisory Committee

STAFF/BOARD/COMMISSION RECOMMENDATION:

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$

City Hall Advisory Committee Activities

March 4, 2020

The Advisory Committee held an initial meeting to discuss the goals and objectives of the Committee. After discussion, it was determined that a new building should be considered. A "new building" should be considered being either an existing building that is refurbished, a shell building to be completed, or a new construction. The Committee directed staff to set up site visits with other communities that have built a new city hall, including Roanoke and Northlake among others.

Committee Members in attendance: Mayor Moss, Councilmen Contreras and Runnebaum, Kay Davis, Steve Gould (via conference call)

May 12, 2020

Due to COVID-19, the Committee did not meet until May 12, 2020. During the interim, Kyle Wilks approached the City about a potential building that he had constructed but was not finished out. It is a shell building. The Committee met, on site, and inspected the building as a potential site for a new City Hall. The building is approximately 5800 sqft. The immediate concern was if the building could meet the office, storage, and other requirements for a new City Hall. Simply put, would the building meet the requirements.

Committee Members in attendance: Mayor Moss, Councilmen Contreras, Kay Davis, Steve Gould. Councilman Runnebaum was not present

May 27, 2020

The Committee then met at another location, that was completed and built by Louie Lu. The purpose of this site visit was to see how a similar building size (5800 sqft) looks finished out. After review of the building it was determined that 5800 sqft., while sufficient for today, would be inadequate for the City of Willow Park for future growth. As such, staff is preparing for the next steps.

Committee Members in attendance: Mayor Moss, Councilmen Contreras, Kay Davis, Councilman Runnebaum and Steve Gould were.

Potential Next Steps for the Advisory Committee:

1. Schedule visits to tour recently constructed City Halls in the area
2. Deliberate on procuring Architectural Services to assist the Committee for spacing, floor plans, etc.
3. Size of lots / land for City Hall and if it could be incorporated for additional uses (e.g. Outdoor events, open space, etc.)



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 23, 2020	Department: Communications and Marketing	Presented By: Rose Kertok
---------------------------------------	--	-------------------------------------

AGENDA ITEM: Discussion: Update on new CivicPlus website.

BACKGROUND:

Council approved the development of a new website in December 2019.

STAFF/BOARD/COMMISSION RECOMMENDATION: No action required

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ none
	Source of Funding	\$



CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: June 23,2020	Department: Admin	Presented By: City Manager
--------------------------------------	-----------------------------	--------------------------------------

AGENDA ITEM:

Discuss and act on a Budget Calendar

BACKGROUND:

Please see the attached Proposed Calendar for the FY 2020 – 2021 Budget

STAFF/BOARD/COMMISSION RECOMMENDATION:

EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$

Budget Calendar for FY 2020 – 2021

July 20 – 23:

Budget Workshop for Enterprise Funds: Water and Wastewater (If needed or requested by Council)

July 27:

Last Day to receive Certified Values from Appraisal District.

July 28:

Budget Workshop on all other funds, mainly General Fund; Discussion of Tax Rates

August 7:

File Preliminary Budget with City Secretary

August 25:

1st Public Hearing on the Budget

September 1:

2nd Public Hearing on the Budget

September 7:

Adopt Budget and Tax Rate.