



**City of Willow Park  
City Council  
Regular Meeting Agenda  
Municipal Complex  
516 Ranch House Rd, Willow Park, TX 76087  
Tuesday, October 8, 2019 at 7:00 p.m.**

**Call to Order**

**Invocation & Pledge of Allegiance**

Pastor Jonathan Mansur, First Baptist Willow Park will lead the invocation.

Cub Scout Troop 109 will lead the pledge of allegiance.

**Presentations**

Rayfield Wright Day Proclamation.

Presentation by Dr. Susan Bohn, Aledo ISD superintendent, on the upcoming school bond election

**Public Comments (Limited to five minutes per person)**

Residents may address the Council regarding an item that is not listed on the agenda. Residents must complete a speaker form and turn it in to the Secretary five (5) minutes before the start of the meeting. The Rules of Procedure states that comments are to be limited to five (5) minutes. The Texas Open Meetings Act provides the following:

- (a) If, at a meeting of a governmental body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by this subchapter, the notice provisions of this subchapter do not apply to:
  - (1) A statement of specific factual information given in response to the inquiry; or
  - (2) A recitation of existing policy in response to the inquiry.
- (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

**Consideration of Minutes**

A. Approve City Council Meeting Minutes – September 24, 2019

## **Regular Agenda Items**

1. Discussion/ Action: To consider and act on a request to rezone from R-1 Single-Family District and AG Agricultural District to R1/PD Single-Family/Planned Development District. Lot 1,2, Block 1, Willow Park Baptist Addition located on the Northwest corner of Crown Pointe Blvd. and J.D. Towles Drive.
  - a. Open Public Hearing
  - b. Close Public Hearing
  - c. Adopt Ordinance 800-19
  
2. Discussion/ Action: To consider and act on a request to rezone from LR Local Retail/IH-20 Overlay District to PD/R3 Planned Development/Multi-Family Senior Living at Willow Park, 9.27 acres Wesley Franklin Survey, Abstract No. 468, McKinney & Williams Survey, Abstract No. 954, City of Willow Park, Parker County, Texas, located on the Northwest corner of Mary Lou Drive and J.D. Towles Drive.
  - a. Open Public Hearing
  - b. Close Public Hearing
  - c. Adopt Ordinance 801-19
  
3. Discussion/ Action: To consider and act on Site Plan for a senior living complex, 9.27 acres Wesley Franklin Survey, Abstract No. 468, McKinney & Williams Survey, Abstract No. 954, City of Willow Park, Parker County, Texas, located on the Northwest corner of Mary Lou Drive and J.D. Towles Drive.



4. Discussion/ Action: To consider and act on appointing 2 additional citizen members and up to 4 alternates to serve in the absence of one or more members, to the Building and Standards Board for two-year terms.
5. Discussion/ Action: To consider and act on adoption of Parks Master Plan
6. Discussion/ Action: To consider and act on City Holiday Schedule for FY 2019-2020.
7. Discussion/ Action: To consider and act on a Resolution to adopt an Official Newspaper for the FY 2019-2020.
8. Discussion/ Action: To consider and take action on accepting and awarding the bid for the Outdoor Warning siren system.
9. Discussion/ Action: To consider and act on renewing our membership to Tex-21, a regional transportation organization promoting transportation projects in Texas.

### **Executive Session**

**§ 551.071. Texas Government Code. Consultation with Attorney.** The City Council may convene in executive session to conduct a private consultation with its attorney on any legally posted agenda item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, including the following items:

- A. § 551.071 consultation with attorney: Claim made by Henri and Stacey Laborde
- B. § 551.072 Deliberation regarding real property: Acquisition of property for Fort Worth Water Project
- C. Any Posted item

Following Executive Session, the City Council will reconvene into Regular Session and may take any action deemed necessary as a result of the Executive Session, including, without limitation:

## **Regular Agenda Items**

10. Discussion/ Action: To consider and act on a settlement agreement with Henri and Stacey Laborde.

## **Informational**

A. Mayor & Council Member Comments

B. City Manager's Comments

## **Adjournment**

I certify that the above notice of this meeting posted on the bulletin board at the municipal complex of the City of Willow Park, Texas on or before October 4, 2019, at 5:00 p.m.

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Alicia Smith TRMC, CMC  
City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (817) 441-7108 ext. 6 or email at [asmith@willowpark.org](mailto:asmith@willowpark.org), at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

This public notice was removed from the official posting board at the Willow Park City Hall on the following date and time:

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By: \_\_\_\_\_  
City Secretary's Office  
City of Willow Park, Texas



**City of Willow Park  
Regular Meeting Minutes  
Municipal Complex  
516 Ranch House Rd, Willow Park, TX 76087  
Tuesday, September 24, 2019 at 7:00 p.m.**

**Call to Order**

Mayor ProTem Lea Young called the meeting to order at 7:00 PM.

Present:

Mayor ProTem Lea Young  
Councilmember Eric Contreras  
Councilmember Amy Fennell  
Councilmember Greg Runnebaum  
Councilmember Gary McKaughan

Absent:

Mayor Doyle Moss

Staff present:

City Administrator Bryan Grimes  
City Secretary Alicia Smith

**Invocation & Pledge of Allegiance**

Mayor ProTem Lea Young asked everyone to observe a moment of silence.

Councilmember Contreras led the pledge of allegiance.

**Public Comments**

None

**Consent Agenda**

**A. Approve City Council Meeting Minutes –September 10, 2019, Public Hearing and Regular Meeting minutes and September 17 Public Hearing minutes.**

Motion made by Councilmember Runnebaum

To approve the meeting minutes for the September 10, 2019, Public Hearing and Regular Meeting and the September 17, 2019, Public Hearing.

Seconded by Councilmember Contreras

Aye votes: Councilmembers Contreras, Fennell, Runnebaum, Young and McKaughan.

Motion passed with a vote of 5-0.

**Public Hearing**

**A. A Public Hearing for the FY 2019-2020 budget**

**a. Open Public Hearing**

**b. Close Public Hearing**

Public Hearing was opened at 7:01 PM

Citizens who spoke:

Val Vierling, 119 Breeders Dr, Willow Park

Public hearing was closed at 7:02PM

**Regular Agenda Items**

**1. Discussion/ Action: To consider and act on adopting Ordinance 798-19, an ordinance providing for the adoption of the City of Willow Park Municipal budget for Fiscal Year 2019-2020.**

Motion made by Councilmember McKaughan

To approve the ordinance adopting the Fiscal Year 2019-2020 budget.

Seconded by Councilmember Contreras

A record vote followed:

Councilmember Contreras – Aye

Councilmember Fennell – Aye

Councilmember Runnebaum – Aye

Councilmember Young – Aye  
Councilmember McKaughan - Aye  
Motion passed with a vote of 5-0.

Motion made by Councilmember Young  
To ratify the property tax increase of 6.2% reflected in the budget.  
Seconded by Councilmember Runnebaum

A record vote followed:

Councilmember Contreras – Aye  
Councilmember Fennell – Aye  
Councilmember Runnebaum – Aye  
Councilmember Young – Aye  
Councilmember McKaughan - Aye  
Motion passed with a vote of 5-0.

- 2. Discussion/ Action: To consider and act on adopting Ordinance 799-19, an ordinance adopting an Ad Valorem Tax Rate and levy on assessed property not to exceed \$0.5367 per \$100 valuation for tax year 2019 for the City of Willow Park, Texas including a Levy for Debt obligations (\$0.2449) and a levy for Maintenance and Operations ( \$0.2918) consistent with the Fiscal Year 2019-2020 Municipal Budget.**

Motion made by Councilmember Young

To adopt the ordinance that adopts the property tax rate be increased by the adoption of a tax rate of \$0.5367, which is effectively a 6.2 percent increase in the tax rate.

Seconded by McKaughan

A record vote followed:

Councilmember Contreras – Aye  
Councilmember Fennell – Aye  
Councilmember Runnebaum – Aye  
Councilmember Young – Aye

Councilmember McKaughan - Aye

Motion passed with a vote of 5-0.

- 3. Discussion/ Action: To consider and act on appointing 5 citizen members and up to 4 alternates to serve in the absence of one or more members, to the Building and Standards Board for two-year terms.**

Motion made by councilmember Fennell

To appoint Valda Vierling, Marvin Glasgow and Jerry Miller to the Building Standards Board.

Seconded by Councilmember Contreras

Aye votes: Councilmembers Contreras, Fennell, Runnebaum, Young and McKaughan.

Motion passed with a vote of 5-0.

- 4. Discussion/ Action: To consider and act on awarding a proposal for Employee Health benefits.**

Motion made by Councilmember Fennell

To approve the proposal from the Tommy Morris agency to provide employee benefits.

Seconded by Councilmember Runnebaum

Aye votes: Councilmembers Contreras, Fennell, Runnebaum, Young and McKaughan

Motion passed with a vote of 5-0.

- 5. Discussion/ Action: To consider and act on adopting Resolution 2019-08, a resolution to approve the use of HART Intercivic Verity, version 2.3.1, for use by Parker County Elections Administration in Absentee Voting by Mail, Early Voting By Personal Appearance, Regular Voting on Election Day and Provisional Voting.**

Motion made by Councilmember

To adopt Resolution 2019-08, a resolution to approve the use of HART Intercivic Verity, version 2.3.1, for use by Parker County Elections Administration in Absentee Voting by Mail, Early Voting By Personal Appearance, Regular Voting on Election Day and Provisional Voting.

Seconded by Councilmember Runnebaum

Aye votes: Councilmembers Contreras, Fennell, Runnebaum, Young and McKaughan.

Motion passed with a vote of 5-0.

**6. Discussion/ Action: To consider and act on a 1-year renewal contract with STW, INC to continue to provide software services for financial, payroll, and utility billing management.**

Motion made by Councilmember Runnebaum

To approve a 1-year contract renewal with STW to continue to provide software services for financial, payroll, and utility billing management.

Seconded by Councilmember McKaughan

Aye votes: Councilmembers Contreras, Fennell, Runnebaum, Young and McKaughan.

Motion passed with a vote of 5-0.

**Adjournment**

At 7:31 PM Mayor ProTem Young adjourned the meeting.

APPROVED:

\_\_\_\_\_  
Doyle Moss, Mayor

ATTEST:

\_\_\_\_\_  
Alicia Smith, City Secretary



## P&Z AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> October 8, 2019	<b>Department:</b> Development Services	<b>Presented By:</b> Betty Chew
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### AGENDA ITEM: 1

Consider and act on a request to rezone from R-1 Single-Family District and AG Agricultural District to R1/PD Single-Family/Planned Development District Willow Park Baptist Church. Lot 1, 2, Block 1, Willow Park Baptist Addition located on the Northwest corner of Crown Pointe Blvd. and J.D. Towles Drive.

### BACKGROUND:

Willow Park Baptist Church is submitting this PD for development of their Church campus on 35.83 acres of land located on the northwest corner of Crown Pointe Blvd. and J.D. Towles Drive. A concept plan was reviewed by the Planning and Zoning Commission and City Council in September, 2018.

The property is located in Planning Area 3, as identified in the City's Comprehensive Plan. Planning Area 3 is situated along Interstate 20 with the Medical facilities on the western side. This property is identified as "Town Center", on the Future Land Use Plan. The church and gymnasium will complement and enhance the area.

The 35.83 acres property was platted into 2 lots. (Willow Park Baptist Addition August 20, 2019)

Lot 1, Block 1 - 16.56 acres, 64,000 square foot gymnasium.

The gymnasium will front on J.D. Towles Drive with alternate access on Crown Pointe Blvd.

Lot 2, Block 1 – 17.12 acres, 86,130 square foot church (1,500 seat) auditorium.

The church will front on Crown Pointe Blvd. The 2 story 1,500 seat auditorium will be located in the building with classroom and church offices.

The development will be accessed from Crown Pointe Blvd. (80' R.O.W.) J.D. Towles Drive (60' R.O.W.) and Mary Lou Drive (60' R.O.W.). There are 26 foot fire lanes provided around the perimeter of both buildings. There will be 864 parking spaces provided at this time. An additional 106 future parking spaces are showing on the southwest corner of Crown Pointe Blvd and Crown Road. Sidewalks will be installed along Crown Pointe Blvd and J.D. Towles Drive. A mutual access and shared parking easement is granted as a covenant of the plat.

All infrastructure water, sanitary sewer, fire hydrants and stormwater drainage improvements will meet City of Willow Park Design Standards.

Property owners were notified by mail and Notice of Public Hearing was published and posted.

### STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff supports a recommendation for approval of the PD Planned Development District Zoning.

The Planning and Zoning Commission voted 4-0 to rezone the property to PD/R1 Single Family/Planned Development District Willow Park Baptist Church.

10/1/2019



If the City Council concurs with the Commission recommendation you will need to adopt Ordinance No. 800.19.

**EXHIBITS:**

Zoning Application  
Site Plan  
Elevation Drawings (12)  
Landscape Plan (3)  
Planned Development Regulations  
Zoning Map  
Future Land Use Map  
Ordinance 800-19

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A



City of Willow Park  
516 Ranch House Road  
Willow Park, Texas 76087  
Phone: (817) 441-7108 · Fax: (817) 441-6900

### ZONING CHANGE REQUIREMENTS

Name of Applicant: BARRON-STARK ENGINEERS, LP, BY: CHUCK STARK

Mailing Address: 6221 SOUTHWEST BLVD, #100, FORT WORTH, TX 76132  
Street City State Zip

Phone: 817-296-9550 Fax: 817-231-8144 Email: chucks@barronstark.com

Property Owner: Willow Park Baptist Church

Mailing Address: 129 S. Ranch House Rd, Willow Park, Texas 76008  
Street City State Zip

Phone: 817-441-1596 Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Location of property requesting to be re-zoned: IH20 WEST BOUND SERVICE RD AT MARY LOU DR

Intended Use of property: PROPOSED USE IN ACCORDANCE WITH 'PD R-1' ZONING

Current Zoning District: R-1 SINGLE FAMILY AND AG AGRICULTURE

Requested Zoning District: PD R-1

Specific reason for zoning request: PD ZONING REQUEST TO ADJUST MAXIMUM BUILDING HEIGHT FOR CHURCH CONSTRUCTION

XXXXXXXXXXXXXXXXXXXX  
FEES: \$150 (Residential)

\$150 (Non-Residential)

Additional fees (if applicable): \$270.00

Additional fees (if applicable): NA

Any reasonable fees and/or costs which are required by the City of Willow Park for a proper review of this request are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building/property inspections and/or testing(s).

SIGNATURE OF OWNER

AUTHORIZED AGENT

8/26/19

DATE

SIGNATURE OF APPLICANT

DATE

If the property owner is represented by another, a notarized letter of authorization must be submitted.

Rec'd 8/27/2019  
[Handwritten signature]

This checklist is provided to assist you in addressing the requirements for a Zoning Change request. An application is incomplete unless all applicable information noted below is submitted to the City of Willow Park Building Official. Please indicate that all information is included on the application by initialing in the box to the left of the required information. Checking the box certifies to the City that you have completely and accurately addressed the issue. If not applicable, indicate with "N/A" next in the box. Return this completed form at the time of your application submittal.

Applicant: Please complete the following

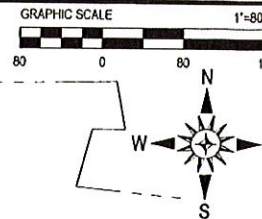
For Office Use Only

ITEM	INITIAL	ZONING CHANGE REQUIREMENTS	For Office Use Only		
			N/A	COMPLETE	MISSING
1	CS	Site boundary is indicated by a heavy solid line, dimensioned with bearings and distances, and distance to the nearest cross street.		<input checked="" type="checkbox"/>	
2	CS	Site location/vicinity map clearly showing the location of the subject		<input checked="" type="checkbox"/>	
3	CS	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		<input checked="" type="checkbox"/>	
4	CS	A written and bar scale is provided. 1"= 200' unless previously approved by staff		<input checked="" type="checkbox"/>	
5	CS	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.	<input checked="" type="checkbox"/>		
6	CS	Adjacent property lines within 200 feet of the subject property.		<input checked="" type="checkbox"/>	
7	CS	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		<input checked="" type="checkbox"/>	
8	CS	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		<input checked="" type="checkbox"/>	
9	CS	Does the request conform to the proposed future land use in the city's Comprehensive Plan		<input checked="" type="checkbox"/>	



J ROGER WILLIAMS  
VOL 1459 PG 1326  
D.R.P.C.T.

PATRICIA G CHENAULT  
VOL 1585 PG 348  
D.R.P.C.T.



SITE PLAN DATA TABLE	
TOTAL ACREAGE	35.816 Acres
BUILDING FOOTPRINTS	150,130 SF - 3.44 Acres
CONCRETE PARKING	440,660 SF - 10.11 Acres
CONCRETE / SIDEWALKS	52,200 SF - 1.20 Acres
PERCENT IMPERVIOUS	41.2%
OPEN SPACE	58.8%
F.A.R.	.10
PARKING REQUIRED	CHURCH: 1 SPACE / 3 SEATS 1500 SEATS - REQ. 500 SPACES  ASSEMBLY: 1 SPACE / 100 SQUARE FEET. 64,000 SQ. FT. REQ. 640 SPACES TOTAL REQ. PARKING EITHER 500 OR 640, THERE WILL NOT BE 2 BLDG EVENTS ON THE SAME DAY.
TOTAL PARKING PROVIDED	854 PARKING SPACES - (105 FUTURE SPACES) 970 TOTAL ULTIMATE
ADA PARKING PROVIDED	31
EXISTING ZONING	SINGLE FAMILY
PROPOSED USE	CHURCH
PROPOSED STRUCTURES	1 - 2 STORY AUDITORIUM 1 - 2 STORY GYMNASIUM



#### APPROVED BY CITY OF WILLOW PARK

APPROVED BY: CITY COUNCIL  
CITY OF WILLOW PARK  
SIGNED: MAYOR DATE  
SIGNED: CITY ADMINISTRATOR DATE

#### SYMBOLS LEGEND

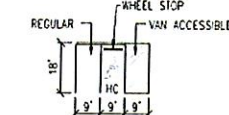
- SANITARY SEWER MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊗ ONCOR VAULT
- ⊗ WATER METER
- ⊗ AT&T VAULT
- ⊗ ONCOR VAULT
- ⊗ MAIL BOX
- ⊗ ELECTRIC TRANSFORMER SITE
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ AIR CONDITIONER
- ⊗ GRATE INLET
- ⊗ PROTECTION BOLLARD
- ⊗ MAIL BOX
- ⊗ FLAG POLE
- ⊗ LIGHT POLE
- ⊗ LIGHT POLE
- ⊗ EXISTING WATER VALVE
- ⊗ FIRE DEPARTMENT CONNECTION
- ⊗ EXISTING POWER POLE
- ⊗ FIRE LANE

#### GENERAL NOTES:

- ALL HANDICAP PARKING SPACES SHALL MEET TAS/ADA REGULATIONS.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6" HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER. 9'x18' TYPICAL.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.

#### GENERAL PARKING NOTE:

- Created by this plat is a blanket mutual access and shared parking easement over Lots 1 and 2, Block 1, Willow Park Baptist Church Addition to the benefit of each lot. This mutual access and shared parking easement shall be a covenant running with the land and pass to all subsequent owners.



TYPICAL PARKING LAYOUT

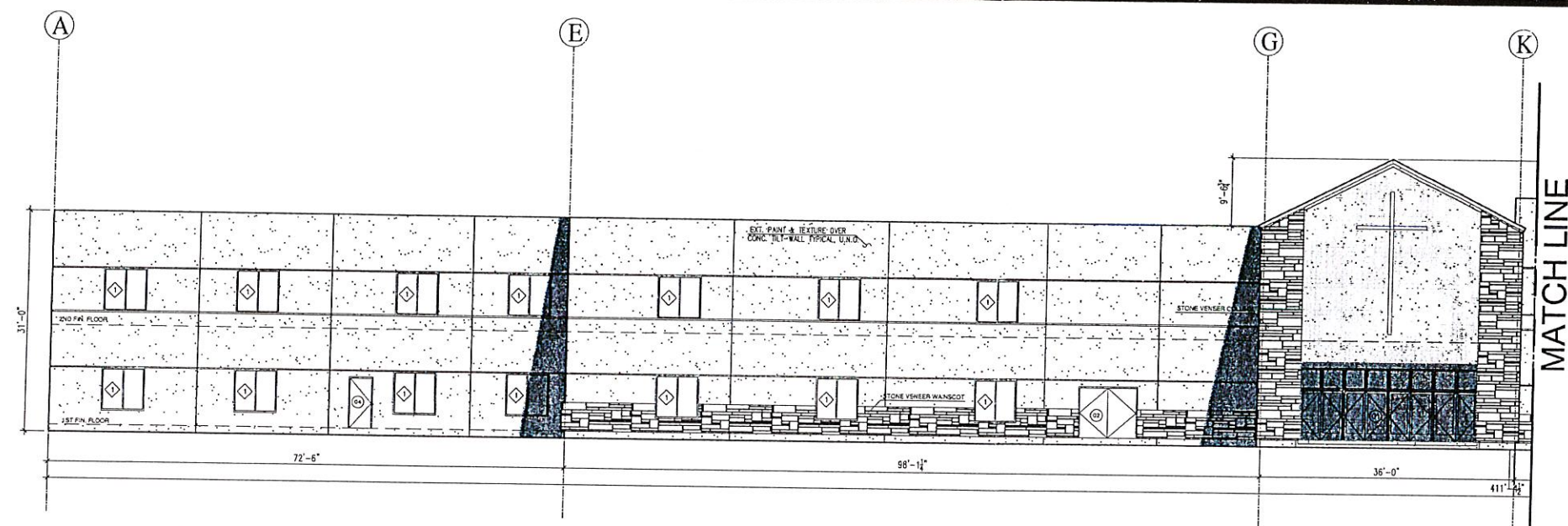
### SITE PLAN LOTS 1 and 2, BLOCK 1 WILLOW PARK BAPTIST ADDITION CITY OF WILLOW PARK PARKER COUNTY, TEXAS

CLIENT No. 245  
PROJECT No. 9481  
DESIGN: WHY/PWD  
DRAWN: WHY/PWD  
CHECKED: CFS  
DATE: JUNE 2019  
SHEET  
C2.0

**Barron-Stark**  
Engineers

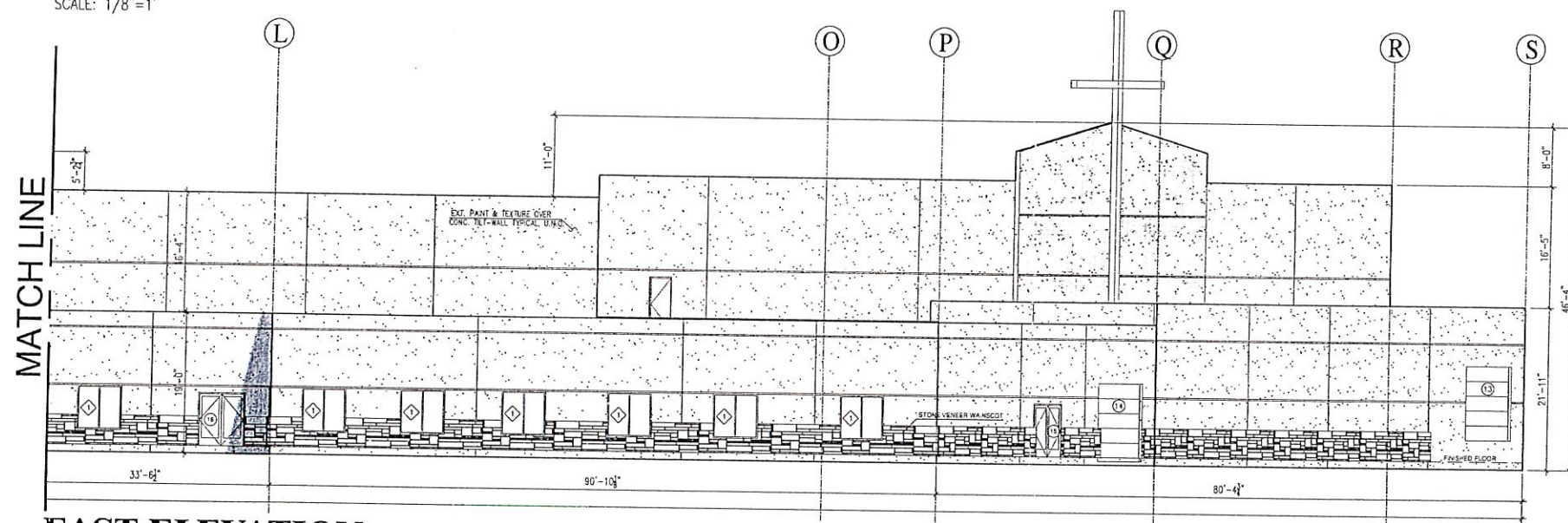






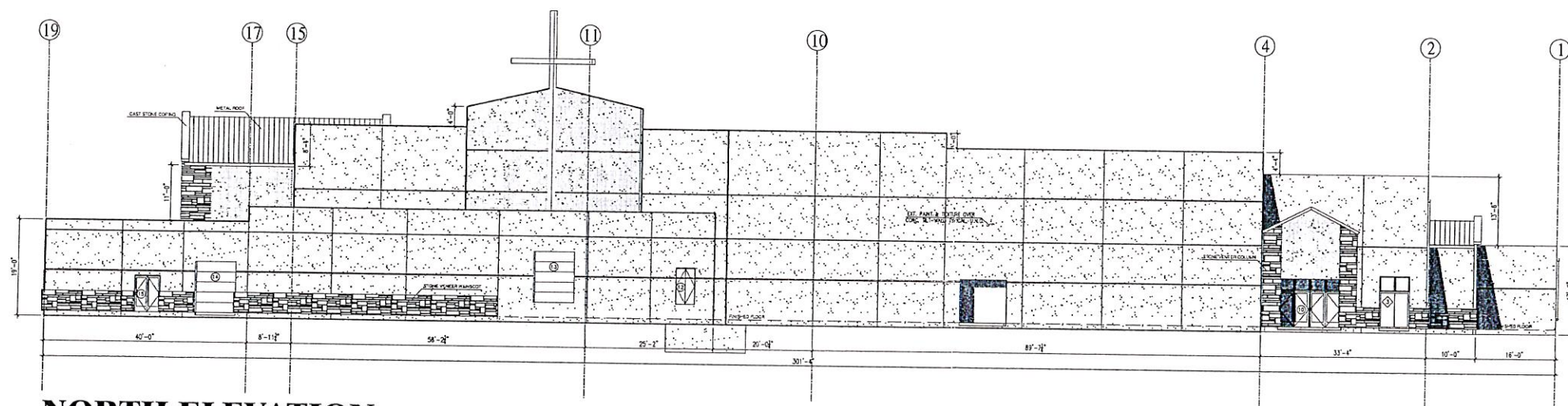
### EAST ELEVATION

SCALE: 1/8"=1'



### EAST ELEVATION

SCALE: 1/8"=1'



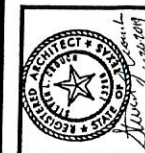
## NORTH ELEVATION

SCALE:  $3/32"=1'$

ELEVATIONS 1 OF 2

**Willow Park Baptist Church**  
140 Crown Lane  
1116,169 s.f. Church Sanctuary and Classrooms

REVISIONS



STEVEN L.  
CROUCH  
ARCHITECT  
ARCHITECT • PLANNING

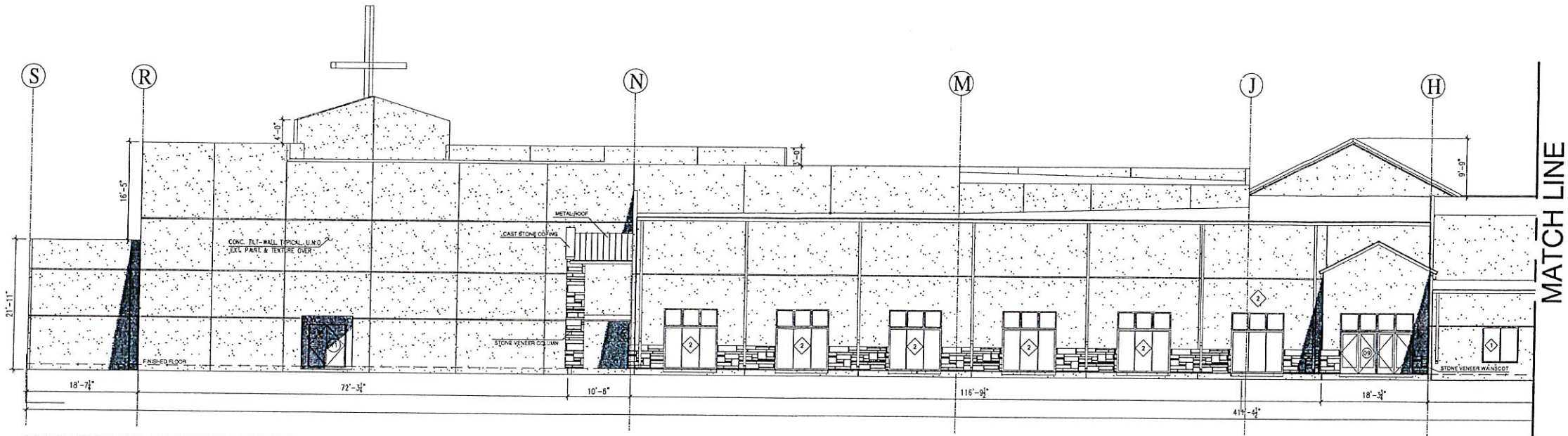
3712 FALCON DRIVE  
FORT WORTH, TEXAS  
76119  
817-360-7219

1829

JUNE 26, 2019

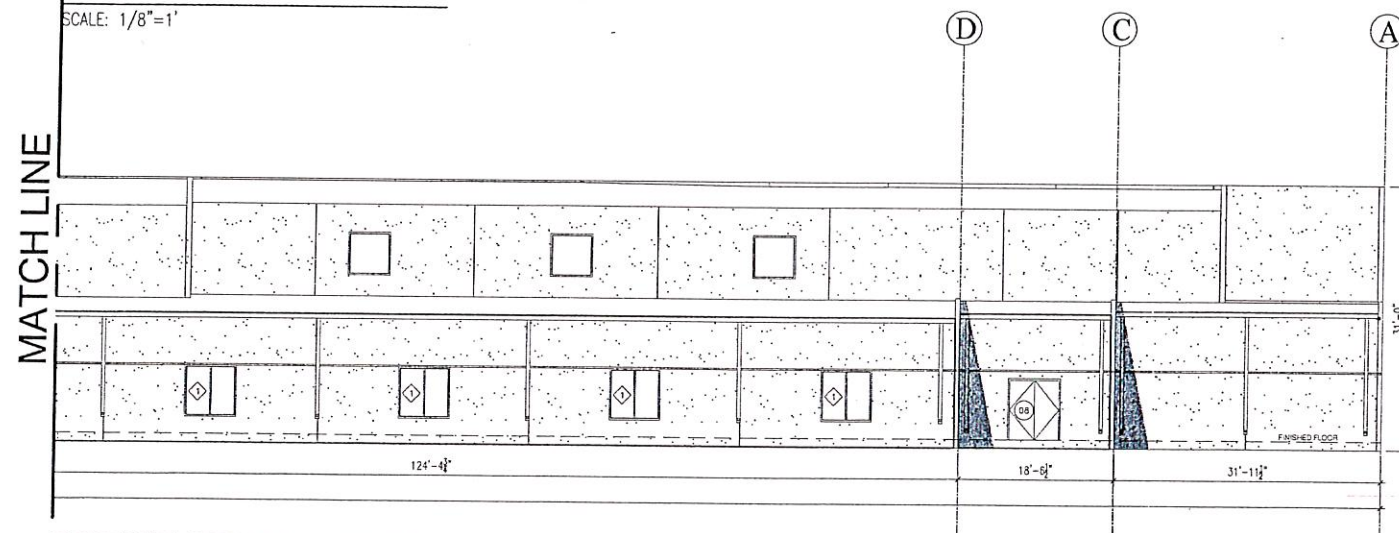
A301





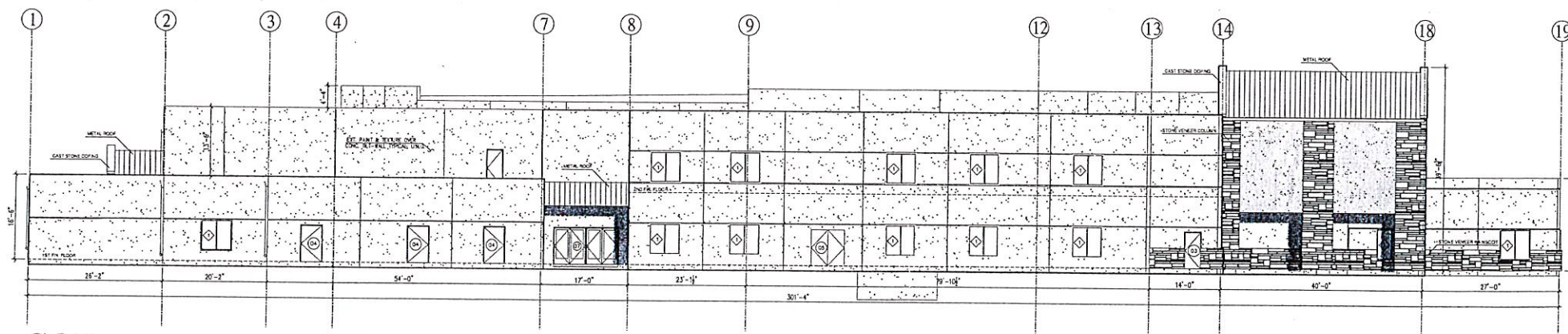
**WEST ELEVATION**

SCALE: 1/8"=1'



**WEST ELEVATION**

SCALE: 1/8"=1'



**SOUTH ELEVATION**

SCALE: 3/32"=1'

MATCH LINE

MATCH LINE

ELEVATIONS 2 OF 2

REVISIONS




**STEVEN L. CROUCH ARCHITECT**  
ARCHITECT • PLANNING  
3712 FALCON DRIVE  
FORT WORTH, TEXAS  
76119  
817-340-7719



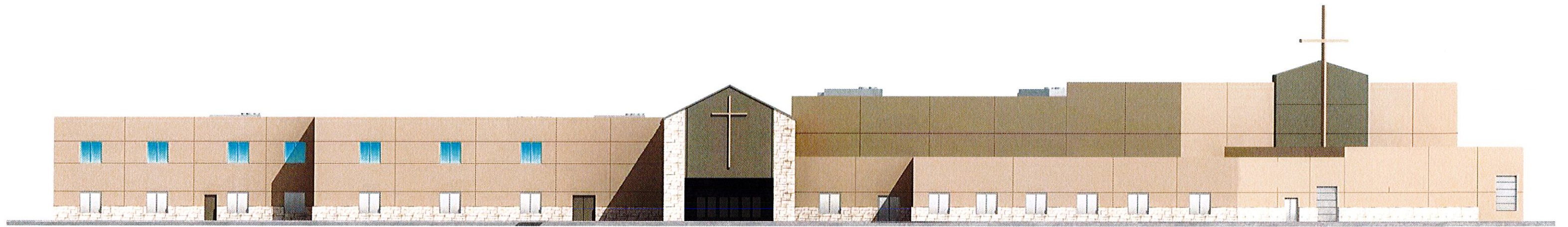
**Willow Park Baptist Church**  
140 Crown Lane  
116,169 s.f. Church Sanctuary and Classrooms

1825

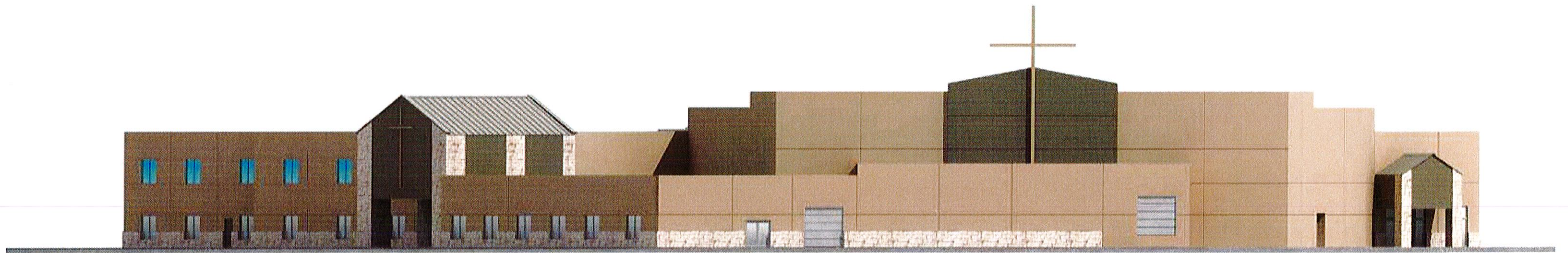
JUNE 26, 2019

A302





**EAST ELEVATION**  
**WILLOW PARK BAPTIST CHURCH OF TEXAS**

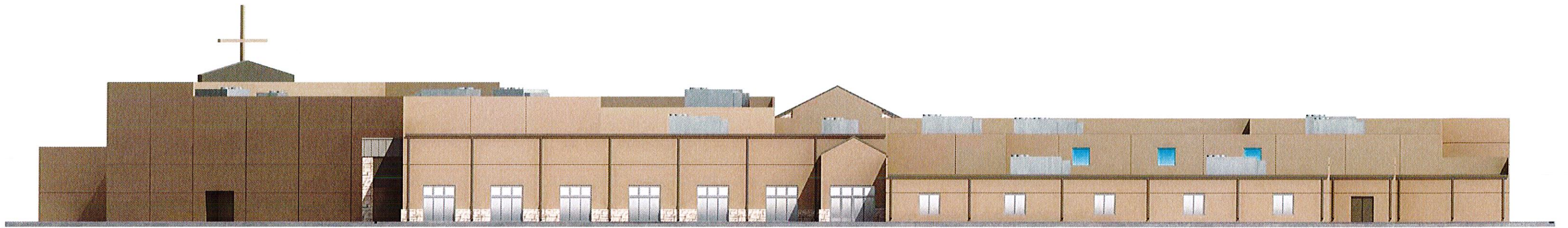


**NORTHEAST ELEVATION  
WILLOW PARK BAPTIST CHURCH OF TEXAS**



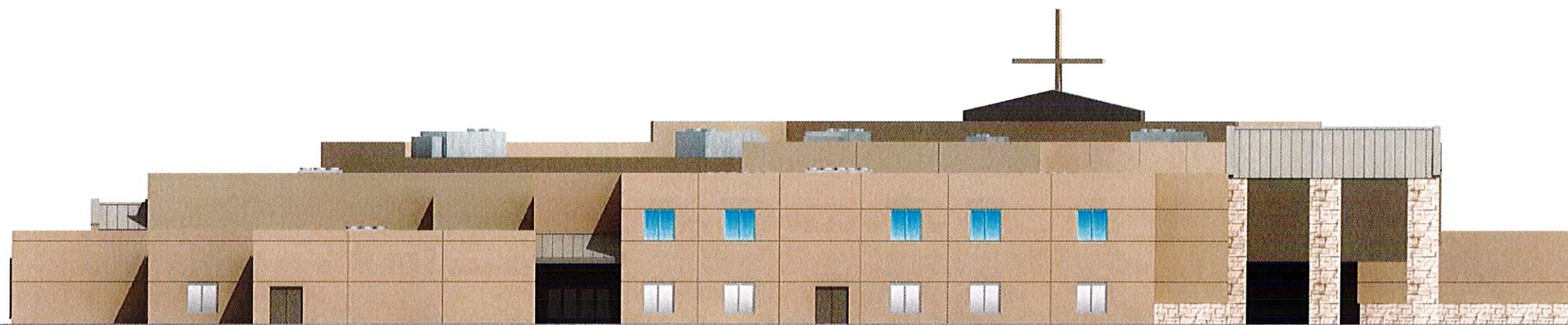


**NORTHWEST ELEVATION  
WILLOW PARK BAPTIST CHURCH OF TEXAS**

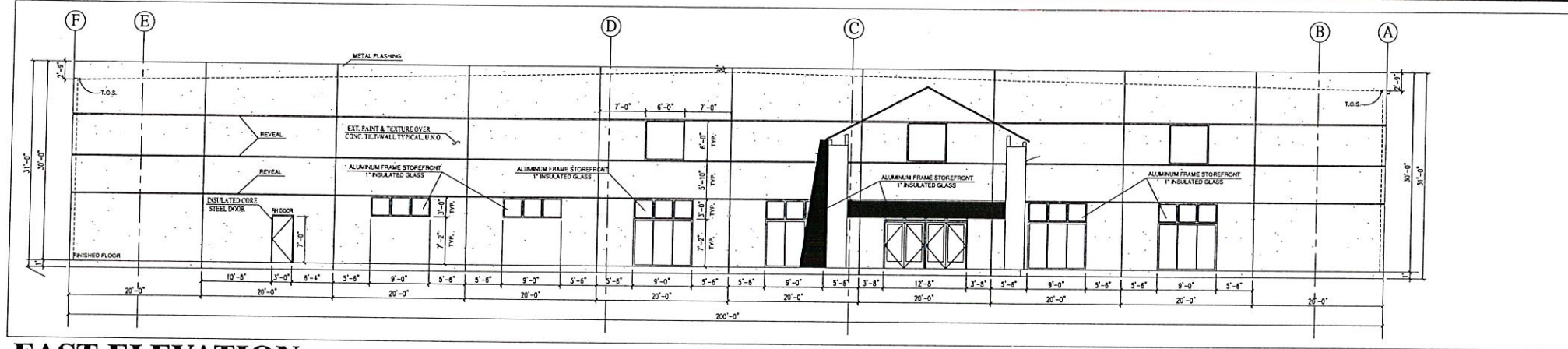


**WEST ELEVATION  
WILLOW PARK BAPTIST CHURCH OF TEXAS**



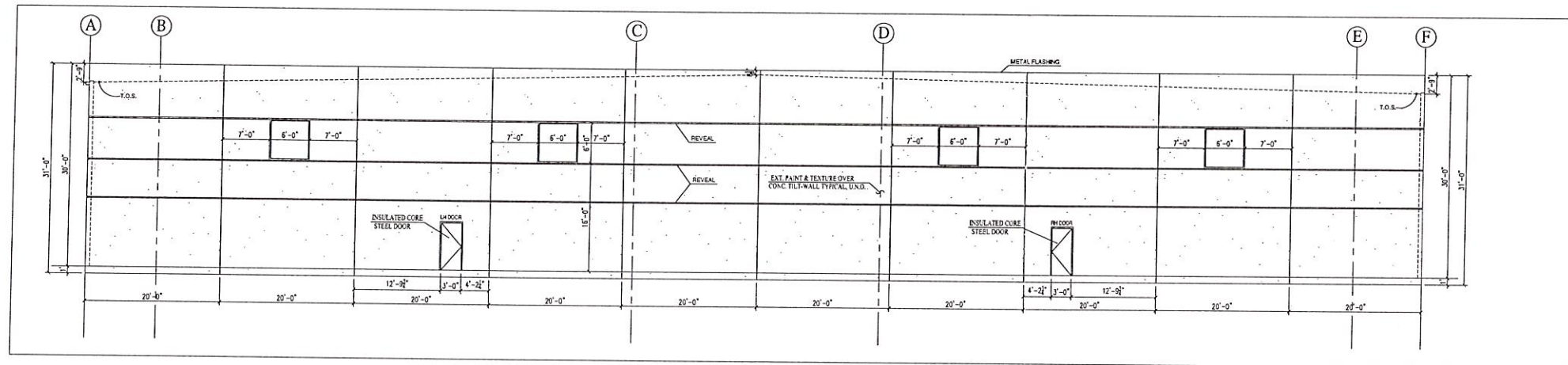


**SOUTH ELEVATION**  
**WILLOW PARK BAPTIST CHURCH OF TEXAS**



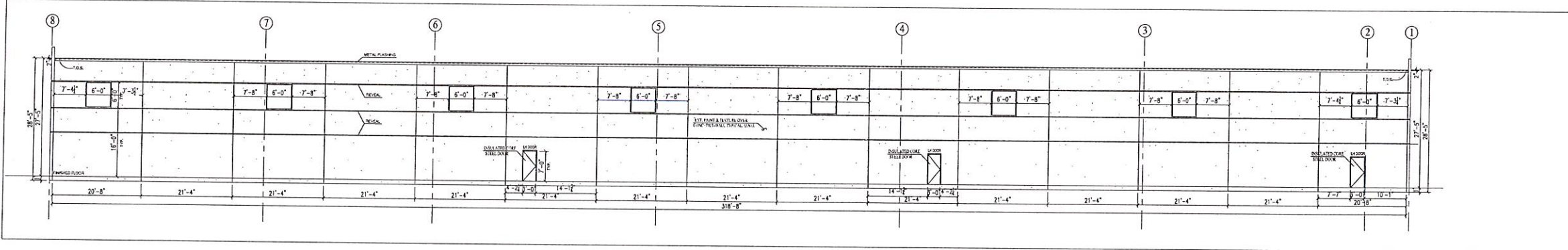
**EAST ELEVATION**

SCALE: 1/16"=1'



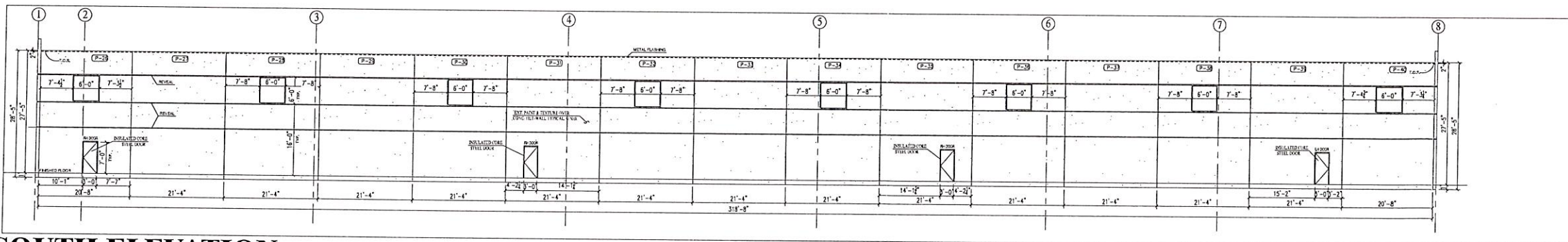
**WEST ELEVATION**

SCALE: 1/8"=1'



**NORTH ELEVATION**

SCALE: 3/32"=1'



**SOUTH ELEVATION**

SCALE: 3/32"=1'

REVISIONS

ARCHITECT'S SEAL

**STEVEN L. CROUCH**  
ARCHITECT • PLANNING  
3712 FALCON DRIVE  
FORT WORTH, TEXAS  
76119  
817-360-7719

ENGINEER'S SEAL

**Willow Park Baptist Church Gym**  
140 Crown Lane  
64,000 S.F.

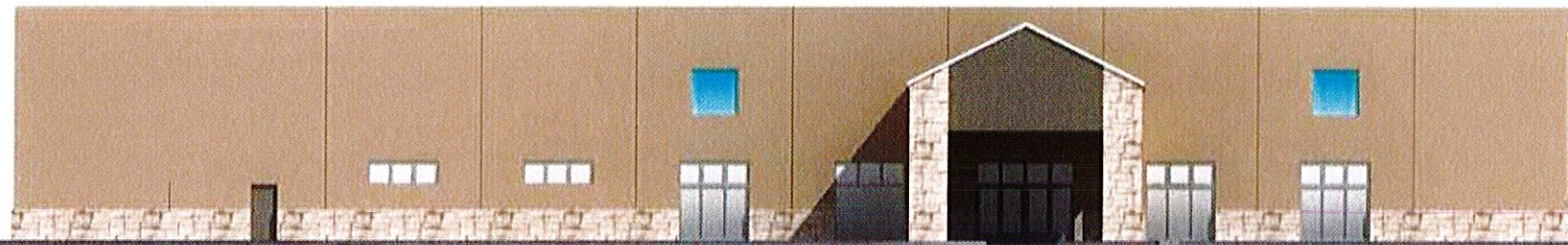
ELEVATIONS  
COPYRIGHT © 2019 - STEVEN L. CROUCH, ARCHITECT, ALL RIGHTS RESERVED

1830

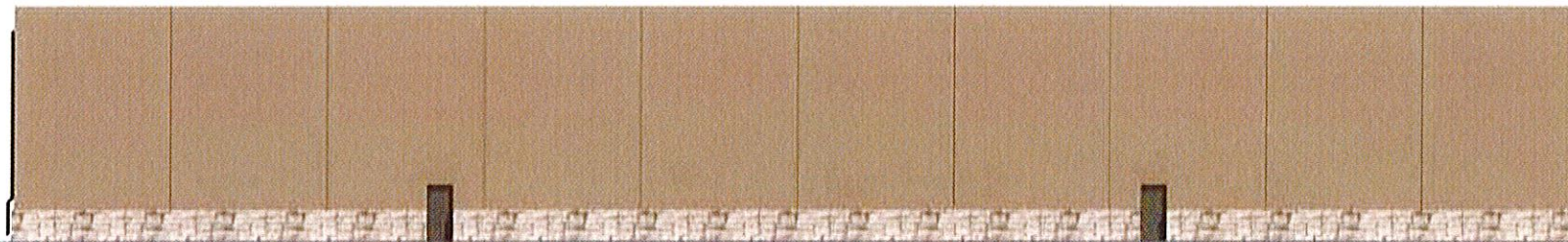
July 11, 2019

A103

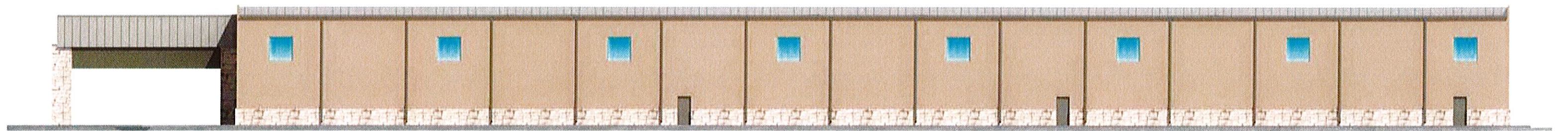




**GYM EAST ELEVATION  
WILLOW PARK BAPTIST CHURCH OF TEXAS**

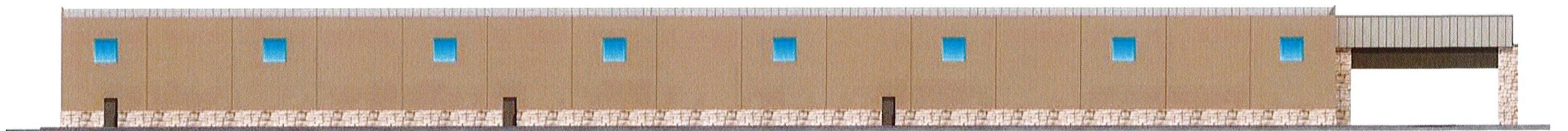


**GYM WEST ELEVATION  
WILLOW PARK BAPTIST CHURCH ADDITION**



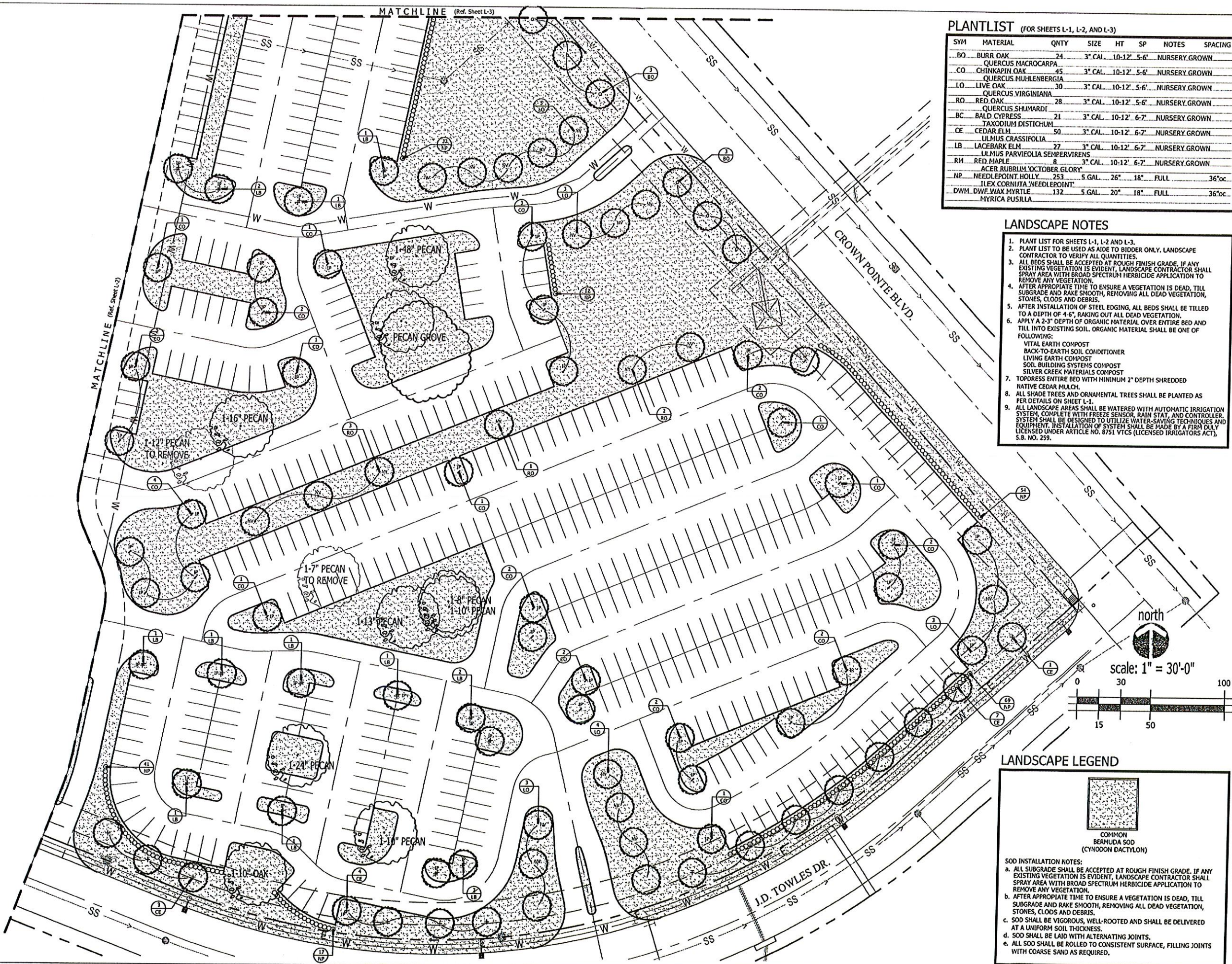
**GYM NORTH ELEVATION  
WILLOW PARK BAPTIST CHUCH OF TEXAS**





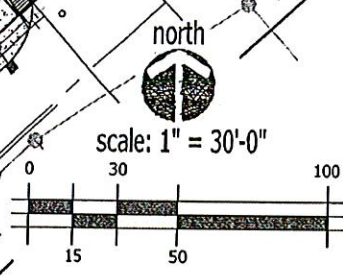
**GYM SOUTH ELEVATION  
WILLOW PARK BAPTIST CHURCH ADDITION**





PLANTLIST (FOR SHEETS L-1, L-2, AND L-3)						
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES
BO	BURR OAK	24	3" CAL.	10-12'	5-6'	NURSERY GROWN
CO	CHINKAPIN OAK	45	3" CAL.	10-12'	5-6'	NURSERY GROWN
LO	LIVE OAK	30	3" CAL.	10-12'	5-6'	NURSERY GROWN
RO	RED OAK	28	3" CAL.	10-12'	5-6'	NURSERY GROWN
BC	BALD CYPRESS	21	3" CAL.	10-12'	6-7'	NURSERY GROWN
CE	CEDAR ELM	50	3" CAL.	10-12'	6-7'	NURSERY GROWN
LB	LACEBARK ELM	27	3" CAL.	10-12'	6-7'	NURSERY GROWN
RM	RED MAPLE	8	3" CAL.	10-12'	6-7'	NURSERY GROWN
NP	NEEDLEPOINT HOLLY	253	5 GAL.	26"	18"	FULL
DWM	DWARF WAX MYRTLE	132	5 GAL.	20"	18"	FULL
	MYRTICA PUSILLA					

- LANDSCAPE NOTES**
1. PLANT LIST FOR SHEETS L-1, L-2 AND L-3.
  2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
  3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
  4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
  5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
  6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:  
VITAL EARTH COMPOST  
BACK-TO-EARTH SOIL CONDITIONER  
LIVING EARTH COMPOST  
SOIL BUILDING SYSTEMS COMPOST  
SILVER CREEK MATERIALS COMPOST
  7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
  8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON SHEET L-1.
  9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.



**LANDSCAPE LEGEND**



COMMON  
BERMUDA SOD  
(CYNODON DACTYLON)

**SOD INSTALLATION NOTES:**

- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

appr. by:  
drawn by:  
date: 12-12-18

revisions



Learning  
Design Group  
Landscape Architecture  
4913 Bull Creek Drive, Suite 100-A North Richland Hills, Texas 76180  
(817) 271-1000 Fax (817) 271-0006

LANDSCAPE PLAN

**WILLOW PARK BAPTIST CHURCH**  
CROWN POINTE BLVD. @ J.D. TOWLES DR.  
WILLOW PARK, TEXAS

file name:  
c:\willow Park Baptist\jkg-base\_V050c.dwg

sheet  
**L-1**



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

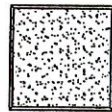
EXISTING NATIVE SOIL BACKFILL ONLY  
SHREDDED CEDAR MULCH AS SPECIFIED  
TAPER FROM 1 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE  
MODEL 65BG-NS BELOW-GRADE  
TREE STAKING AS MFG. BY  
"TREE STAKE SOLUTIONS"  
(www.treestakesolutions.com)

## TREE PLANTING

SHADE TREE - 3" CAL. and smaller  
not to scale

## LANDSCAPE LEGEND



COMMON  
BERMUDA SOD  
(CYNODON DACTYLON)

### SOD INSTALLATION NOTES:

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MATCHLINE (Ref. Sheet L-3)

MATCHLINE (Ref. Sheet L-1)

## LANDSCAPE PLAN

WILLOW PARK BAPTIST CHURCH  
CROWN POINTE BLVD. @ J.D. TOWLES DR.  
WILLOW PARK, TEXAS

file name:  
c:\willow Park Baptist kyp-base\_V08C.dwg

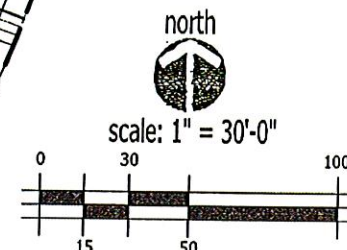
sheet  
L-2

appr. by:  
drawn by:  
date: 12-12-18

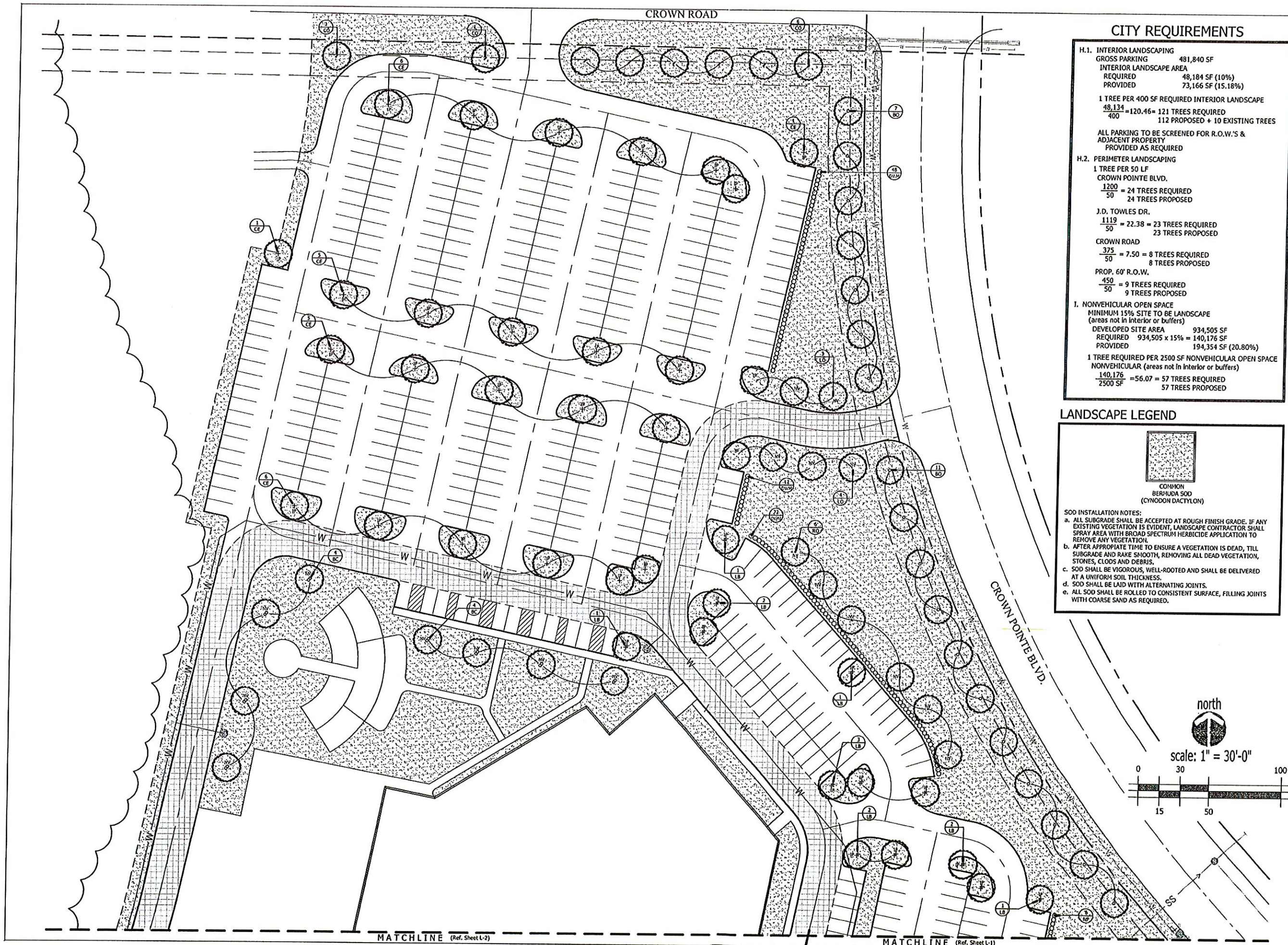
## revisions



Leeming  
Design Group  
Landscape Architecture  
4911 Bland Shaw Drive, Suite 100-10  
North Richland Hills, Texas 76180  
(817) 571-1100 Fax (817) 571-1101







# CITY REQUIREMENTS

H.1. INTERIOR LANDSCAPING  
 GROSS PARKING 481,840 SF  
 INTERIOR LANDSCAPE AREA  
 REQUIRED 48,184 SF (10%)  
 PROVIDED 73,166 SF (15.18%)  
 1 TREE PER 400 SF REQUIRED INTERIOR LANDSCAPE  
 $\frac{48,184}{400} = 120.46 = 121$  TREES REQUIRED  
 112 PROPOSED + 10 EXISTING TREES

ALL PARKING TO BE SCREENED FOR R.O.W.'S & ADJACENT PROPERTY PROVIDED AS REQUIRED

H.2. PERIMETER LANDSCAPING  
 1 TREE PER 50 LF  
 CROWN POINTE BLVD.  
 $\frac{1200}{50} = 24$  TREES REQUIRED  
 24 TREES PROPOSED

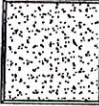
J.D. TOWLES DR.  
 $\frac{1119}{50} = 22.38 = 23$  TREES REQUIRED  
 23 TREES PROPOSED

CROWN ROAD  
 $\frac{375}{50} = 7.50 = 8$  TREES REQUIRED  
 8 TREES PROPOSED

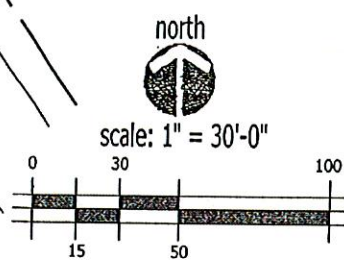
PROP. 60' R.O.W.  
 $\frac{450}{50} = 9$  TREES REQUIRED  
 9 TREES PROPOSED

I. NONVEHICULAR OPEN SPACE  
 MINIMUM 15% SITE TO BE LANDSCAPE (areas not in interior or buffers)  
 DEVELOPED SITE AREA 934,505 SF  
 REQUIRED  $934,505 \times 15\% = 140,176$  SF  
 PROVIDED 194,354 SF (20.80%)  
 1 TREE REQUIRED PER 2500 SF NONVEHICULAR OPEN SPACE  
 NONVEHICULAR (areas not in interior or buffers)  
 $\frac{140,176}{2500} = 56.07 = 57$  TREES REQUIRED  
 57 TREES PROPOSED

## LANDSCAPE LEGEND

  
 COMMON  
 BERMUDA SOD  
 (CYNODON DACTYLON)

SOD INSTALLATION NOTES:  
 a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.  
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appr. by:  
 drawn by:  
 date: 12-12-18

### revisions




Leeming  
 Design Group  
 Landscape Architecture  
 4913 Buck Shaw Drive, Suite 100-03 North Richland Hills, Texas 76180  
 (817) 577-0699 Fax (817) 577-0696  
 leemingdesigngroup@leemingdesign.com

### LANDSCAPE PLAN

WILLOW PARK BAPTIST CHURCH  
 CROWN POINTE BLVD. @ J.D. TOWLES DR.  
 WILLOW PARK, TEXAS

file name:  
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## PD DEVELOPMENT STANDARDS

### SECTION 2

#### 1.0 Base Zoning District

The underlying zoning district for this Planned Development shall be R-1 Single Family Residential. All development shall comply with the R-1 Single Family regulations unless specifically amended by this Planned Development Ordinance.

#### 2.0 Planned Development

**2.01 Permitted Uses:** In addition to the uses permitted by the Base Zoning District, uses as referenced below shall be permitted within the Planned Development District.

**Permitted Uses:**

Community Center – Private

Public & Private Recreation Facilities, including gymnasium

**Accessory Uses Allowed:**

Accessory buildings directly related to the permitted uses

Off-Street Parking

Prayer Gardens

Outdoor Baptistry Area

Amphitheatre

**2.02 Building Height:** The permitted height of any structures shall not exceed fifty feet (50') to the highest point of the roof structure. A cross integrally attached to the primary worship center structure shall not exceed sixty-five feet (65') in height.

**2.03 Garbage and Trash Collection:** The garbage and trash collection will be provided by a private collection service. All freestanding dumpsters shall be screened on all four sides with an opaque masonry enclosure measuring to a height at least six (6) inches above the top of the dumpster. The opaque masonry enclosure shall be constructed of material consistent with that of the building structures.

**2.04 Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.

**2.05 Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements. A maximum of four (4) monument signs will be permitted for the property, one at each of the four major public street intersections on the property perimeter. This provision

does not prohibit minor wayfaring signs to be installed at the various driveways and building entrances on the property.

### **SECTION 3 CUMULATIVE CLAUSE**

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs an sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

### **SECTION 4 PENALTY CLAUSE**

Any person, firm, association of persons, company, corporation, or their agents, servants, or employees violating or failing to comply with any of the provisions of this article shall be fined, upon conviction, not less than one dollar (\$1.00) nor more than two thousand dollars (\$2,000.00), and each day any violation of noncompliance continues shall constitute a separate and distinct offense. The penalty provided herein shall be cumulative of other remedies provided by State Law, and the power of injunction as provided in V.T.C.A Local Government Code 54.012 and as may be amended, may be exercised in enforcing this article whether or not there has been a complaint filed.



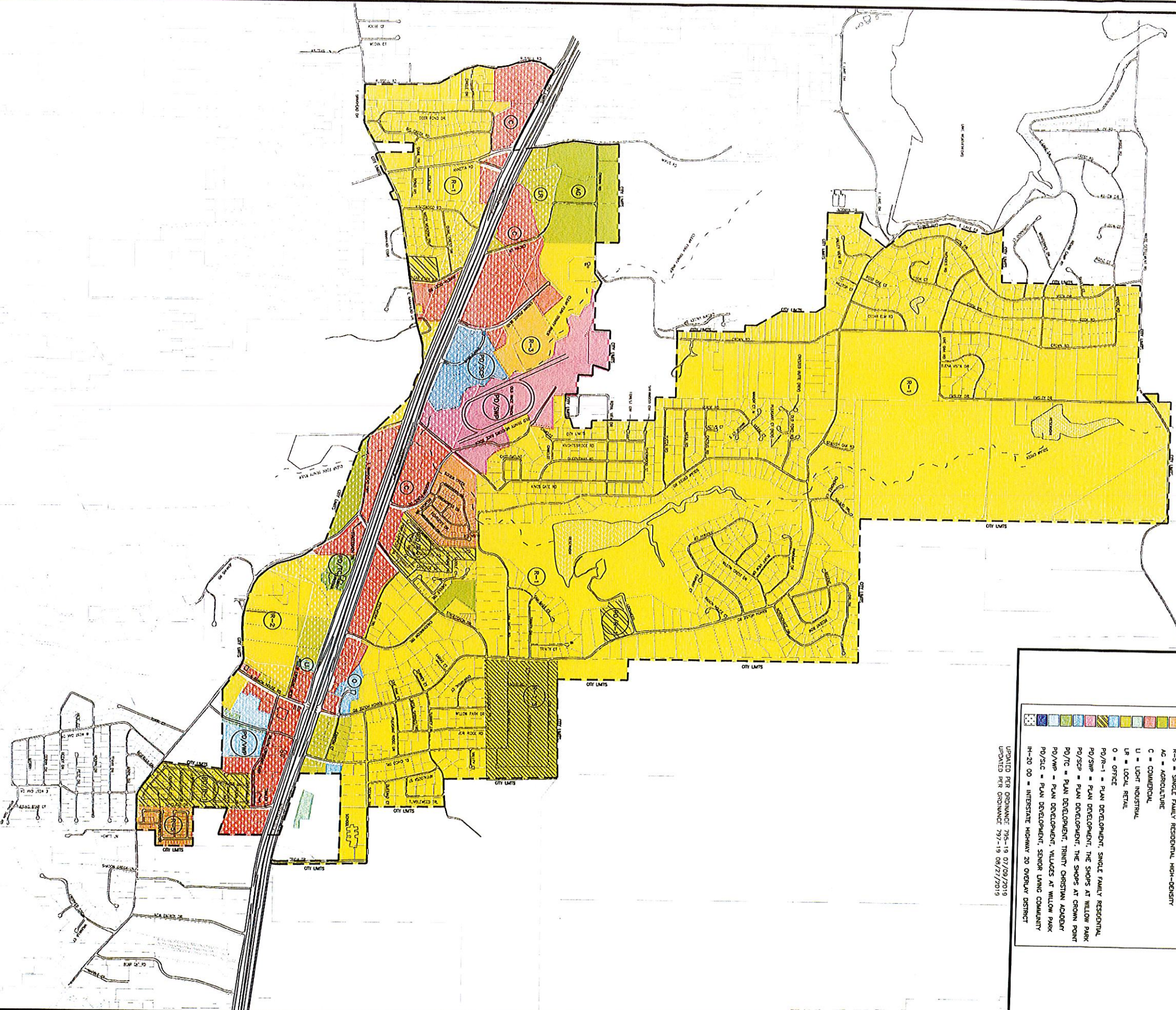
CITY OF WILLOW PARK  
ZONING MAP  
SEPTEMBER 2019

**JACOB MARTIN**  
2466 CLARY LANE  
DALLAS, TX 75286  
214-466-1070  
4608 SANTA FE DR, STE 200  
DALLAS, TX 75286  
972-444-0880  
[Firm Logo]  
1" = 1000'

ZONING DESCRIPTION LEGEND

[Yellow Box]	R-1 = SINGLE FAMILY RESIDENTIAL
[Yellow Box with Dots]	R-1/S = SINGLE FAMILY RESIDENTIAL W/ SEWER
[Yellow Box with Horizontal Lines]	R-2 = SINGLE FAMILY RESIDENTIAL DUPLEX
[Yellow Box with Vertical Lines]	R-3 = MULTI-FAMILY RESIDENTIAL
[Yellow Box with Diagonal Lines]	R-5 = SINGLE FAMILY RESIDENTIAL HIGH-DENSITY
[Red Box]	AC = AGRICULTURE
[Blue Box]	C = COMMERCIAL
[Green Box]	U = LIGHT INDUSTRIAL
[Orange Box]	LR = LOCAL RETAIL
[Pink Box]	O = OFFICE
[Purple Box]	PD/R-1 = PLAN DEVELOPMENT, SINGLE FAMILY RESIDENTIAL
[Purple Box]	PD/SWP = PLAN DEVELOPMENT, THE SHOPS AT WILLOW PARK
[Purple Box]	PD/SCP = PLAN DEVELOPMENT, THE SHOPS AT CROWN POINT
[Purple Box]	PD/TC = PLAN DEVELOPMENT, TRINITY CHRISTIAN ACADEMY
[Purple Box]	PD/WMP = PLAN DEVELOPMENT, VILLAGES AT WILLOW PARK
[Purple Box]	PD/SIC = PLAN DEVELOPMENT, SENIOR LIVING COMMUNITY
[Purple Box]	IH-20 00 = INTERSTATE HIGHWAY 20 OVERLAY DISTRICT

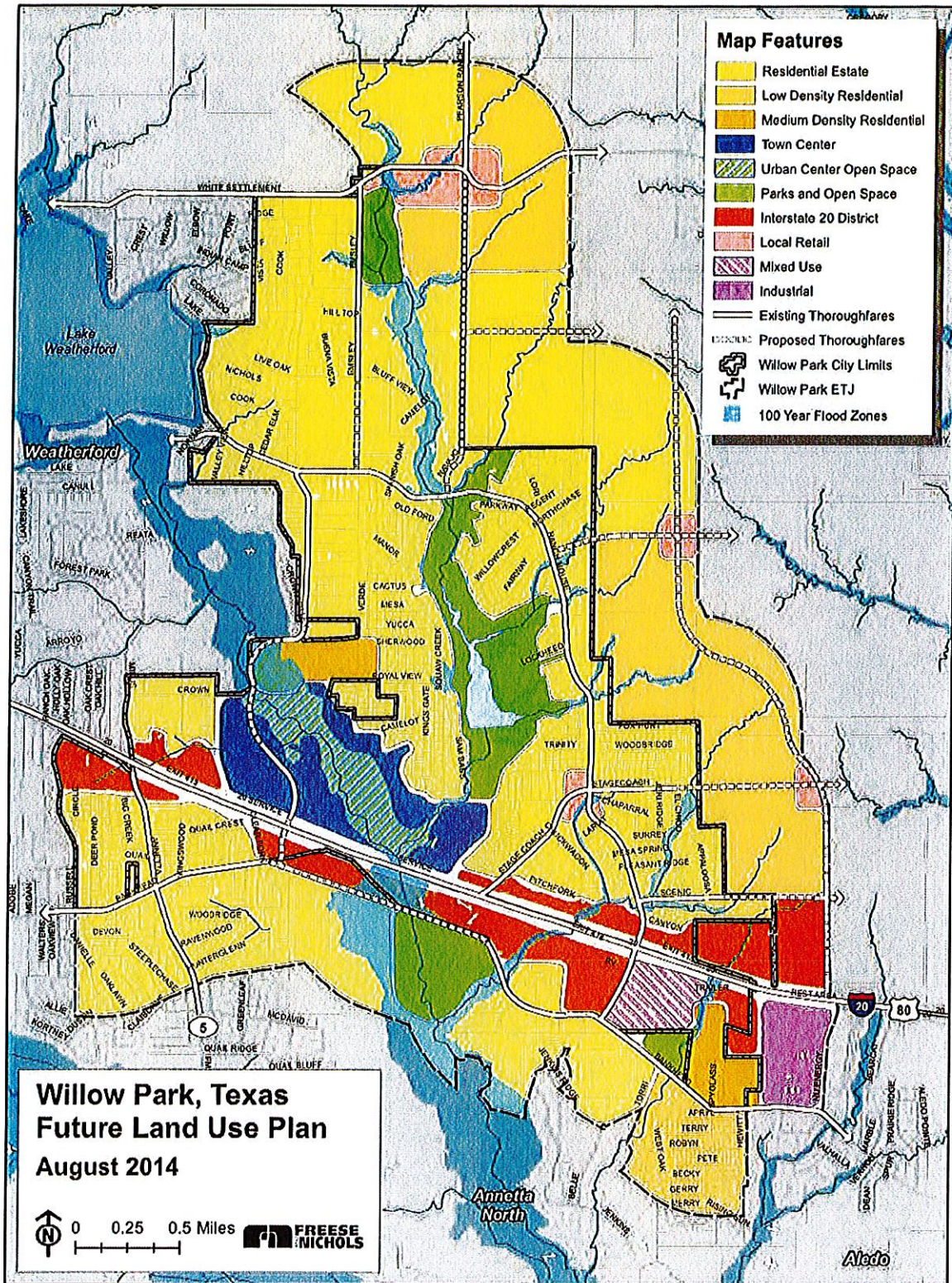
UPDATED PER ORDINANCE 795-19 07/09/2019  
UPDATED PER ORDINANCE 797-19 08/27/2019



THE CITY OF WILLOW PARK MAKES EVERY EFFORT TO ENSURE THIS MAP IS FREE OF ERRORS, BUT DOES NOT WARRANT THE MAP OR ITS FEATURES.  
THE CITY OF WILLOW PARK PROVIDES THIS MAP WITHOUT ANY WARRANTY OF ANY KIND WHATSOEVER, EITHER EXPRESSED OR IMPLIED.



# Future Land Use Map





NOPH #1 09/17/2019

Consider and request to rezone from R-1 Single-Family District to R1/PD Single-Family/Planned Development District. Lot 1,2, Block 1, Willow Park Baptist Addition located on the Northwest corner of Crown Pointe Blvd. and J.D. Towles Drive.

MARIANNE COPE HEALTH CARE  
3502 ARMSTRONG AVE.  
DALLAS, TX 75205

WILLOW PARK PROFESSIONAL PLAZA LTD  
365 MIRON DR SUITE A  
SOUTHLAKE, TX 76092

WILLOW PARK SERVICES LLC  
PO BOX 1840  
ALEDO, TX 76008

SWAYDEN LIVING TRUST  
6 CROWN RD  
WILLOW PARK, TX 76087

BAR-KO-LAND CO.  
5189 IH 20 SERVICE RD N STE 106  
WEATHERFORD, TX 76087

MIT MAR  
6647 S. FM 56  
GLEN ROSE, TX 76043

VESTRY LP  
1102 WASHINGTON DR  
WEATHERFORD, TX 76086

ROGER WILLIAMS  
1102 WASHINGTON DR  
WEATHERFORD, TX 76086

*mail 09/03/2019*



**CITY OF WILLOW PARK  
ORDINANCE 800-19**

**AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS, PROVIDING FOR A ZONING CHANGE FROM "AG" AGRICULTURE AND "R-1" SINGLE FAMILY DISTRICT TO "PD" PLANNED DEVELOPMENT DISTRICT FOR LOTS 1 AND 2, BLOCK 1, WILLOW PARK BAPTIST ADDITION, SITUATED IN THE WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468, CITY OF WILLOW PARK, TEXAS; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Willow Park Baptist Church of Texas (Owner) has applied for a change in zoning for Lots 1 and 2, Block 1, Willow Park Baptist Addition, located in the Wesley Franklin Survey, Abstract 468 (the "Property") from "AG" Agriculture and "R-1" Single Family classifications and use designation to "PD" Planned Development; and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements for the rezoning of the Property; and

**WHEREAS**, The City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:**

**SECTION 1**

The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as shown on the Site Plan attached hereto as Exhibit 'A', and legal description attached as Exhibit 'B', by changing the zoning of said property from AG Agriculture and R-1 Single Family District to PD Planned Development district, including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

## SECTION 2 PD DEVELOPMENT STANDARDS

### 1.0 **Base Zoning District**

The underlying zoning district for this Planned Development shall be R-1 Single Family Residential. All development shall comply with the R-1 Single Family regulations unless specifically amended by this Planned Development Ordinance.

### 2.0 **Planned Development**

**2.01 Permitted Uses:** In addition to the uses permitted by the Base Zoning District, uses as referenced below shall be permitted within the Planned Development District.

**Permitted Uses:**

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Public & Private Recreation Facilities, including gymnasium

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Accessory buildings directly related to the permitted uses  
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Prayer Gardens  
Outdoor Baptistry Area  
Amphitheatre

**2.02 Building Height:** The permitted height of any structures shall not exceed fifty feet (50') to the highest point of the roof structure. A cross integrally attached to the primary worship center structure shall not exceed sixty-five feet (65') in height.

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**2.04 Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.

**2.05 Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements. A maximum of four (4) monument signs will be permitted for the property, one at each of the four major public street intersections on the property perimeter. This provision does not prohibit minor wayfaring signs to be installed at the various driveways and building entrances on the property.

### **SECTION 3 SEVERABILITY CLAUSE**

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs an sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

### **SECTION 4 EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its adoption by the City Council of the City of Willow Park and publication as required by law, and it is so ordained.

**PASSED AND APPROVED** by the City Council of the City of Willow Park, Texas this the \_\_\_\_ day of \_\_\_\_\_, 2019.

**APPROVED:**

\_\_\_\_\_  
Doyle Moss, Mayor

**ATTEST:**

\_\_\_\_\_  
Alicia Smith TRMC, City Secretary

The Willow Park City Council in acting on Ordinance No. 800-19 did on the 8<sup>th</sup> day of October, 2019 vote as follows:

	FOR	AGAINST	ABSTAIN
Doyle Moss, Mayor	_____	_____	_____
Eric Contreras, Place 1	_____	_____	_____
Amy Fennell, Place 2	_____	_____	_____
Greg Runnebaum, Place 3	_____	_____	_____
Lea Young, Place 4	_____	_____	_____
Gary McKaughan, Place 5	_____	_____	_____

**EXHBIT A**  
**WILLOW PARK BAPTIST CHURCH ZONING EXHIBIT**



GRAPHIC SCALE 1"=300'

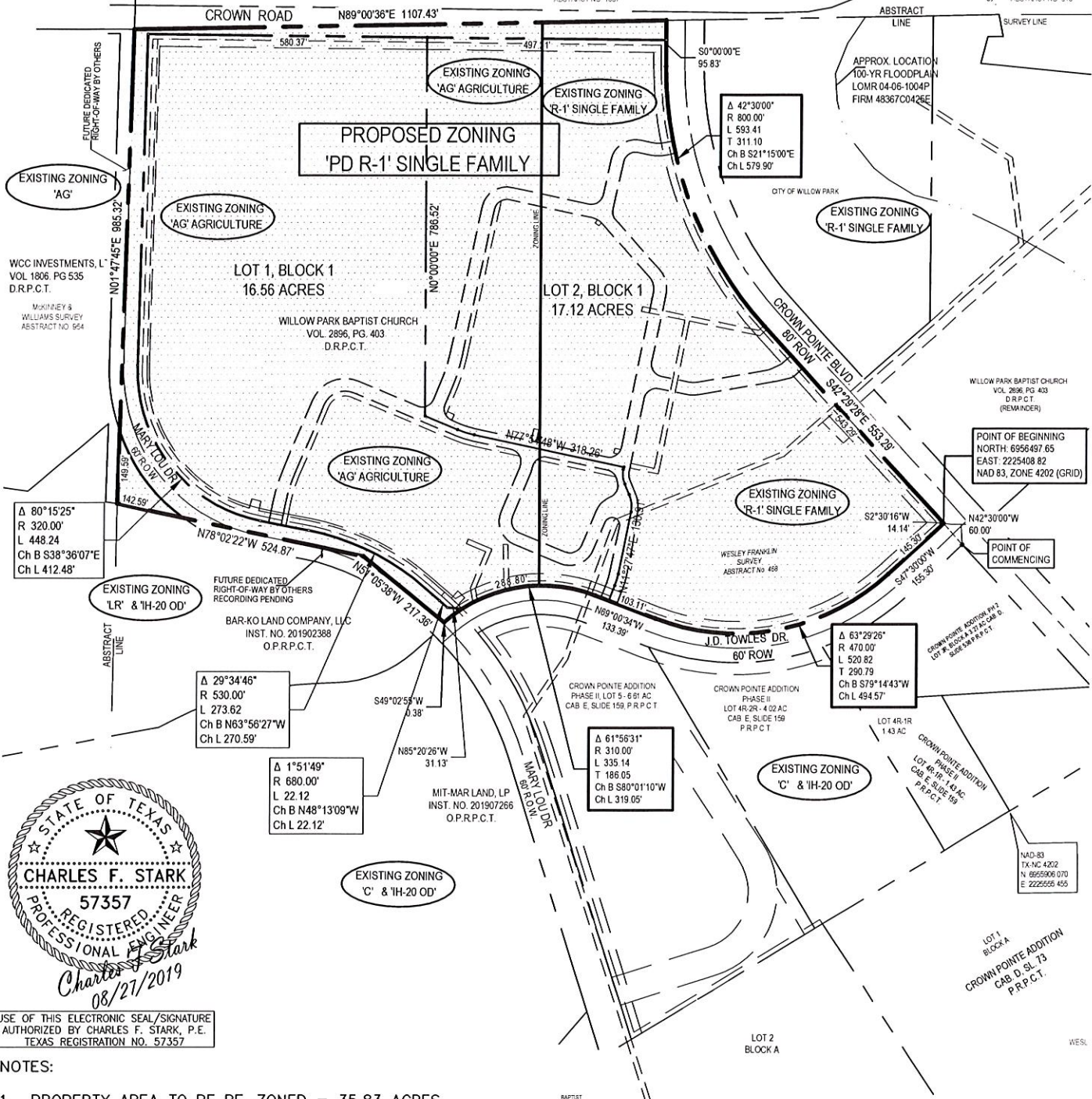


J ROGER WILLIAMS  
VOL 1459, PG 1326  
D.R.P.C.T.

PATRICIA G CHENAULT  
VOL 1585, PG 348  
D.R.P.C.T.

J.B. WYNN SURVEY  
ABSTRACT NO. 1637

ANN MCCARTHER SURVEY  
ABSTRACT NO. 910



USE OF THIS ELECTRONIC SEAL/SIGNATURE  
AUTHORIZED BY CHARLES F. STARK, P.E.  
TEXAS REGISTRATION NO. 57357

- NOTES:
1. PROPERTY AREA TO BE RE-ZONED = 35.83 ACRES
  2. EXISTING ZONING: 'R1' SINGLE FAMILY AND 'AG' AGRICULTURE
  3. PROPOSED ZONING: 'PD R-1'
  4. PROPERTY SITUATED IN THE CITY OF WILLOW PARK
  5. PROPERTY SITUATED IN ALEDO ISD
  6. PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER

 <b>Barron-Stark</b> Engineers 6221 Southwest Boulevard, Suite 100 Fort Worth, Texas 76132 (O) 817.231.8100 (F) 817.231.8144 Texas Registered Engineering Firm F-10998 Texas Registered Survey Firm F-10158800 www.barronstark.com	<b>OWNER:</b> WILLOW PARK BAPTIST CHURCH OF TEXAS 129 S. RANCH HOUSE ROAD WILLOW PARK, TX. 76008	<p align="center"><b>'PD R-1' ZONING EXHIBIT</b></p> <p align="center"><b>WILLOW PARK BAPTIST CHURCH ADDITION</b></p> <p align="center">LOTS 1 AND 2, BLOCK 1</p> <p align="center">City of Willow Park, Parker County, Texas</p>	PROJECT No. 245-9481 REV: AUGUST 27, 2019 DATE: AUGUST 2019 SHEET <b>EX A</b>
--	--	---	---

PLOTTED ON: 9/10/2019 9:33 AM  
FILE NAME: N:\BARRON STARK SWIFT ENG\245 WP BAPTIST CHURCH\245-9481 - PRELIMINARY ENG NEW CHURCH CAMPUS\100 CAD\100 DWG\01 EXHIBIT\245-9481 PD ZONING EXHIBIT REVISED.DWG



**EXHIBIT B**  
**LEGAL DESCRIPTION**

BEING all of Lots 1 and Lot 2, Block 1, Willow Park Baptist Addition as recorded in Cabinet E, Slide 375, Instrument Number. D201924587, Plat Records, Parker County, Texas, being a portion of that certain tract of land described in deed to Willow Park Baptist Church of Texas, recorded in Volume 2896, Page 403, and all of that certain tract of land described in deed to Willow Park Baptist Church, recorded in Instrument Number 201829536, Official Public Records, Parker County, Texas, being more particularly described, as follows:

COMMENCING at a 1/2" capped iron rod found at the intersection of the south line of J.D. Towles Drive (a 60' Right-of-Way) and the west line of Crown Pointe Boulevard (an 80' Right-of-Way), at the northeast corner of Lot 3R, Block A, CROWN POINTE ADDITION, an Addition to the City of Willow Park, Parker County, Texas, according to the plat recorded in Cabinet D, Slide 536, Plat Records, Parker County, Texas;

THENCE N 42°30'00" W, a distance of 60.00 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" in the north line of said J.D. Towles Drive for the POINT OF BEGINNING and the most easterly corner of the herein described 35.83 acre tract;

THENCE along the north line of said J.D. Towles Drive, as follows:

S 47°30'00" W, a distance of 155.30 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the right, whose radius is 470.00 feet and whose long chord bears S 79°14'43" W, a chord distance of 494.57 feet;

Along said curve in a southwesterly direction, through a central angle of 63°29'26", an arc distance of 520.82 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084";

N 69°00'34" W, a distance of 133.39 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the left, whose radius is 310.00 feet and whose long chord bears S 80°01'10" W, a chord distance of 319.05 feet;

Along said curve in a southwesterly direction, through a central angle of 61°56'31", an arc distance of 335.14 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084";

S 49°02'55" W, a distance of 0.38 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" in Crown Lane (Right-of-Way varies) the southwesterly line of said Willow Park Baptist Church of Texas tract;

THENCE N 51°05'38" W, along the southwesterly line of said Willow Park Baptist Church of Texas tract, a distance of 217.36 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084";

THENCE N 78°02'22" W, continuing along the southwesterly line of said Willow Park Baptist Church of Texas tract, a distance of 524.87 feet to an "X" cut in a concrete driveway found at the southwest corner of said Willow Park Baptist Church of Texas tract;

THENCE N 01°47'45" E, along Crown Lane and along the west line of said Willow Park Baptist Church of Texas tract, a distance of 985.32 feet to a 1/2" iron rod found in Crown Road (Right-of-Way varies) at the northwest corner of said Willow Park Baptist Church of Texas tract;

THENCE N 89°00'36" E, along said Crown Road and along the north line of said Willow Park Baptist Church of Texas tract, a distance of 1107.43 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" in the west line of said Crown Pointe Boulevard;

THENCE along the west line of said Crown Pointe Boulevard, as follows:

SOUTH, a distance of 95.83 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the left, whose radius is 800.00 feet and whose long chord bears S 21°15'00" E, a chord distance of 579.90 feet

Along said curve in a southeasterly direction, through a central angle of 42°30'00", an arc distance of 593.41 feet to a 1/2" capped iron rod found stamped C.F. Stark RPLS 5084";

S 42°29'28" E, a distance of 553.29 feet to the POINT OF BEGINNING and containing 35.83 acres of land, more or less.





## P&Z AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> October 8, 2019	<b>Department:</b> Development Services	<b>Presented By:</b> Betty Chew
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### AGENDA ITEM: 2

Consider and Act on a request to rezone from LR Local Retail/IH-20 Overlay District to PD/R3 Planned Development/Multi-Family Senior Living at Willow Park, 9.27 acres Wesley Franklin Survey, Abstract No. 468, McKinney & Williams Survey, Abstract No. 954, City of Willow Park, Parker County, Texas, located on the Northwest corner of Mary Lou Drive and J.D. Towles Drive.

### BACKGROUND:

The proposed Planned Development consists of a 9.27 acre tract of land to be developed as a Senior Living Complex.

The property is located in Planning Area 3 as identified in the City's Comprehensive Plan. Planning Area 3 is situated along and north of Interstate 20 with the medical facilities on the western side. Due to the area visibility along Interstate 20, a more compact area of mixed-use retail office and residential development may be suitable.

The Comprehensive Plan states: Create a Range of Housing Opportunities and Choices. A range in housing options is important to ensure that "full-life cycle" housing is available to enable residents to stay within the community throughout their lives, even as housing desires change. Smaller starter homes, larger homes, apartments, townhomes, and retirement facilities are important to ensure adequate housing for young adults, families with children, empty-nesters and retirees. This is a housing option the City does not have.

The owner is requesting PD Planned Development District zoning to further define the development and to ensure a coordinated, secure and attractive Senior Living Community. The property will develop with a 152 unit age restricted (55 years of age or older) housing complex with recreation facilities including swimming pool, private community center club house, leasing office and recreation courts and other facilities for the residents of the development.

Property owners were notified by mail and Notice of Public Hearing was published and posted.

### STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff supports a recommendation for approval of the PD Planned Development District Zoning.

The Planning and Zoning Commission voted 4-0 to rezone the property to PD/R3 Planned Development/Multi-Family Senior Living at Willow Park.

If the City Council concurs with the Commission recommendation you will need to adopt Ordinance No. 801.19.

### EXHIBITS:

Application  
Site Plan

Landscape Plan  
Elevation Drawings  
Planned Development Regulations  
Zoning Map  
Future Land Use Map  
Ordinance 801.19

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A





City of Willow Park  
516 Ranch House Road  
Willow Park, Texas 76087  
Phone: (817) 441-7108 · Fax: (817) 441-6900

### ZONING CHANGE REQUIREMENTS

Name of Applicant: BARRON-STARK ENGINEERS, LP, BY: CHUCK STARK

Mailing Address: 6221 SOUTHWEST BLVD, #100, FORT WORTH, TX 76132  
817-231-8114      Street      City      State      Zip

Phone: 817-296-9550 Fax: 817-231-8144 Email: chucks@barronstark.com  
cynthias@barronstark.com

Property Owner: BARKO LAND COMPANY, LLC c/o Brysan Adams

Mailing Address: 2121 McCLENDON ROAD, WEATHERFORD, TX 76088  
Street      City      State      Zip

Phone: 817-253-2494 Fax: \_\_\_\_\_ Email: brysaon704@hotmail.com

Location of property requesting to be re-zoned: N OF IH20 W BOUND SERVICE RD @ MARY LOU DR

Intended Use of property: SENIOR LIVING AT WILLOW PARK

Current Zoning District: 'LR' LOCAL RETAIL AND IH20 OVERLAY

Requested Zoning District: PD R3 (MULTI-FAMILY)

Specific reason for zoning request: FUTURE DEVELOPMENT NOT BEING LIMITED TO LOCAL RETAIL

AND PROVIDE ZONING FOR SENIOR LIVING FACILITY

~~FEES: \$150 (Residential)~~

~~\$150 (Non-Residential)~~

08/27/2019  
Additional fees (if applicable): \$260.00

Additional fees (if applicable): NA

Any reasonable fees and/or costs which are required by the City of Willow Park for a proper review of this request are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building/property inspections and/or testing(s).

Chuck Stark  
SIGNATURE OF OWNER

AUTHORIZED AGENT

8/26/19  
DATE

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
DATE

*If the property owner is represented by another, a notarized letter of authorization must be submitted.*

Rec'd  
08/27/2019 pkew

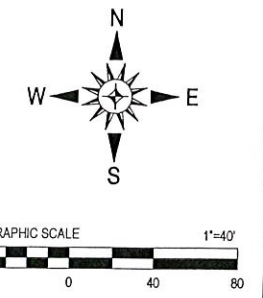
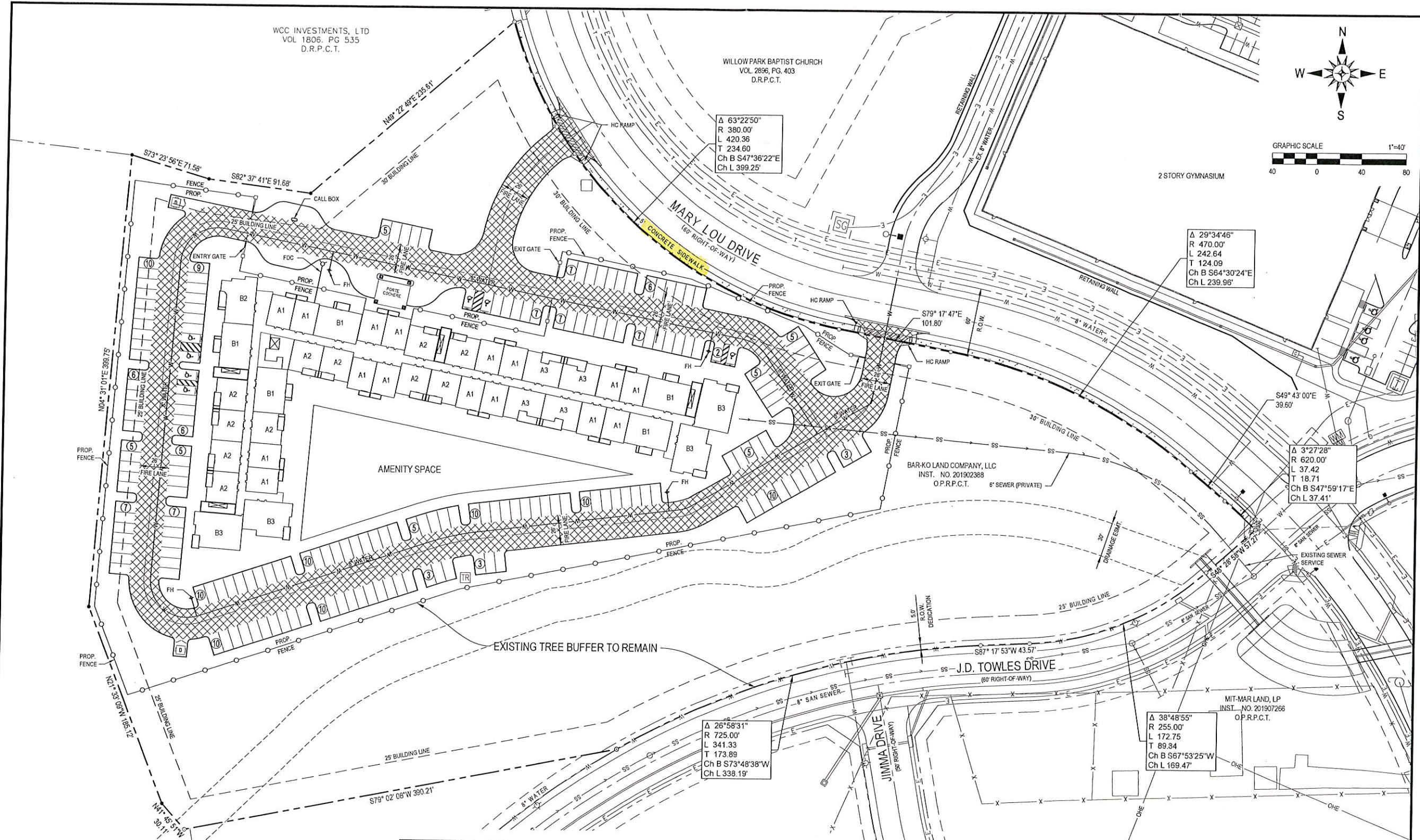
This checklist is provided to assist you in addressing the requirements for a Zoning Change request. An application is incomplete unless all applicable information noted below is submitted to the City of Willow Park Building Official. Please indicate that all information is included on the application by initialing in the box to the left of the required information. **Checking the box certifies to the City that you have completely and accurately addressed the issue.** If not applicable, indicate with "N/A" next in the box. Return this completed form at the time of your application submittal.

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	ZONING CHANGE REQUIREMENTS	N/A	COMPLETE	MISSING
1	cks	Site boundary is indicated by a heavy solid line, dimensioned with bearings and distances, and distance to the nearest cross street.		✓	
2	cks	Site location/vicinity map clearly showing the location of the subject		✓	
3	cks	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	cks	A written and bar scale is provided. 1"= 200' unless previously approved by staff		✓	
5	cks	Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line. <i>To Be Removed.</i>		✓	
6	cks	Adjacent property lines within 200 feet of the subject property.		✓	
7	cks	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
8	cks	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
9	cks	Does the request conform to the proposed future land use in the city's Comprehensive Plan		✓	





GENERAL NOTES:

- BEARINGS & COORDINATES SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, N.A.D. 83 DATUM (TEXAS NORTH CENTRAL ZONE 4202) DERIVED FROM RESOLVED OPUS SOLUTIONS.
- ANY REFERENCE TO THE 100 YEAR FLOOD PLAIN OR FLOOD HAZARD ZONES ARE AN ESTIMATE BASED ON THE DATA SHOWN ON THE FLOOD INSURANCE RATE MAP PROVIDED BY FEMA AND SHOULD NOT BE INTERPRETED AS A STUDY OR DETERMINATION OF THE FLOODING PROPENSITIES OF THIS PROPERTY. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR PARKER COUNTY, TEXAS, DATED SEPTEMBER 26, 2008 MAP NO. 43367C0425E, THE PROPERTY DESCRIBED HEREIN DOES NOT APPEAR TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA.
- PROPERTY SITUATED IN THE CITY OF WILLOW PARK.
- PROPERTY SITUATED IN ALEDO ISD.
- PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER.
- ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED.
- ALL RADII SHOWN ARE TO THE BACK OF CURB.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6" HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SAN. SEWER MANHOLE
	EXISTING POWER POLE
	CONCRETE PAVING
	FIRE LANE
	SIDEWALK
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT

SITE PLAN DATA TABLE	
ACREAGE	9.27 ACRES
EXISTING ZONING	LR
PROPOSED ZONING	PDR-3
PROPOSED STRUCTURES	4 STORY - SENIOR LIVING - 117,216 sf
PERCENT IMPERVIOUS	48%
1 BR	112 @ 1.0 = 112
2 BR	450 @ 1.5 = 60
STAFF	12
TOTAL	184
PARKING PROVIDED	191 (INCLUDES 8 HC)
OPEN SPACE	52%

BUILDING TABULATION				
TYPE	# BLDGS	UNITS/BLDG.	UNITS TYPES	PER BLDG. S.F. TOTAL S.F.
A	1	152	A1-56, A2-40, A3-16, B1-20, B2-4, B3-16	117,216 117,216
TOTAL	1	152		117,216
UNIT TYPES				
	# UNITS	UNIT S.F.	TOTAL S.F.	
A1 - ONE BEDROOM, ONE BATH	56	600	33,600	
A2 - ONE BEDROOM, ONE BATH	40	671	26,840	
A3 - ONE BEDROOM, ONE BATH	16	777	12,432	
B1 - TWO BEDROOM, ONE BATH	20	1,059	21,180	
B2 - TWO BEDROOM, TWO BATH	4	1,099	4,396	
B3 - TWO BEDROOM, TWO BATH	16	1,173	18,768	
TOTAL	152		117,216	

OWNER/APPLICANT  
BAR-KO LAND COMPANY, LLC  
2121 McCLENDON ROAD  
WEATHERFORD, TX 76088  
PH: 817-253-2494

SENIOR LIVING  
AT  
WILLOW PARK  
City of Willow Park  
Parker County, Texas

REVISIONS

NO.	DATE	DESCRIPTION

6221 Southwest Boulevard, Suite 100  
Fort Worth, Texas 76112  
(817) 251-8100 (F) 817-231-8144  
Texas Registered Engineering Firm F-10299  
Texas Registered Survey Firm F-10158650  
www.barronstark.com

**Barron-Stark**  
Engineers

SITE PLAN

9.27 ACRES SITUATED IN THE  
WESLEY FRANKLIN, ABSTRACT NO. 468  
AND THE  
MCKINNEY & WILLIAMS, ABSTRACT NO. 954  
CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

CLIENT No.

404

PROJECT No.

9588

DESIGN:

BLG

DRAWN:

RCP

CHECKED:

CFS

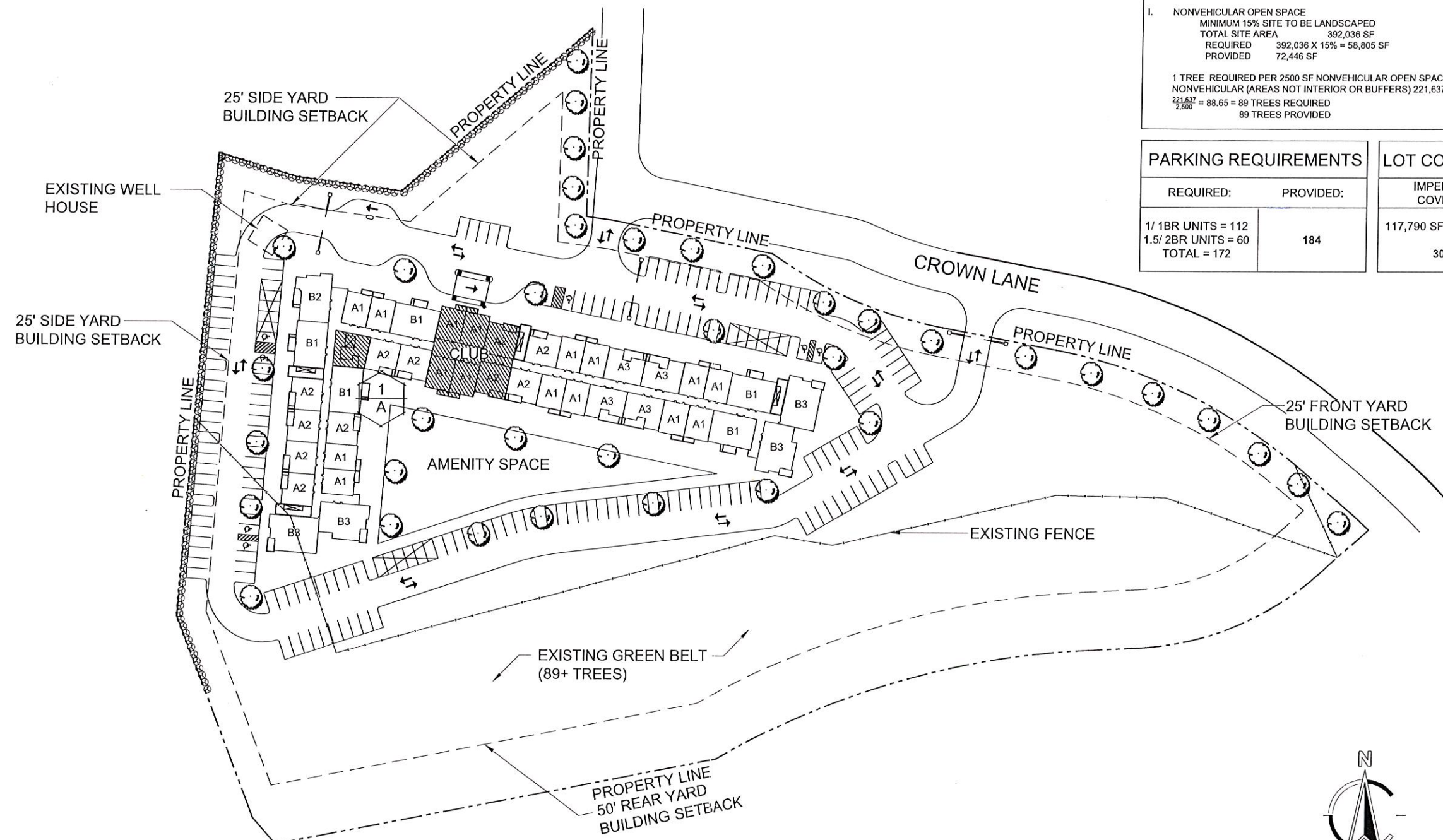
DATE:

AUGUST 2019

SHEET

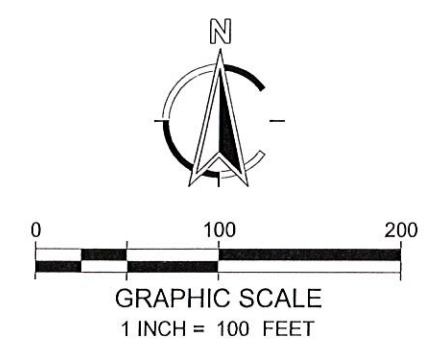
EX A





CITY REQUIREMENTS	
H.1. INTERIOR LANDSCAPING	
GROSS PARKING	75,891
INTERIOR LANDSCAPE AREA	
REQUIRED	7,589 SF (10%)
PROVIDED	52,446 SF (69.1%)
1 TREE PER 400 SF REQUIRED INTERIOR LANDSCAPE	
$\frac{7,589}{400} = 19 = 19$ TREES REQUIRED	
19 TREES PROPOSED	
ALL PARKING TO BE SCREENED FOR R.O.W.'S & ADJACENT PROPERTY PROVIDED AS REQUIRED.	
H.2. PERIMETER LANDSCAPING	
1 TREE PER 50 LF	
CROWN LANE	
$\frac{800}{50} = 17.9 = 18$ TREES REQUIRED	
18 TREES PROPOSED	
I. NONVEHICULAR OPEN SPACE	
MINIMUM 15% SITE TO BE LANDSCAPED	
TOTAL SITE AREA	392,036 SF
REQUIRED	392,036 X 15% = 58,805 SF
PROVIDED	72,446 SF
1 TREE REQUIRED PER 2500 SF NONVEHICULAR OPEN SPACE	
NONVEHICULAR (AREAS NOT INTERIOR OR BUFFERS) 221,637 SF	
$\frac{221,637}{2,500} = 88.65 = 89$ TREES REQUIRED	
89 TREES PROVIDED	

PARKING REQUIREMENTS		LOT COVERAGE
REQUIRED:	PROVIDED:	IMPERVIOUS COVERAGE
1/ 1BR UNITS = 112		117,790 SF / 392,036 SF
1.5/ 2BR UNITS = 60	184	=
TOTAL = 172		30.0%



# SENIOR LIVING AT WILLOW PARK WILLOW PARK, TEXAS



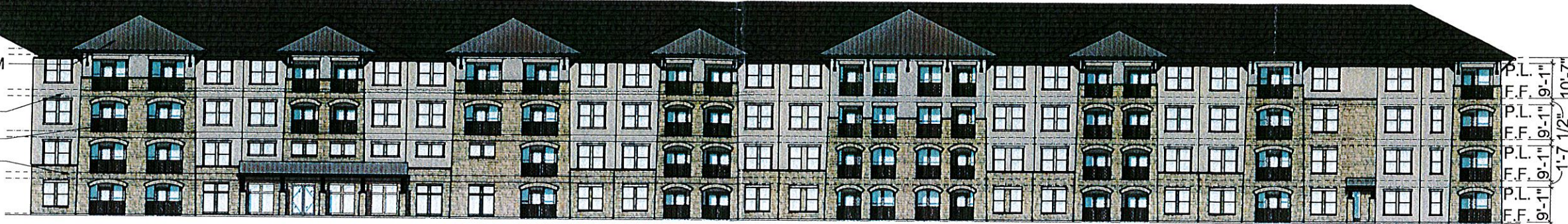
30 YEAR  
ARCHITECTURAL  
SHINGLES

STANDING SEAM  
METAL ROOF

STUCCO

METAL RAILING

SIMULATED  
STONE  
VENEER



BUILDING MATERIALS	
MASONRY	56%
STUCCO	44%
TOTAL	100%

BUILDING 'A' - REAR ELEVATION COURTYARD

1/32" = 1' - 0"

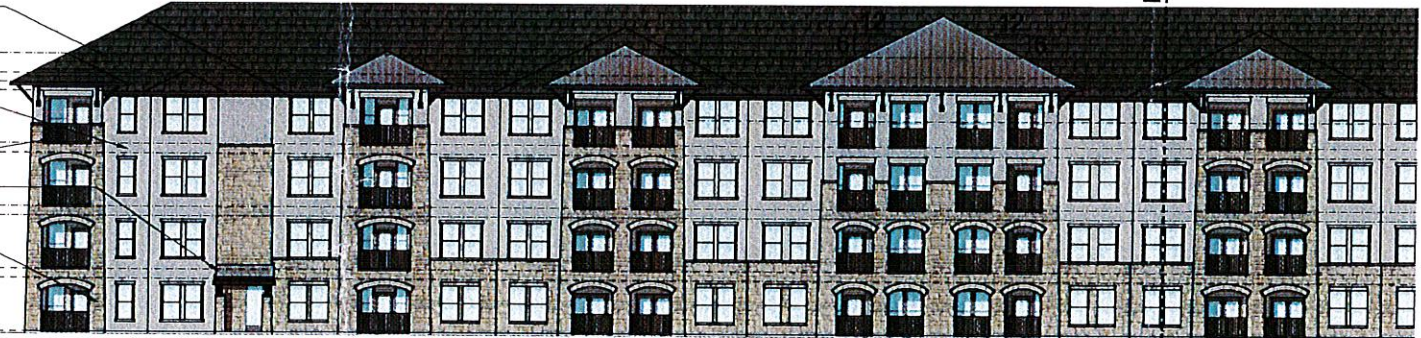
30 YEAR  
ARCHITECTURAL  
SHINGLES

STUCCO

METAL RAILING

STANDING SEAM  
METAL ROOF

SIMULATED  
STONE  
VENEER



BUILDING 'A' - FRONT ELEVATION

1/32" = 1' - 0"

MATCHLINE

30 YEAR  
ARCHITECTURAL  
SHINGLES

STANDING SEAM  
METAL ROOF

STUCCO



SIMULATED  
STONE  
VENEER

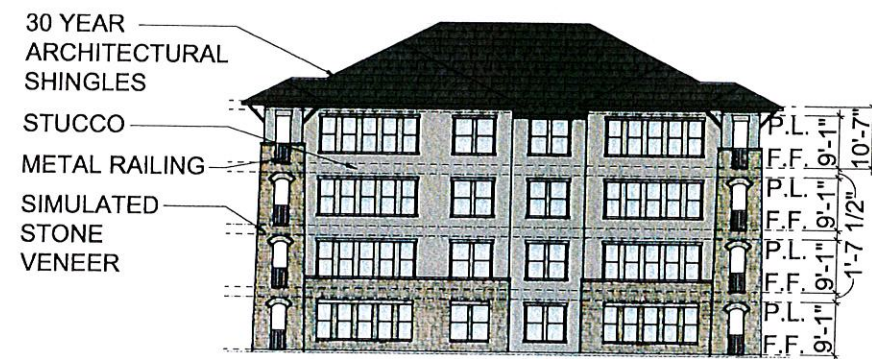
METAL RAILING

BUILDING MATERIALS	
MASONRY	52%
STUCCO	48%
TOTAL	100%

BUILDING 'A' - FRONT ELEVATION

1/32" = 1' - 0"





BUILDING MATERIALS	
MASONRY	39%
STUCCO	61%
TOTAL	100%

BUILDING 'A' - SOUTH ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	39%
STUCCO	61%
TOTAL	100%

BUILDING 'A' - EAST ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	56%
STUCCO	44%
TOTAL	100%

BUILDING 'A' - WEST ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	55%
STUCCO	45%
TOTAL	100%

BUILDING 'A' - EAST COURTYARD ELEVATION

1/32" = 1' - 0"

SENIOR LIVING AT WILLOW PARK  
WILLOW PARK, TEXAS



**SENIOR LIVING AT WILLOW PARK**  
**PD DEVELOPMENT STANDARDS**  
**SECTION 2**

**2.0 Planned Development – Senior Living Community**

**2.01 General Description:** Senior Living units are attached units intended for lease. Access shall be allowed from access drives or parking areas connecting to adjacent public roadways. Requirements for development shall be governed by standards as described below and the City of Willow Park R-3 Design Standards (Zoning Ordinance Article 14.06.008). If there are conflicts between the requirements of Article 14.06.008 and these Planned Development requirements, the Planned Development requirements shall govern.

**2.02 Age Limitation:** Senior Living at Willow Park shall be a Senior Living Community with the requirement for a minimum of one primary resident of each living unit to be 55 years of age or older.

**2.03 Permitted Uses:** Permitted uses as referenced below shall be permitted within the Planned Development District. No Single Family, Duplex or Townhome uses will be allowed within this tract.

**Permitted Uses:**

**Community Center – Private**

Attached dwelling units, age restricted for Seniors 55 years of age or older.

Private Recreation Facilities including but not limited to swimming pools, clubhouse facilities, leasing office, and recreation courts.

Commercial Kitchen for residents use.

On-site amenities for residents use such as nail salon, theatre, and similar.

**Accessory Uses Allowed:**

Accessory buildings

Off-Street Parking

Swimming pool – private

**2.04 Density:** The maximum allowed density for the entire tract will be 18 units per gross acre.

**2.05 Required Parking:** Parking requirement for Senior Living at Willow Park shall be as follows:

- a. One (1) off-street parking space for each one-bedroom or efficiency dwelling unit.
- b. One and one-half (1.5) off-street parking spaces for each two bedroom or greater dwelling unit.
- c. Parking shall be permitted within all required front, side and rear yard areas.

- d. Parking and driveways shall be paved of concrete, in accordance with paving standards established by the City of Willow Park's Subdivision Ordinances.
- e. A minimum of 10% of the required parking spaces shall be enclosed garage or covered parking.

**2.06 Building Materials:** A minimum of eighty-five (85%) percent of the total exterior wall surfaces (excluding portals and fenestrations) of all structures shall be finished in two or more of the following materials: glass, stone, man-made-stone, brick, split face concrete block, stucco utilizing a three-step process or similar materials or any combination thereof. The use of wood, cementitious fiberboard, hardy board, tile or EFIS as an exterior building material shall be limited to a maximum of fifteen percent(15%), excluding door and window openings of the total wall surfacing below the top plate line. All stairwells will be located interior to the building structures and not allowed along the exterior façade.

**2.07 Architectural Standards:**

- a. Façade articulation (offsets) of not less than eighteen (18") inches in depth are required for every 50' in building surface length.
- b. Patios shall not protrude more than eighteen (18") inches from surrounding building exterior walls
- c. Maximum building length shall be 500 feet.
- d. Maximum building width shall be 300 feet.

**2.08 Minimum Dwelling Size:** The minimum floor area for units within the Planned Development shall be:

- o One bedroom unit, 500 square feet
- o Two bedroom unit, 1000 square feet
- o Minimum floor area shall exclude common corridors, basements, open and screened porches/ decks and garage.

**2.08 Lot Coverage:** No more than forty percent (40%) of the total lot area shall be covered by main buildings and no more than fifty percent (50%) of the total lot area shall be covered by the combined area of the main buildings and accessory buildings. All buildings shall comply with those standards contained in the Willow Park Zoning Ordinance.

**2.09 Front Yard:** The minimum depth of the front yard shall be thirty (30) feet.

**2.10 Side Yard:** The minimum side yard on each side of the lot shall be twenty-five (25) feet. A side yard adjacent to a public street shall be a minimum of fifteen (15) feet. A building separation of twenty (20) feet shall be provided between structures up to four stories in height. Roof or eaves may overhang by no more than four (4) feet into the side yard fronting street on corner lots only. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

**2.11 Rear Yard:** The minimum depth of the rear yard shall be twenty-five (25) feet. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow



Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

- 2.12 Building Height:** The permitted height of any structures shall not exceed four (4) stories with a maximum plate height of the fourth story being 45 feet. Maximum height to any point on the roof line shall be 55 feet.
- 2.13 Gated Entry:** It is the intent of this Planned Development to provide a secure living environment for the residents of the development. Visitor parking and access to the leasing office area will be provided at the entry to the project but access to the residential area may be restricted by security gates. The balance of the property may be secured by an appropriate security fence acceptable to City of Willow Park prohibiting pedestrian traffic to enter into the residential areas.
- 2.14 Open Space:** The Senior Living at Willow Park Tract will incorporate private open space into the development as shown on the attached concept plan (Exhibit A). There is no requirement for public open space within the Senior Living at Willow Park parcel. All private open space shall be owned and maintained by the owner of Senior Living at Willow Park.
- 2.15 Garbage and Trash Collection:** The garbage and trash collection will be provided by a private collection service. All freestanding dumpsters shall be screened on three sides with an opaque masonry enclosure measuring to a height at least six (6) inches above the top of the dumpster. The opaque masonry enclosure shall be constructed of material consistent with that of the building structures. The fourth side shall be gated to shield view of the interior with gates a minimum of six (6) feet in height
- 2.16 Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.
- 2.17 Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements.

### SECTION 3 CUMULATIVE CLAUSE

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs an sections of this ordinance, since the same would have been enacted



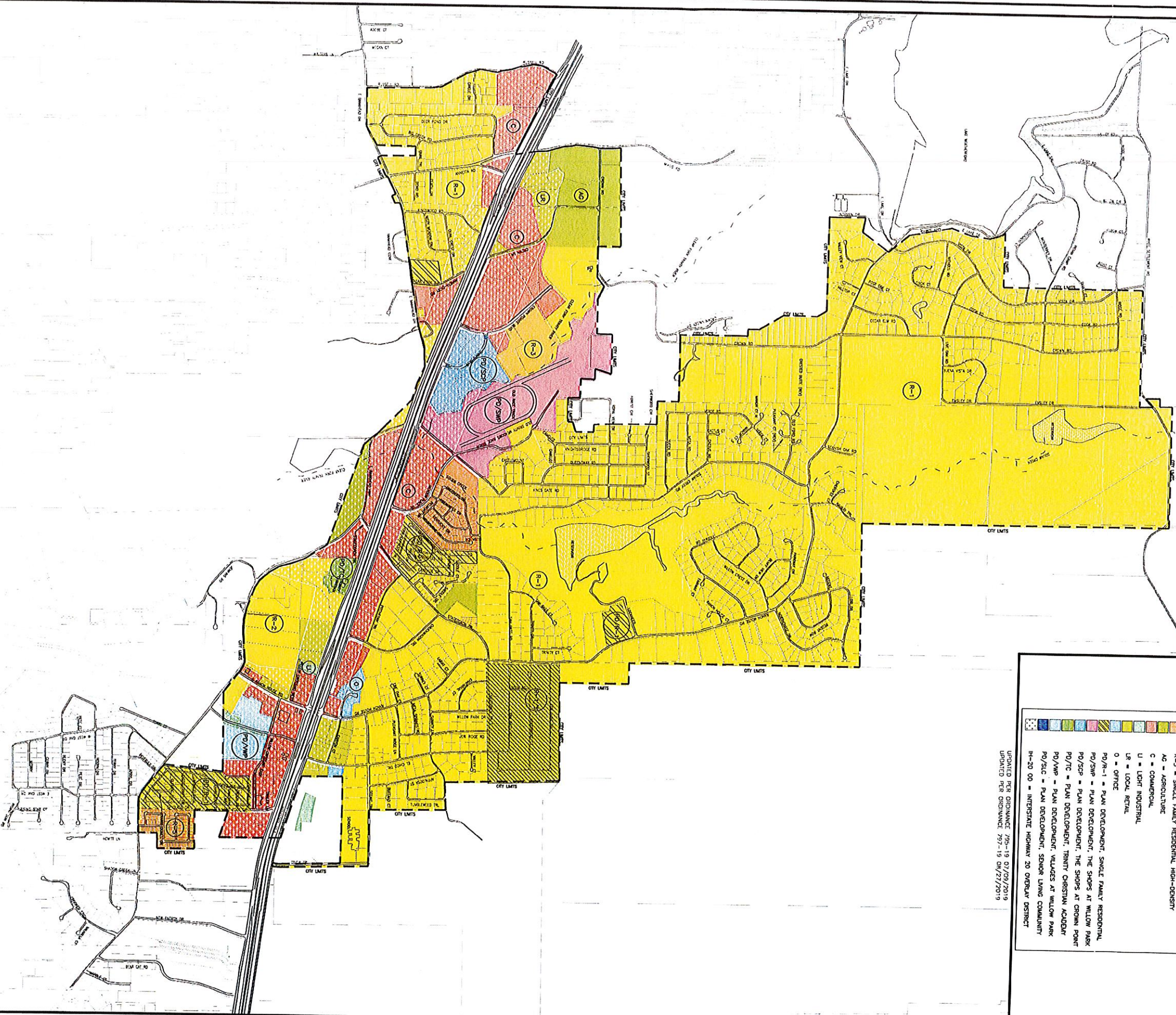
# CITY OF WILLOW PARK ZONING MAP SEPTEMBER 2019



## ZONING DESCRIPTION LEGEND

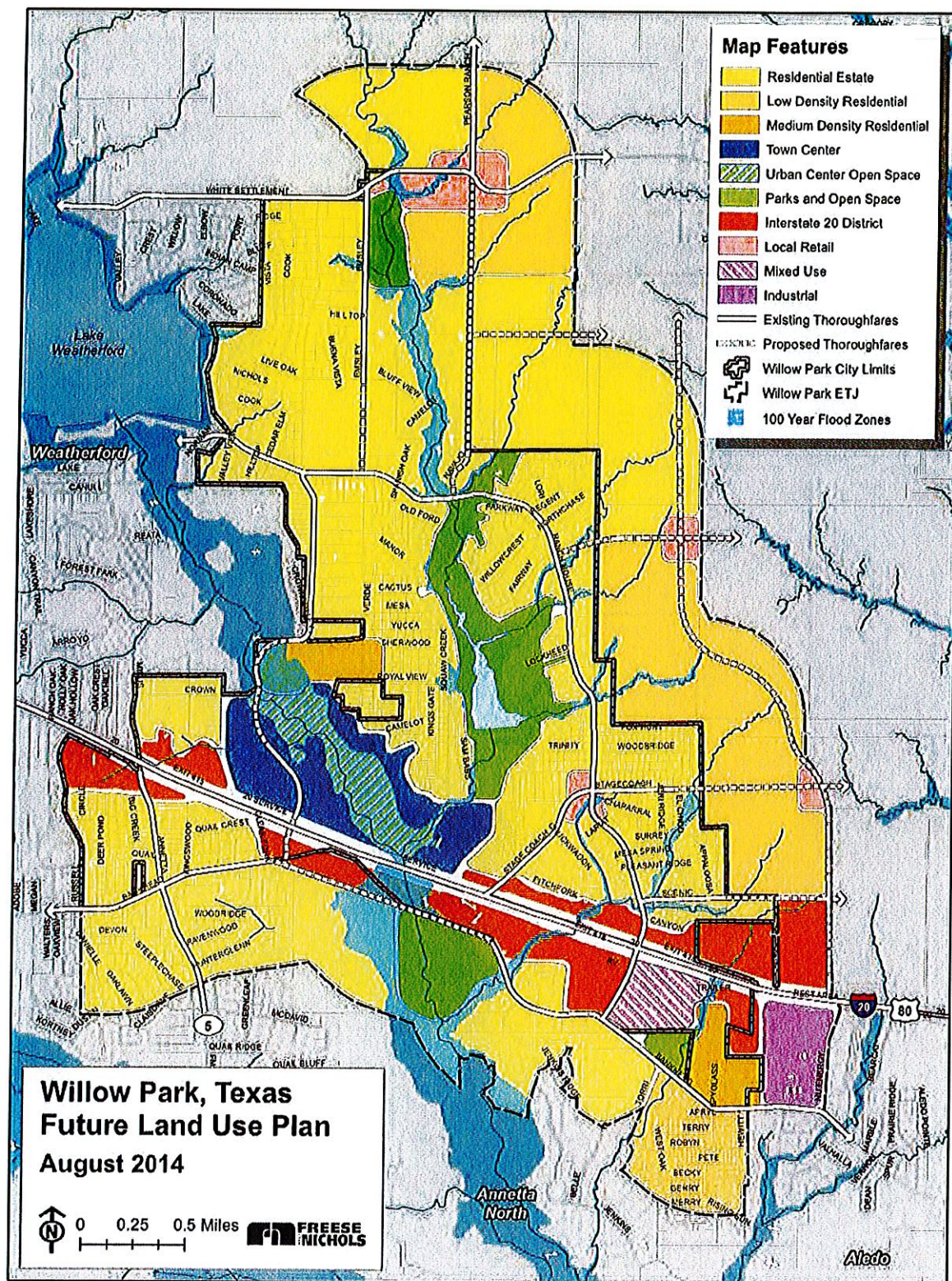
[Yellow box]	R-1 = SINGLE FAMILY RESIDENTIAL
[Yellow box with diagonal lines]	R-1/S = SINGLE FAMILY RESIDENTIAL W/ SENIOR
[Yellow box with horizontal lines]	R-2 = SINGLE FAMILY RESIDENTIAL DUPLEX
[Yellow box with vertical lines]	R-3 = MULTI-FAMILY RESIDENTIAL
[Yellow box with cross-hatch]	R-5 = SINGLE FAMILY RESIDENTIAL HIGH-DENSITY
[Green box]	AG = AGRICULTURE
[Blue box]	C = COMMERCIAL
[Light blue box]	U = LIGHT INDUSTRIAL
[Dark blue box]	LP = LOCAL RETAIL
[White box]	O = OFFICE
[Pink box]	PD/R-1 = PLANNED DEVELOPMENT, SINGLE FAMILY RESIDENTIAL
[Pink box with diagonal lines]	PD/SWP = PLANNED DEVELOPMENT, THE SHOPS AT WILLOW PARK
[Pink box with horizontal lines]	PD/SCP = PLANNED DEVELOPMENT, THE SHOPS AT CROWN POINT
[Pink box with vertical lines]	PD/TC = PLANNED DEVELOPMENT, TRINITY CHRISTIAN ACADEMY
[Pink box with cross-hatch]	PD/AMP = PLANNED DEVELOPMENT, VILLAGES AT WILLOW PARK
[Pink box with dots]	PD/SIC = PLANNED DEVELOPMENT, SENIOR LIVING COMMUNITY
[Pink box with stars]	HI-20 00 = INTERSTATE HIGHWAY 20 OVERLAY DISTRICT

UPDATED PER ORDINANCE 795-19 07/09/2019  
UPDATED PER ORDINANCE 797-19 09/27/2019





## Future Land Use Map





NOPH #2 09/17/2019

Consider and request to rezone from LR Local retail/IH-20 Overlay District to PD/R3 Planned Development/Multi-Family Senior Living at Willow Park, 9.27 acres Wesley Franklin Survey, Abstract No. 468, McKinney & Williams Survey, Abstract No. 954, City of Willow Park, Parker County, Texas, located on the Northwest corner of Mary Lou Drive and J.D. Towles Drive.

SWAYDEN LIVING TRUST  
6 CROWN RD  
WILLOW PARK, TX 76087

MIT MAR  
6647 S. FM 56  
GLEN ROSE, TX 76043

WILLOW PARK BAPTIST CHURCH  
129 S. RANCH HOUSE RD  
WILLOW PARK, TX 76008

CRAIG CRONJE UPSTROM  
4141 E. IH -20 SERVICE RD NORTH  
WEATHERFORD, TX 76087

*Mailed 09/03/2019*



## **CITY OF WILLOW PARK ORDINANCE 801-19**

**AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS PROVIDING FOR A ZONING CHANGE FROM "LR" LOCAL RETAIL AND "IH-20" OVERLAY DISTRICT TO "PD R-3" PLANNED DEVELOPMENT DISTRICT FOR 9.27 ACRES SITUATED IN THE WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468 AND MCKINNEY & WILLIAMS SURVEY, ABSTRACT NO. 954, CITY OF WILLOW PARK, TEXAS; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS, BAR-KO LAND COMPANY, LLC** (Owner) has applied for a change in zoning for 9.27 acres situated in the Wesley Franklin Survey, Abstract Number 468 and the McKinney & Williams Survey, Abstract Number 954 (the "Property") from "LR" Local Retail and "IH-20" Overlay District to "PD-R3" Planned Development District, and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements for the rezoning of the Property; and

**WHEREAS**, The City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:**

### **SECTION 1**

The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as shown on the Zoning Site Plan attached hereto as Exhibit 'A', and described by metes and bounds description attached as Exhibit 'B', by changing the zoning of said property from LR Local Retail and IH-20 Overlay District to PD R-3 Planned Development district, including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

The Senior Living at Willow Park Planned Development District establishes an age restricted Senior Living Community subject to the following conditions.

## SECTION 2 PD DEVELOPMENT STANDARDS

### **2.0 Planned Development – Senior Living Community**

**2.01** **General Description:** Senior Living units are attached units intended for lease. Access shall be allowed from access drives or parking areas connecting to adjacent public roadways. Requirements for development shall be governed by standards as described below and the City of Willow Park R-3 Design Standards (Zoning Ordinance Article 14.06.008). If there are conflicts between the requirements of Article 14.06.008 and these Planned Development requirements, the Planned Development requirements shall govern.

**2.02** **Age Limitation:** Senior Living at Willow Park shall be a Senior Living Community with the requirement for a minimum of one primary resident of each living unit to be **55** years of age or older.

**2.03** **Permitted Uses:** Permitted uses as referenced below shall be permitted within the Planned Development District. No Single Family, Duplex or Townhome uses will be allowed within this tract.

#### **Permitted Uses:**

Community Center – Private

Attached dwelling units, age restricted for Seniors 55 years of age or older.

Private Recreation Facilities including but not limited to swimming pools, clubhouse facilities, leasing office, and recreation courts.

Commercial Kitchen for residents use.

On-site amenities for residents use such as nail salon, theatre, and similar.

#### **Accessory Uses Allowed:**

Accessory buildings

Off-Street Parking

Swimming pool – private

**2.04** **Density:** The maximum allowed density for the entire tract will be 18 units per gross acre.

**2.05** **Required Parking:** Parking requirement for Senior Living at Willow Park shall be as follows:

- a. One (1) off-street parking space for each one-bedroom or efficiency dwelling unit.
- b. One and one-half (1.5) off-street parking spaces for each two bedroom or greater dwelling unit.
- c. Parking shall be permitted within all required front, side and rear yard areas.
- d. Parking and driveways shall be paved of concrete, in accordance with paving standards established by the City of Willow Park's Subdivision Ordinances.



- e. A minimum of 10% of the required parking spaces shall be enclosed garage or covered parking.

**2.06 Building Materials:** A minimum of eighty-five (85%) percent of the total exterior wall surfaces (excluding portals and fenestrations) of all structures shall be finished in two or more of the following materials: glass, stone, man-made-stone, brick, split face concrete block, stucco utilizing a three-step process or similar materials or any combination thereof. The use of wood, cementitious fiberboard, hardy board, tile or EFIS as an exterior building material shall be limited to a maximum of fifteen percent(15%), excluding door and window openings of the total wall surfacing below the top plate line. All stairwells will be located interior to the building structures and not allowed along the exterior façade.

**2.07 Architectural Standards:**

- a. Façade articulation (offsets) of not less than eighteen (18") inches in depth are required for every 50' in building surface length.
- b. Patios shall not protrude more than eighteen (18") inches from surrounding building exterior walls
- c. Maximum building length shall be 500 feet.
- d. Maximum building width shall be 300 feet.

**2.08 Minimum Dwelling Size:** The minimum floor area for units within the Planned Development shall be:

- o One bedroom unit, 500 square feet
- o Two bedroom unit, 1000 square feet
- o Minimum floor area shall exclude common corridors, basements, open and screened porches/ decks and garage.

**2.08 Lot Coverage:** No more than forty percent (40%) of the total lot area shall be covered by main buildings and no more than fifty percent (50%) of the total lot area shall be covered by the combined area of the main buildings and accessory buildings. All buildings shall comply with those standards contained in the Willow Park Zoning Ordinance.

**2.09 Front Yard:** The minimum depth of the front yard shall be thirty (30) feet.

**2.10 Side Yard:** The minimum side yard on each side of the lot shall be twenty-five (25) feet. A side yard adjacent to a public street shall be a minimum of fifteen (15) feet. A building separation of twenty (20) feet shall be provided between structures up to four stories in height. Roof or eaves may overhang by no more than four (4) feet into the side yard fronting street on corner lots only. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

**2.11 Rear Yard:** The minimum depth of the rear yard shall be twenty-five (25) feet. Nothing in this section is intended to or shall eliminate or supersede any requirements of the City of Willow Park's building or fire codes that establish regulations dealing with building separations or fire resistive construction.

- 2.12 Building Height:** The permitted height of any structures shall not exceed four (4) stories with a maximum plate height of the fourth story being 45 feet. Maximum height to any point on the roof line shall be 55 feet.
- 2.13 Gated Entry:** It is the intent of this Planned Development to provide a secure living environment for the residents of the development. Visitor parking and access to the leasing office area will be provided at the entry to the project but access to the residential area may be restricted by security gates. The balance of the property may be secured by an appropriate security fence acceptable to City of Willow Park prohibiting pedestrian traffic to enter into the residential areas.
- 2.14 Open Space:** The Senior Living at Willow Park Tract will incorporate private open space into the development as shown on the attached concept plan (Exhibit A). There is no requirement for public open space within the Senior Living at Willow Park parcel. All private open space shall be owned and maintained by the owner of Senior Living at Willow Park.
- 2.15 Garbage and Trash Collection:** The garbage and trash collection will be provided by a private collection service. All freestanding dumpsters shall be screened on three sides with an opaque masonry enclosure measuring to a height at least six (6) inches above the top of the dumpster. The opaque masonry enclosure shall be constructed of material consistent with that of the building structures. The fourth side shall be gated to shield view of the interior with gates a minimum of six (6) feet in height
- 2.16 Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.
- 2.17 Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements.

### **SECTION 3 SEVERABILITY CLAUSE**

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.



**SECTION 4  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

**PASSED AND APPROVED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

**APPROVED:**

\_\_\_\_\_  
Doyle Moss, Mayor

**ATTEST:**

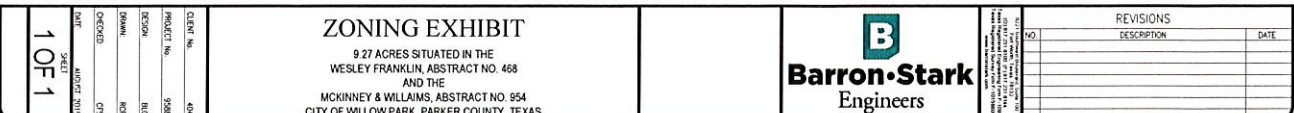
\_\_\_\_\_  
Alicia Smith TRMC, City Secretary

The Willow Park City Council in acting on Ordinance No. 801-19 did on the 8th day of October, 2019 vote as follows:

	FOR	AGAINST	ABSTAIN
Doyle Moss, Mayor	_____	_____	_____
Eric Contreras, Place 1	_____	_____	_____
Amy Fennell, Place 2	_____	_____	_____
Greg Runnebaum, Place 3	_____	_____	_____
Lea Young, Place 4	_____	_____	_____
Gary McKaughan, Place 5	_____	_____	_____

**EXHIBIT A**  
**SENIOR LIVING AT WILLOW PARK ZONING EXHIBIT**





**EXHIBIT B**  
**METES & BOUNDS DESCRIPTION**

**LEGAL DESCRIPTION**

BEING 9.27 acres situated in the WESLEY FRANKLIN SURVEY, Abstract No. 468 and the MCKINNEY & WILLIAMS SURVEY, Abstract No. 954, City of Willow Park, Parker County, Texas, being all of that certain tract of land described in deed as Tract I and a portion of that certain tract of land described in deed as Tract II, to Doyle Hanley and Becky Hanley, recorded in Volume 1681, Page 1322, Real Records, Parker County, Texas, all of that certain tract of land described in deed to Doyle Hanley and Becky Hanley, recorded in Volume 2441, Page 908, Real Records, Parker County, Texas, and being a portion of that certain tract of land described in deed to Hanley Family Partnership, LP, recorded in Instrument Number 201301215, Official Records, Parker County, Texas, being more particularly described, as follows:

COMMENCING at a 1/2" capped iron rod found stamped "C.F. Stark, RPLS 5084", at the intersection of the east line of Crown Lane, (a 70' Dedicated Right-of-Way), and the south line of J.D. Towles Drive (a 60' Dedicated Right-of-Way), said COMMENCING point being the Northwest corner of Lot 5, Block A, CROWN POINTE ADDITION, PHASE II, an Addition to the City of Willow Park, Parker County, Texas, according to the Plat recorded in Cabinet E, Slide 159, Plat Records, Parker County, Texas;

THENCE S 87°17'36" W, a distance of 92.51 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084", in the west line of said Crown Lane (70' Dedicated Right-of-Way), for the POINT OF BEGINNING and the most east corner of the herein described 9.00 acre tract;

THENCE along the south line of the herein described 9.27 acre tract, as follows:

S 48°28'58" W, a distance of 57.27 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the right, whose radius is 255.00 feet and whose long chord bears S 67°53'25" W, a chord distance of 169.47 feet;

Along said curve in a southwesterly direction, through a central angle of 38°48'55", an arc distance of 172.75 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084";

S 87° 17' 53" W, a distance of 43.57 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the left, whose radius is 725.00 feet and whose long chord bears S 73°48'38" W, a chord distance of 338.19 feet;

Along said curve in a southwesterly direction, through a central angle of 26°58'31", an arc distance of 341.33 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084";

S 79°02'08" W, a distance of 390.21 feet to a 1/2" capped iron rod set stamped "C.F. Stark RPLS 5084" at the most south corner of said Doyle Hanley and Becky Hanley Tract I;

THENCE along the west line of said Doyle Hanley and Becky Hanley Tract I, as follows:

N 41°45'51" W, a distance of 30.11 feet to an angle iron found;

N 21°33'09" W, a distance of 185.12 feet to an angle iron found;

N 04°31'01" E, a distance of 399.75 feet to a 1/2" iron rod found at the north west corner said Doyle Hanley and Becky Hanley Tract I, being in the south line of that certain tract of land described in deed to



the Tracie Swayden Living Trust, recorded in Instrument Number 201728201, Official Records, Parker County, Texas, being the northwest corner of the herein described 9.27 acre tract;

THENCE, S 73°23'56" E, along the common line of said Doyle Hanley and Becky Hanley Tract I and said Swayden Living Trust tract, a distance of 71.58 feet to a 1/2" iron rod found;

THENCE, S 82°37'41" E, continuing along the common line of said Doyle Hanley and Becky Hanley Tract I and said Swayden Living Trust tract, a distance of 91.68 feet to a 1/2" iron rod found at the southwest corner of said Doyle Hanley and Becky Hanley tract (recorded in said Volume 2441, Page 908);

THENCE, N 49°22'49" E, along the common line of said Doyle Hanley and Becky Hanley tract (recorded in said Volume 2441, Page 908) and said Swayden Living Trust tract, at a distance of 216.85 feet passing a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" in the west line Crown Lane (Right-of-Way varies), at the north corner of said Doyle Hanley and Becky Hanley tract (recorded in said Volume 2441, Page 908) and being the easterly southeast corner of said Swayden Living Trust tract, and continuing, in all a distance of 235.61 feet to a point in the proposed southwesterly line of Mary Lou Drive (a.k.a. Crown Lane) at the beginning of a curve to the left, whose radius is 380.00 feet and whose long chord bears S 47°36'22" E, a chord distance of 399.25 feet;

THENCE along said southwesterly line, as follows:

Along said curve, in a southeasterly direction, through a central angle of 63°22'50", an arc distance of 420.36 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084";  
S 79°17'47" E, a distance of 101.80 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084", at the beginning of a curve to the right, whose radius is 470.00 feet and whose long chord bears S 64°30'24" E, a chord distance of 239.96 feet;

Along said curve in a southeasterly direction, through a central angle of 29°34'46", an arc distance of 242.64 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084";  
S 49°43'00" E, a distance of 39.60 feet to a 1/2" capped iron rod found stamped "C.F. Stark RPLS 5084" at the beginning of a curve to the right, whose radius is 620.00 feet and whose long chord bears S 47°59'17" E, a chord distance of 37.41 feet;

Along said curve in a southeasterly direction, through a central angle of 03°27'28", an arc distance of 37.42 feet to the POINT OF BEGINNING and containing 9.27 acres (403,945 square feet of land, more or less.



## P&Z AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> October 08, 2019	<b>Department:</b> Development Services	<b>Presented By:</b> Betty Chew
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### AGENDA ITEM: 3

Consider and Act on a Site Plan for a senior living complex, 9.27 acres Wesley Franklin Survey, Abstract No. 468, McKinney & Williams Survey, Abstract No. 954, City of Willow Park, Parker County, Texas, located on the Northwest corner of Mary Lou Drive and J.D. Towles Drive.

### BACKGROUND:

Bar-Ko Land Company is submitting a Site Plan for a 152 unit Senior Living Complex on this 9.27 acre site located at 149 Mary Lou Drive.

The 117,000 square foot development will be located on a single lot. The development will be accessed from Mary Lou Drive (60' R.O.W.) with two entrances. There will be 184 parking spaces provided on the property. Fire Lanes, 26 foot wide, are provided around the perimeter of the property. There is an existing tree buffer, which will remain on the south side of the property which will buffer the residential development from the commercial property and IH-20.

The PD/R3 Planned Development/Multi-Family Senior Living (AGENDA ITEM 2) application and this Site Plan constitute the submittal for the property.

All infrastructure water, sanitary sewer, fire hydrants, and stormwater drainage improvements will be in compliance with City of Willow Park Design Standards.

### STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends approval of the Site Plan subject to the following:

1. Drainage Plan
2. Dimensional controls
3. Grading Plan
4. Erosion Control Plan
5. Easements for onsite water lines and meter location
6. Relocate water line from Mary Lou Drive intersection, add encasement, and provide 2 gate valves
7. Show ADA accessible route
8. Provide Knox Box Key bypass with entry gate with battery backup
9. Storz FDC (5")
10. Stand pipe sprinkler in all stairwells with Knox caps
11. Landscape shall be at least 3 ft. from fire hydrants and FDC's. Relocate tree left of club house



The Planning and Zoning Commission recommends approval of the Site Plan with the recommended changes.

The vote was unanimous.

**EXHIBITS:**

Application  
Site Plan  
Site Plan with Topography  
Landscape Plan  
Building Elevations

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$ N/A
	Source of Funding	\$ N/A



City of Willow Park Development Services  
Universal Application

Please PRINT CLEARLY to avoid delays

Please complete each field – Incomplete applications be rejected

<b>Project Information</b>		Project Name: SENIOR LIVING AT WILLOW PARK	
(X) Residential		( ) Commercial	
Valuation: \$ (round up to nearest whole dollar)		Project Address (or description): 9.27 Acres N of IH20 W Bound Service Rd @ Mary Lou	
Brief Description of the Project:		Site plan for 4 story Independent Living Facility	
Existing zoning: 'LR' & IH20 Overlay		# of Existing Lots (plats only): -0-	
Proposed zoning: PD R-3 Multi Family		# of Proposed Lots (plats only): -1-	
<b>Applicant/Contact Information</b> (this will be the primary contact)			
Name: Charles F. Stark, PE		Mailing Address: 6221 Southwest Blvd, Suite 100, FW 71632	
Company: Barron-Stark Engineers, LP			
Primary Phone: 817-296-9550		E-mail: chucks@barronstark.com	
<b>Property Owner Information</b> (if different than above)			
Name: BAR-KO LAND COMPANY, LLC		Mailing Address: 2121 McCLENDON RD, WEATHERFORD	
Company: BAR-KO LAND COMPANY, LLC			
Primary Phone: 817-253-2494		E-mail: bryson704@hotmail.com	
Other Phone:		Fax:	
<b>(X) Developer / ( ) Engineer / ( ) Surveyor Information</b> (if applicable)			
Name: Ryan Spring		Mailing Address: 8235 Douglas Ave., #1300, Dallas, Tx 75225	
Company: Hunt Properties, Inc.			
Primary Phone:		E-mail: ryan @huntproperties.com	
Other Phone:		Fax:	
<b>For City Use Only</b>			
Project Number:		Permit Fee:	
Submittal Date: 08/27/2019		Plan Review Fee:	
Accepted By:		Total Fee:	
Receipt #:		Method of Payment:	

Application not complete without attached form(s) and/or signature page

516 Ranch/House Rd. Willow Park, TX 76087 (817) 441-7108 phone – (817) 441-6900 fax  
www.willowpark.org

Rec'd 08/27/2019 [Signature]





## City of Willow Park Development Services Department

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### SITE PLAN REQUIREMENTS

A Site Plan is an architectural plan of proposed improvements to a property; including building footprint, parking, ingress, egress, roadways, sidewalks, water lines, sewer lines, drainage facilities, auxiliary structures, lighting, and any public or private infrastructure. Site plans also include elevations of proposed buildings, topographical information, location in relation to flood plain, impact analysis

Site Plan applications must contain:

- Universal development application.
- A single site plan document including all of the information required on the site plan requirement checklist.
- A landscaping plan that includes the property boundaries, building and improvement footprints, and labels all green space, trees, shrubs, vegetation, and landscaping.
- A drainage plan that includes the property boundaries, building and improvement footprints, topography, and any flood plain designations.
- Elevations of all proposed buildings.
- A compact disc containing a .pdf copy of all plans.
- Three (3) paper hard copies of all plans.

If an exception or modification to the regulations is requested, the reason and/or request for each shall be provided on a separate sheet on letterhead and directly on the plans with sufficient details as to allow a determination by the appropriate approval body. Additional information may be required. Reference the specific requirement. Exceptions may require the approval of the City's Board of Adjustments.

Prior to public review before the Planning & Zoning Commission and City Council the applicant may be asked to submit up to fifteen (15) paper hard copies of all plans.

Applicant Signature: \_\_\_\_\_

Date: 8 / 26 / 19

*Recd. 08/27/2019*



# City of Willow Park Development Services Department

Applicant: Please complete the following

For Office Use Only

ITEM	INITIAL	SITE PLAN REQUIREMENTS	N/A	COMPLETE	MISSING
1	skp	Site boundary is indicated by a heavy solid line Intermittent with 2 dash lines, dimensioned with bearings and distances; Indicate and label lot lines, setback lines, and distance to the nearest cross street.		✓	
2	skp	Site location/vicinity map clearly showing the location of the subject property with cross streets is provided. Indicate scale or NTS and provide north arrow.		✓	
3	skp	A north arrow is provided with drawing oriented such as that north is located to the top or left side of drawing sheet.		✓	
4	skp	A written and bar scale is provided. 1"=200' unless previously approved by staff 40'		✓	
5	skp	A title block is in the lower right corner that includes large, boldly printed "SITE PLAN", owner and engineer's names, addresses and phone numbers, subdivision name, lot number/s, block number or letter.		✓	
6	skp	Tree masses are clouded with accurate canopy widths shown to determine critical root zone where located within close proximity to existing or proposed pavement. <i>NOTE - GREEN BELT</i>		✓	
7	skp	Flood plain boundary is shown and indicates F.I.R.M. Community panel number and date, and flow line of drainage ways and creeks, as applicable.		✓	
8	skp	Existing topography lines are shown and proposed contours are shown by a medium weight solid line. Topography is shown at minimum five (5) foot contours referenced to sea level city datum. Spot elevations and additional contours may be required in certain areas depending on topography.		✓	
9	skp	Accurately located, labeled and dimensioned footprint of proposed structure(s).		✓	
10	skp	Accurately located, labeled and dimensioned footprint of existing structure(s) <u>to remain</u> is/are shown by a heavy dashed line.	✓		
11	skp	Accurately located and labeled footprint of structure(s) proposed for demolition is/are shown by a light dashed line. Structures to be demolished are clearly labeled/ identified.	✓		
12	skp	Accurately located footprint of nonresidential structure(s) on abutting properties is/are shown by a light, solid line.		✓	
13	skp	Adjacent property lines within 200 feet of the subject property lines are shown by a light dashed line.		✓	
14	skp	Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped etc.) within 200 feet of the property line is indicated.		✓	
15	skp	Adjacent property owner(s), or subdivision name, with lot, block and recording information, is shown.		✓	
16	skp	Finished floor elevation of existing and/or proposed structures is referenced to sea level datum.		✓	
17	skp	Full width of streets and alley rights-of-way with centerlines and backs of curbs or paving edges within 200 feet of the property line are dimensioned and street name or use is labeled.		✓	





# City of Willow Park Development Services Department

18	CP	Driveways within 200 feet of the property line: <input checked="" type="checkbox"/> a. Are accurately located and dimensioned. <input checked="" type="checkbox"/> b. Distances to the nearest on-site driveway and/or off-site driveway is accurately located and dimensioned as measured from the centerlines. <input checked="" type="checkbox"/> c. Distance to the nearest street is shown as measured from the end of curb-return radius of the adjacent street to the driveway centerline. <input checked="" type="checkbox"/> d. Typical radii are shown.			
19	CP	Drive-thru lanes, menu board location, pick-up window/s, maneuvering area, stacking lanes and escape lanes are indicated and dimensioned.			
20	CP	Sidewalks and barrier-free ramps (BFR) within 200 feet of and on the subject property are shown, dimensioned and labeled.			
21	CP	Off-site streets and roads: <input checked="" type="checkbox"/> a. Existing and proposed roadways with medians and median openings adjacent to and within 200 feet of the project site are shown and dimensioned. <input checked="" type="checkbox"/> b. Medians, median openings with associated left-turn lanes, continuous left turn lanes, transition and stacking lengths are shown and dimensioned within 200 feet of the project site. <input checked="" type="checkbox"/> c. Existing, proposed, and required acceleration/deceleration lanes within 200 feet of the project site are shown dimensioned, stacking length indicated, and right-of-way dedication is indicated as applicable. <input checked="" type="checkbox"/> d.. Distance to the nearest signalized intersection is indicated			
22	CP	All parking spaces are shown, group numbered, and typical dimensions are provided. Indicate required two-foot overhang, as applicable.			
23	CP	Handicapped parking spaces and barrier-free access points are shown, dimensioned, and labeled.			
24	CP	Loading and maneuvering areas are indicated, labeled, and dimensioned. Loading area screening method is indicated and labeled.			
25	CP	Dumpster and/or compactor locations and screening methods are shown. Indicate screening materials and height for all sides. Screening material is to match structure façade with enclosure having solid metal gates. Specs and sketch available from staff.			
26	CP	Paving materials, boundaries and type are indicated.			
27	CP	Access easements are accurately located/ tied down, labeled and dimensioned.			
28	CP	Off-site parking is shown and dimensioned from the off-site parking area to the structure or use as applicable. A parking easement or shared parking agreement is required and is provided in draft format.			
29	CP	Fire lanes are shown and dimensioned at a minimum of 24 feet in width, with internal radii of not less than 20 feet. Label and use an approximate 20 percent shade for fire lanes to differentiate from other paving. Ensure that required labeling and dimensioning is readable through shading.			
30	CP	Proposed dedications and reservations of land for public use including, but not limited to, rights-of-way, easements, park land, open space, drainage ways, floodplains and facility sites are accurately located, dimensioned and labeled.			
31	CP	Screening walls are shown with dimensions and materials. An inset is provided that shows the wall			





# City of Willow Park Development Services Department

	CD	details and column placement as applicable. Plans for masonry walls are to be signed and sealed by a structural engineer and approved by the City Engineer. Channeled or slip-panel/pre-cast walls are prohibited.	✓		
32	CD	The location of living screens are shown and labeled. Details of a living screen are provided on the Landscape Plan indicating plant species/name, height at planting, and spacing.	✓		
33	CD	A lighting plan that shows location by fixture type is included. A lighting data chart is used to reference fixture type (i.e. pole or wall pack) and height. No lighting source (i.e. bulb, reflector, etc.) is allowed to be visible from an adjacent property or public street.			✓
34	CD	Existing and proposed water and sanitary sewer lines, storm sewer pipe, with sizes, valves, fire hydrants, manholes, and other utility structures on-site or immediately adjacent to the site are shown and labeled.			✓
35	CD	Boundaries of detention areas are located. Indicate above and/or below ground detention.	✓		
36	CD	Details of construction materials and architecture are shown on required Building Elevation/Facade Plan. Color, type and texture to match Zoning requirements.		✓	
37	CD	Communication towers are shown and a fall distance/collapse zone is indicated.	✓		
38	CD	Provide Site Data Table that references distinct numbers for each lot and all building (existing and proposed) that includes, if applicable		✓	
39	CD	Explain in detail the proposed use(s) for each structure <b>SEE ATTACHED SITE PLAN</b>		✓	
40	CD	Total lot area less building footprint (by square feet):  Square footage of building:  Building height (stories and feet)  Number of Units per Acre (apartments only):		✓	
41	CD	Parking required by use with applicable parking ratios indicated for each use:  Parking Provided Indicated:  Handicap parking as required per COWP ordinance and TAS/ADA requirements: ✓		✓	
42	CD	Provide service verification from all utility providers			✓
43	CD	List any variance requested for this property, dates, and approving authority <b>PD SR. LIVING</b>		✓	
44	CD	Provide storm water and drainage study and design			✓
45	CD	Proposed domestic water usage (gallons per day, month, and year)			✓
46	CD	Are any irrigation wells proposed?		✓	
47	CD	Applicant has received Landscaping Ordinance and requirements		✓	
48	CD	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of the Site Plan for Board review		✓	
49	CD	Applicant must submit eight (8) hard copies, 18" x 24", and one (1) digital (.pdf) copy of all Annexations, Final Plans and/or other Site Plans for Board review		✓	





# City of Willow Park Development Services Department

## Site Plan Engineering Review

### Applicant Questions:

Total gross lot area of the development: 403,945 sq. ft.

Area of lot covered with structures and impervious surfaces: 194,896 sq. ft.

Total number of structures: 1 Total number of habitable structures: 152 Units

Square footage of each building: 117,216 total sq. ft.          sq. ft.          sq. ft.

Proposed use for each structure:

SENIOR LIVING FACILITIES WITH CLUB HOUSE

Building stories: 4

Building height: 47 ft.

Total number of parking spaces: 184

Number of handicap spaces: 8

Does the site include any storm water retention or detention? Yes ☐ No ☒

Does the project include any engineered alternatives from code requirements? Yes ☐ No ☒

### Staff Review: (for official use only)

Does the proposed project pose any engineering concerns? Yes ☐ No ☒

1. PROVIDE DRAINAGE PLAN

2. PROVIDE DIMENSIONAL CONTROL

3. PROPOSED GRADING

Approved ☒

Not Approved ☐

Needs More Information or Corrections ☒

4. SHOW EROSION CONTROL

5. SHOW EASEMENTS FOR ON SITE WATER METERS

Engineering Approval Signature: DEREK TURNER Date: 09/10/2019

516 Ranch House Rd. Willow Park, TX 76087 (817) 441-7108 phone - (817) 441-6900 fax

6. MOVE WATER LINE OUT OF INTERSECTION OF MARY LOU DR. ADD ENCASEMENT, PROVIDE (2) GATE VALVES

[www.willowpark.org](http://www.willowpark.org)



# City of Willow Park Development Services Department

## Site Plan Building Official Review

### Applicant Questions:

Front building setback: 30 ft.

Rear building setback: 25 ft.

Side building setback: 25 ft.

Side building setback: 25 ft.

Does the site include any utility/electric/gas/water/sewer easements? Yes ☐ No ☒

Does the site include any drainage easements? ☒ Yes ☐ No

Does the site include any roadway/through fare easements? Yes ☐ No ☒

### Staff Review: (for official use only)

Does the site plan include all the required designations? Yes ☐ No ☐

Are the setbacks for the building sufficient? ☒ Yes ☐ No

Are there any easement conflicts? Yes ☐ No ☐

Does the proposed project pose any planning concerns? Yes ☐ No ☒

1. ADA ACCESSIBLE ROUTE
2. LIGHTING PLAN

☒ Approved

☐ Not Approved

☒ Needs More Information <sup>WITH</sup> or Corrections

Building Official Approval Signature:

BETTY L. CHEW

Date:

09/11/2019





# City of Willow Park Development Services Department

## Site Plan Fire Review

### Applicant Questions:

Will the building have a fire alarm? X Yes No

Will the building have a fire sprinkler/suppression system? X Yes No

Is the building taller than two-stories? X Yes No

If yes, how many stories? 4

Will the project require installation of a new fire hydrant? X Yes No

If yes, how many fire hydrants? 4

What is the size of the proposed fire connections? 6"

### Staff Review: (for official use only)

Does the proposed project include the sufficient fire connections? Yes No

Is the proposed project an adequate distance to a fire hydrant? Yes No

Does the project have the minimum <sup>26'</sup>~~24'~~ hard surface? Yes No

Is the fire lane appropriate? Yes No

Does the site have the proper turning radius? Yes No

Does the proposed project pose any safety concerns? Yes No

Does the proposed project require any additional fire services? Yes No

SEE ATTACHED  
COMMENTS

Approved

Not Approved

Needs More Information WITH Corrections

Fire Department Approval Signature:

MIKE LENOIR

Date: 09/09/2019



## Plan Review

Development Department

From: Bernie Parker, Director of Development

Departments

☐

City Engineer

☐

Public Works

☒

Fire

☐

Bureau Veritas

☐

Development Services

Date Delivered: 08-26-2019

Return Date: 09-06-2019

Project: Senior Living Mary Lou Drive area

Comments:

1. Knox Box key bypass with entry gate on battery backup.
2. Storz FDC 5inch.
3. Stand pipe sprinkler in all stairwells. With knox caps on 2.5inch.
4. Landscape shall not be within 3 ft of the Hydrant and FDC A1B1 left of the club house. I recommend relocating this tree!
5. Obtain address from fire department. Addressing must be correct when submitted on plans. *149 MARY LOU DR.*





# City of Willow Park Development Services Department

## Site Plan Landscaping Review

### Applicant Questions:

Total gross lot area of the development: 403,945 sq. ft.

Area of lot covered with structures and impervious surfaces: 194,896 sq. ft.

Percentage of lot covered with structures and impervious surfaces: 48 %

Area of green space/landscaped areas: 209,049 sq. ft.

Percentage of green space/landscaped areas: 52 %

Total number of parking spaces: 184

Does the site include any vegetative erosion or storm water control? ☒ Yes ☐ No

### Staff Review: (for official use only)

Does the proposed project pose any landscaping concerns?

Yes

☒ No

ALL Landscaping shall be at least 3ft.  
from FIRE HYDRANTS AND FDC's.  
RELOCATE TREE TO LEFT OF CLUB HOUSE.

☒ Approved

☐ Not Approved

☐ Needs More Information or Corrections

Landscaping Approval Signature:

BETTY L. CHEW

Date: 09/10/2019



## City of Willow Park Development Services Department

### Site Plan Flood Plain Review

#### Applicant Questions:

Is any part of the site plan in the 100-year flood plain? Yes ☐ X No ☒

If yes, what is the base flood elevation for the area? NA

Is any built improvement in the 100-year flood plain? Yes ☐ X No ☒

If yes, what is the base flood elevation for the area? NA

Is any habitable structure in the 100-year flood plain? Yes ☐ X No ☒

If yes, what is the base flood elevation for the area? NA

If yes, what is the finished floor elevation for the habitable structure? NA

If yes, please list any wet or dry flood proofing measures being used?

#### Staff Review: (for official use only)

Base flood elevations confirmed? ☒ Yes ☐ No

Will the project require a "post-grade" elevation certificate? ☒ Yes ☐ No

Flood proofing measures approved? ☐ Yes ☐ No

Does the proposed project pose any safety concerns? ☐ Yes ☒ No

☒ Approved

☐ Not Approved

☒ Needs More Information or Corrections

Flood Plain Manager Approval Signature:

DEREK TURNER

Date:

09/10/2019



USER: CYNTHIA SMITH  
PLOT: 01/20/2019 11:32 AM  
FILE: WILLOW PARK STARK SHIFTS ENCL 4 - HUNT PROPERTIES.DWG  
PROPOSED 100 UNIT INDEPENDENT LIVING/CONDO DWG/ENCL 4/588 SITE PLAN NO TOP/DOING

GENERAL NOTES:

- BEARINGS & COORDINATES SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, N.A.D. 83 DATUM (TEXAS NORTH CENTRAL ZONE 4202) DERIVED FROM RESOLVED OPUS SOLUTIONS.
- ANY REFERENCE TO THE 100 YEAR FLOOD PLAIN OR FLOOD HAZARD ZONES ARE AN ESTIMATE BASED ON THE DATA SHOWN ON THE FLOOD INSURANCE RATE MAP PROVIDED BY FEMA AND SHOULD NOT BE INTERPRETED AS A STUDY OR DETERMINATION OF THE FLOODING PROPENSITIES OF THIS PROPERTY. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR PARKER COUNTY, TEXAS, DATED SEPTEMBER 26, 2008 MAP NO. 48367C0425E, THE PROPERTY DESCRIBED HEREIN DOES NOT APPEAR TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA.
- PROPERTY SITUATED IN THE CITY OF WILLOW PARK.
- PROPERTY SITUATED IN ALEDO ISD.
- PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER.
- ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED.
- ALL RADII SHOWN ARE TO THE BACK OF CURB.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6" HIGH WITH 8" CONCRETE PAVING AT 3,000 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SAN SEWER MANHOLE
	EXISTING POWER POLE
	CONCRETE PAVING
	FIRE LANE
	SIDEWALK
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT

SITE PLAN DATA TABLE	
ACREAGE	9.27 ACRES
EXISTING ZONING	LR
PROPOSED ZONING	PD R-3
PROPOSED STRUCTURES	4 STORY - SENIOR LIVING - 117,216 sf
PERCENT IMPERVIOUS	48%
1 BR	112 @ 1.0 = 112
2 BR	450 @ 1.5 = 60
STAFF	12
TOTAL	184
PARKING PROVIDED	193 (INCLUDES 8 HC)
OPEN SPACE	52%

BUILDING TABULATION

TYPE	# BLDGS	UNITS/BLDG	UNITS TYPES	PER BLDG. S.F.	TOTAL S.F.
A	1	152	A1-56, A2-40, A3-16, B1-20, B2-4, B3-16	117,216	117,216
TOTAL	1	152			117,216

UNIT TYPES	# UNITS	UNIT S.F.	TOTAL S.F.
A1 - ONE BEDROOM, ONE BATH	56	600	33,600
A2 - ONE BEDROOM, ONE BATH	40	671	26,840
A3 - ONE BEDROOM, ONE BATH	16	777	12,432
B1 - TWO BEDROOM, ONE BATH	20	1,059	21,180
B2 - TWO BEDROOM, TWO BATH	4	1,099	4,396
B3 - TWO BEDROOM, TWO BATH	16	1,173	18,768
TOTAL	152		117,216

OWNER/APPLICANT  
BAR-KO LAND COMPANY, LLC  
2121 MCLENDON ROAD  
WEATHERFORD, TX 76088  
PH: 817-253-2494

SENIOR LIVING  
AT  
WILLOW PARK  
City of Willow Park  
Parker County, Texas

SITE PLAN

9.27 ACRES SITUATED IN THE  
WESLEY FRANKLIN, ABSTRACT NO. 468  
AND THE  
MCKINNEY & WILLIAMS, ABSTRACT NO. 954  
CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

CLIENT No. 404  
PROJECT No. 9588  
DESIGN: BLC  
DRAWN: RCP  
CHECKED: CFS  
DATE: AUGUST 2019

SHEET  
EX A

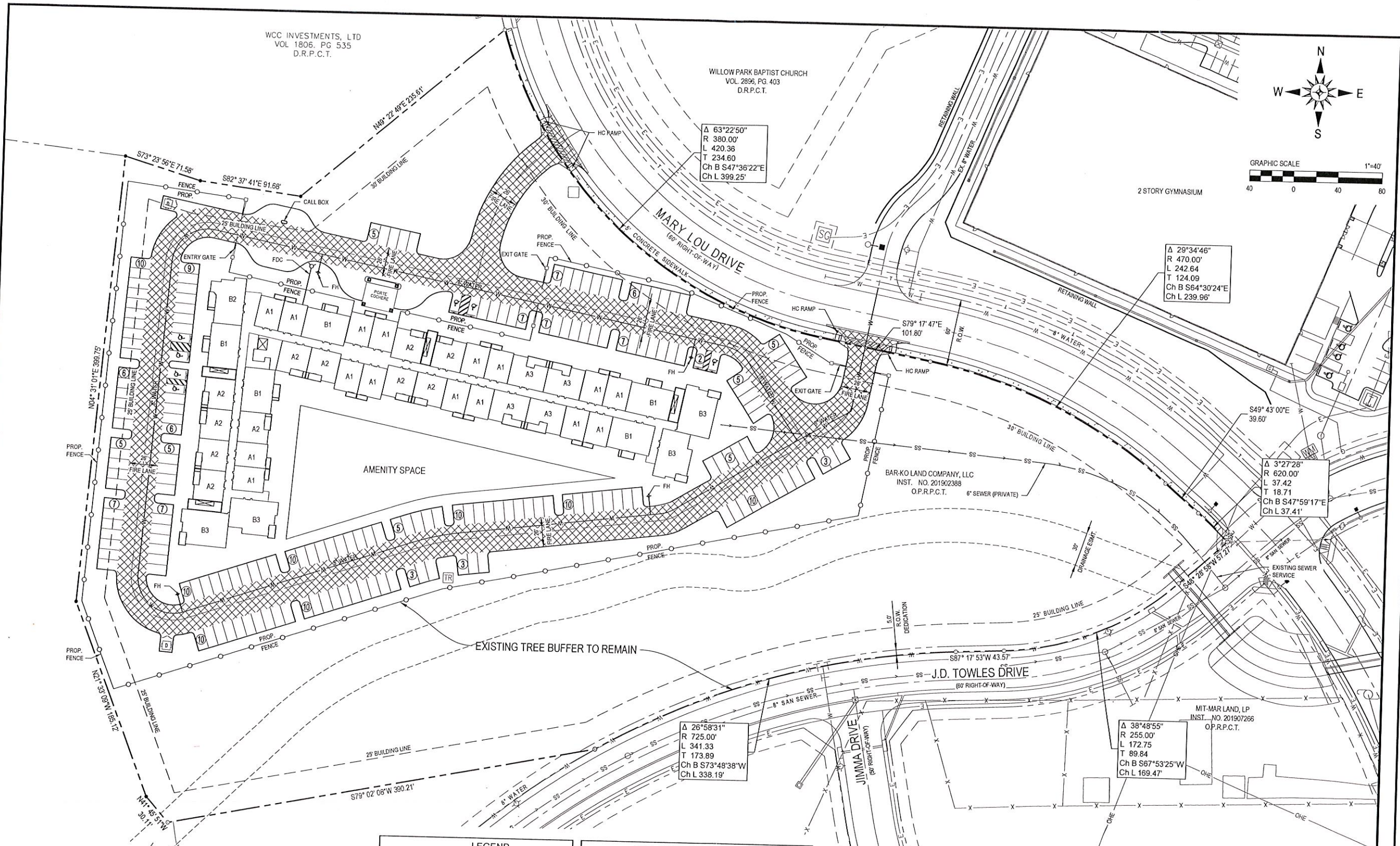
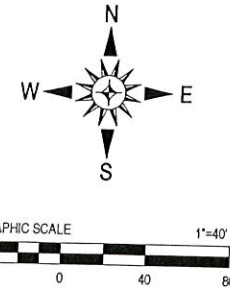


**Barron-Stark**  
Engineers

6221 Southwest Boulevard, Suite 100  
Fort Worth, Texas 76132  
(817) 251-8100 (F) (817) 251-8144  
Texas Registered Engineering Firm P-10999  
Texas Registered Survey Firm F-101588-00  
www.barronstark.com

REVISIONS

NO.	DESCRIPTION	DATE





- GENERAL NOTES:**
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SYMBOL	DESCRIPTION
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	EXISTING FIRE HYDRANT
	EXISTING SAN, SEWER MANHOLE
	EXISTING POWER POLE
	CONCRETE PAVING
	FIRE LANE
	SIDEWALK
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT

SITE PLAN DATA TABLE	
ACREAGE	9.27 ACRES
EXISTING ZONING	AG
PROPOSED ZONING	PD R-3
PROPOSED STRUCTURES	4 STORY - SENIOR LIVING - 117,216 sf
PERCENT IMPERVIOUS	48%
1 BR	112 @ 1.0 = 112
2 BR	450 @ 1.5 = 60
STAFF	12
TOTAL	184
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OPEN SPACE	52%

**BUILDING TABULATION**

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OWNER/APPLICANT  
BAR-KO LAND COMPANY, LLC  
2121 McLENDON ROAD  
WEATHERFORD, TX 76088  
PH: 817-253-2494

SENIOR LIVING  
AT  
WILLOW PARK  
City of Willow Park  
Parker County, Texas

**SITE PLAN**

9.27 ACRES SITUATED IN THE  
WESLEY FRANKLIN, ABSTRACT NO. 468  
AND THE  
MCKINNEY & WILLIAMS, ABSTRACT NO. 954  
CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

CLIENT No. 404  
PROJECT No. 9558  
DESIGN: BLC  
DRAWN: RCP  
CHECKED: CFS

DATE: AUGUST 2019

SHEET  
**EX A**



**Barron-Stark**  
Engineers

6221 Southwest Boulevard, Suite 100  
Fort Worth, Texas 76123  
TEL 817.231.8100 FAX 817.231.8144  
Texas Registered Engineering Firm #105995  
Texas Registered Survey Firm #10158800  
www.barronstark.com

REVISIONS

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

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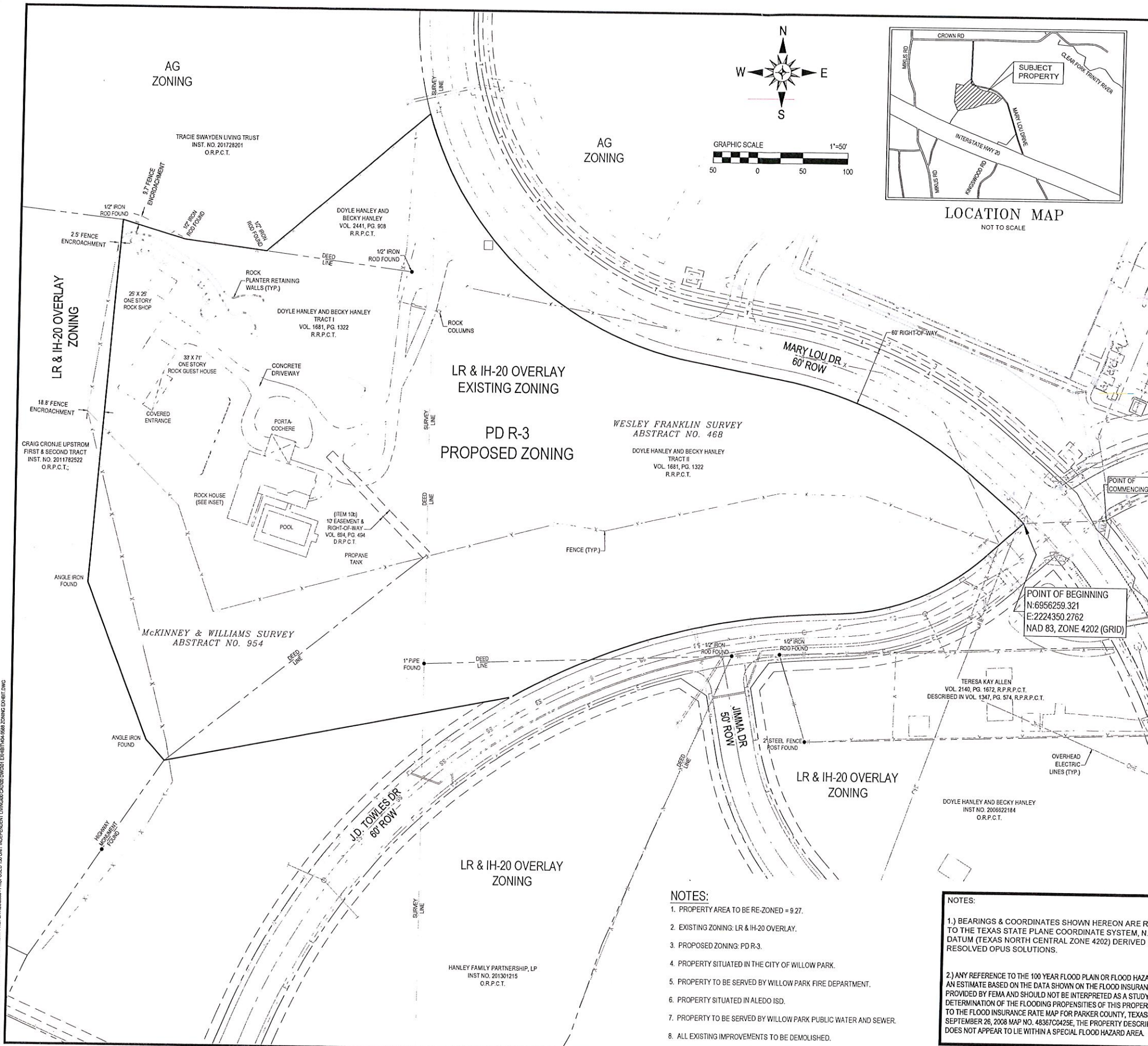
NO.

DATE

DESCRIPTION



USER: CNTHA SWIFT  
DATE: 09/10/2019 12:21 PM  
FILE NAME: WILLOW PARK STARK SWIFT EXHIBIT.dwg  
PROPOSED 9.27 ACRES SITUATED IN THE WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468  
HAY PROPERTIES/ES&S  
CITY OF WILLOW PARK, TEXAS



- NOTES:
1. PROPERTY AREA TO BE RE-ZONED = 9.27.
  2. EXISTING ZONING: LR & IH-20 OVERLAY.
  3. PROPOSED ZONING: PD R-3.
  4. PROPERTY SITUATED IN THE CITY OF WILLOW PARK.
  5. PROPERTY TO BE SERVED BY WILLOW PARK FIRE DEPARTMENT.
  6. PROPERTY SITUATED IN ALEDO ISD.
  7. PROPERTY TO BE SERVED BY WILLOW PARK PUBLIC WATER AND SEWER.
  8. ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED.

- NOTES:
- 1.) BEARINGS & COORDINATES SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, N.A.D. 83 DATUM (TEXAS NORTH CENTRAL ZONE 4202) DERIVED FROM RESOLVED OPUS SOLUTIONS.
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#### LEGAL DESCRIPTION

BEING 9.27 ACRES SITUATED IN THE WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468 AND THE MCKINNEY & WILLIAMS SURVEY, ABSTRACT NO. 954, CITY OF WILLOW PARK, PARKER COUNTY, TEXAS, BEING ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED AS TRACT I AND A PORTION OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED AS TRACT II, TO DOYLE HANLEY AND BECKY HANLEY, RECORDED IN VOLUME 1681, PAGE 1322, REAL RECORDS, PARKER COUNTY, TEXAS, ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO DOYLE HANLEY AND BECKY HANLEY, RECORDED IN VOLUME 2441, PAGE 908, REAL RECORDS, PARKER COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO HANLEY FAMILY PARTNERSHIP, LP, RECORDED IN INSTRUMENT NUMBER 201301215, OFFICIAL RECORDS, PARKER COUNTY, TEXAS, BEING MORE PARTICULARLY DESCRIBED, AS FOLLOWS:

COMMENCING AT A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK, RPLS 5084", AT THE INTERSECTION OF THE EAST LINE OF CROWN LANE, (A 70' DEDICATED RIGHT-OF-WAY), AND THE SOUTH LINE OF J.D. TOWLES DRIVE (A 60' DEDICATED RIGHT-OF-WAY), SAID COMMENCING POINT BEING THE NORTHWEST CORNER OF LOT 5, BLOCK A, CROWN POINTE ADDITION, PHASE II, AN ADDITION TO THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET E, SLIDE 159, PLAT RECORDS, PARKER COUNTY, TEXAS,

THENCE S 87°17'38" W, A DISTANCE OF 92.51 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084", IN THE WEST LINE OF SAID CROWN LANE (70' DEDICATED RIGHT-OF-WAY), FOR THE POINT OF BEGINNING AND THE MOST EAST CORNER OF THE HEREIN DESCRIBED 9.27 ACRE TRACT,

THENCE ALONG THE SOUTH LINE OF THE HEREIN DESCRIBED 9.27 ACRE TRACT, AS FOLLOWS:

S 48°28'58" W, A DISTANCE OF 57.27 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084" AT THE BEGINNING OF A CURVE TO THE RIGHT, WHOSE RADIUS IS 255.00 FEET AND WHOSE LONG CHORD BEARS S 67°53'25" W, A CHORD DISTANCE OF 169.47 FEET; ALONG SAID CURVE IN A SOUTHWESTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 38°45'55", AN ARC DISTANCE OF 172.75 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084"; S 87°17'53" W, A DISTANCE OF 43.57 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084" AT THE BEGINNING OF A CURVE TO THE LEFT, WHOSE RADIUS IS 725.00 FEET AND WHOSE LONG CHORD BEARS S 73°48'38" W, A CHORD DISTANCE OF 338.19 FEET; ALONG SAID CURVE IN A SOUTHWESTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 38°58'31", AN ARC DISTANCE OF 341.33 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084"; S 79°02'08" W, A DISTANCE OF 390.21 FEET TO A 1/2" CAPPED IRON ROD SET STAMPED "C.F. STARK RPLS 5084" AT THE MOST SOUTH CORNER OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT I;

THENCE ALONG THE WEST LINE OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT I, AS FOLLOWS:

N 41°45'51" W, A DISTANCE OF 30.11 FEET TO AN ANGLE IRON FOUND; N 21°33'09" W, A DISTANCE OF 185.12 FEET TO AN ANGLE IRON FOUND; N 04°31'01" E, A DISTANCE OF 399.75 FEET TO A 1/2" IRON ROD FOUND AT THE NORTH WEST CORNER SAID DOYLE HANLEY AND BECKY HANLEY TRACT I, BEING IN THE SOUTH LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO THE TRACIE SWAYDEN LIVING TRUST, RECORDED IN INSTRUMENT NUMBER 201728201, OFFICIAL RECORDS, PARKER COUNTY, TEXAS, BEING THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 9.27 ACRE TRACT;

THENCE, S 73°23'56" E, ALONG THE COMMON LINE OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT I AND SAID SWAYDEN LIVING TRUST TRACT, A DISTANCE OF 71.58 FEET TO A 1/2" IRON ROD FOUND;

THENCE, S 82°37'41" E, CONTINUING ALONG THE COMMON LINE OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT I AND SAID SWAYDEN LIVING TRUST TRACT, A DISTANCE OF 81.68 FEET TO A 1/2" IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT (RECORDED IN SAID VOLUME 2441, PAGE 908);

THENCE, N 49°22'49" E, ALONG THE COMMON LINE OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT (RECORDED IN SAID VOLUME 2441, PAGE 908) AND SAID SWAYDEN LIVING TRUST TRACT, AT A DISTANCE OF 216.85 FEET PASSING A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK RPLS 5084" IN THE WEST LINE CROWN LANE (RIGHT-OF-WAY VARIES), AT THE NORTH CORNER OF SAID DOYLE HANLEY AND BECKY HANLEY TRACT (RECORDED IN SAID VOLUME 2441, PAGE 908) AND BEING THE EASTERLY SOUTHEAST CORNER OF SAID SWAYDEN LIVING TRUST TRACT, AND CONTINUING, IN ALL A DISTANCE OF 235.61 FEET TO A POINT IN THE PROPOSED SOUTHWESTERLY LINE OF MARY LOU DRIVE (A.K.A. CROWN LANE) AT THE BEGINNING OF A CURVE TO THE LEFT, WHOSE RADIUS IS 380.00 FEET AND WHOSE LONG CHORD BEARS S 47°36'22" E, A CHORD DISTANCE OF 399.25 FEET;

THENCE ALONG SAID SOUTHWESTERLY LINE, AS FOLLOWS:

ALONG SAID CURVE, IN A SOUTHEASTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 63°22'50", AN ARC DISTANCE OF 420.38 FEET TO A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK RPLS 5084"; S 79°17'47" E, A DISTANCE OF 101.80 FEET TO A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK RPLS 5084", AT THE BEGINNING OF A CURVE TO THE RIGHT, WHOSE RADIUS IS 470.00 FEET AND WHOSE LONG CHORD BEARS S 64°30'24" E, A CHORD DISTANCE OF 239.96 FEET;

ALONG SAID CURVE IN A SOUTHEASTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 29°34'46", AN ARC DISTANCE OF 242.64 FEET TO A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK RPLS 5084"; S 49°43'00" E, A DISTANCE OF 39.60 FEET TO A 1/2" CAPPED IRON ROD FOUND STAMPED "C.F. STARK RPLS 5084" AT THE BEGINNING OF A CURVE TO THE RIGHT, WHOSE RADIUS IS 620.00 FEET AND WHOSE LONG CHORD BEARS S 47°59'17" E, A CHORD DISTANCE OF 37.41 FEET;

ALONG SAID CURVE IN A SOUTHEASTERLY DIRECTION, THROUGH A CENTRAL ANGLE OF 03°27'28", AN ARC DISTANCE OF 37.42 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.27 ACRES (403,945 SQUARE FEET OF LAND, MORE OR LESS.



USE OF THIS ELECTRONIC SEAL/SIGNATURE  
AUTHORIZED BY CHARLES F. STARK, P.E.  
TEXAS REGISTRATION NO. 57357

## SENIOR LIVING AT WILLOW PARK

City of Willow Park  
Parker County, Texas

REVISIONS	DESCRIPTION	DATE
NO.		
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

6221 Southwest Boulevard, Suite 100  
Fort Worth, Texas 76133  
(817) 231-8100 (F) (817) 231-8144  
Texas Registered Engineering Firm F-103691  
Texas Registered Survey Firm F-10158800  
www.barronstark.com

**Barron-Stark**  
Engineers

## ZONING EXHIBIT

9.27 ACRES SITUATED IN THE  
WESLEY FRANKLIN SURVEY, ABSTRACT NO. 468  
AND THE  
MCKINNEY & WILLIAMS SURVEY, ABSTRACT NO. 954  
CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

CLIENT No.	404
PROJECT No.	9588
DESIGN:	BLC
DRAWN:	RCP
CHECKED:	CFS
DATE:	AUGUST 2019

SHEET  
1 OF 1



**SENIOR LIVING AT WILLOW PARK  
WILLOW PARK, TEXAS**

**CITY REQUIREMENTS**

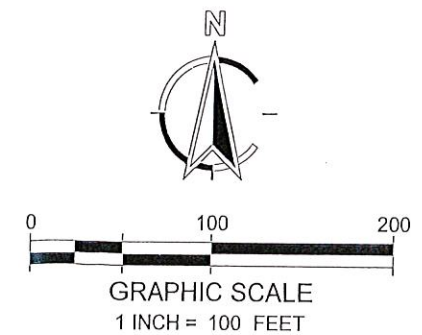
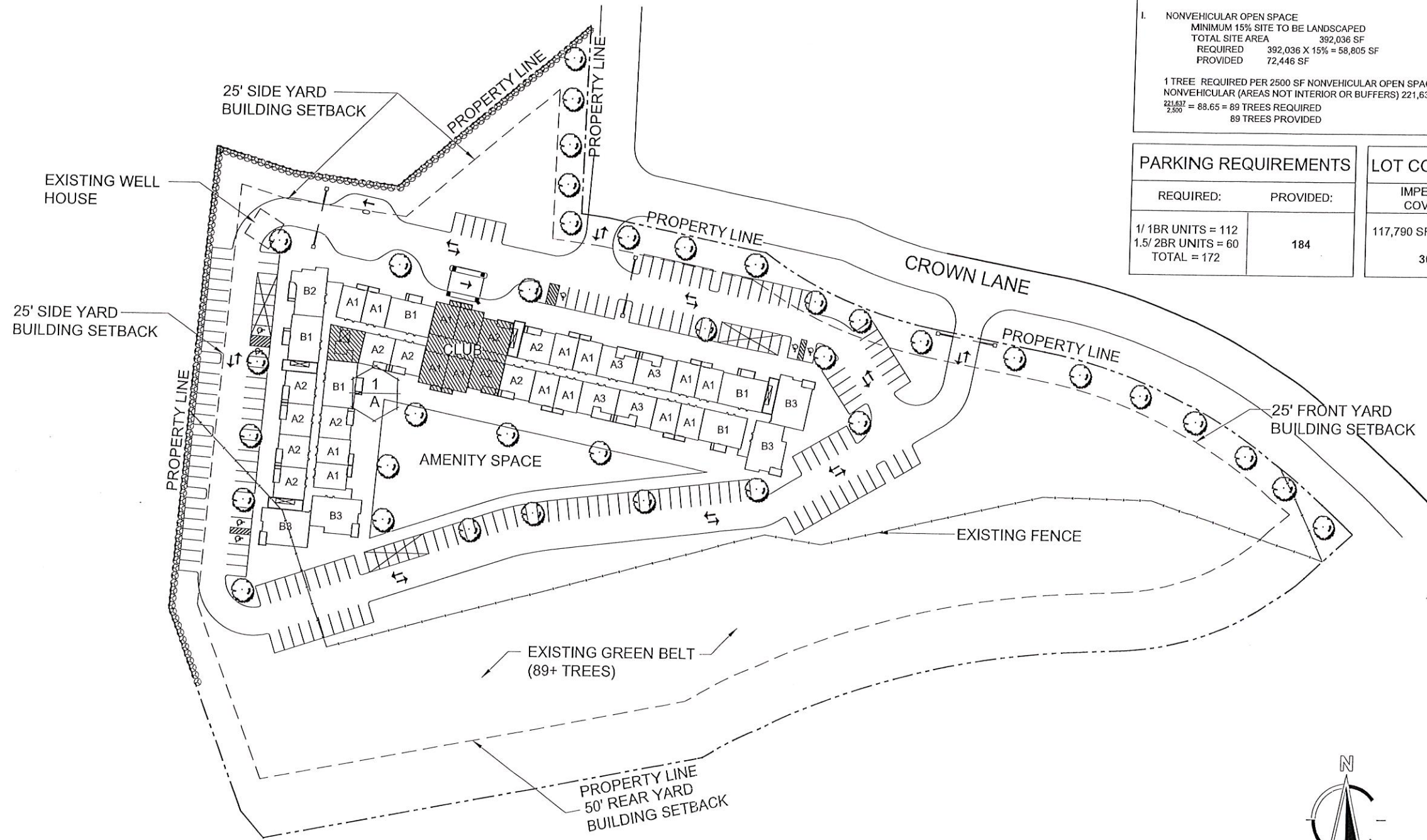
- H.1. INTERIOR LANDSCAPING  
GROSS PARKING 75,891  
INTERIOR LANDSCAPE AREA  
REQUIRED 7,589 SF (10%)  
PROVIDED 52,446 SF (69.1%)
- 1 TREE PER 400 SF REQUIRED INTERIOR LANDSCAPE  
 $\frac{7,589}{400} = 19 = 19$  TREES REQUIRED  
19 TREES PROPOSED
- ALL PARKING TO BE SCREENED FOR R.O.W.'S & ADJACENT PROPERTY PROVIDED AS REQUIRED.
- H.2. PERIMETER LANDSCAPING  
1 TREE PER 60 LF  
CROWN LANE  
 $\frac{60}{3.3} = 17.9 = 18$  TREES REQUIRED  
18 TREES PROPOSED
- I. NONVEHICULAR OPEN SPACE  
MINIMUM 15% SITE TO BE LANDSCAPED  
TOTAL SITE AREA 392,036 SF  
REQUIRED 392,036 X 15% = 58,805 SF  
PROVIDED 72,446 SF
- 1 TREE REQUIRED PER 2500 SF NONVEHICULAR OPEN SPACE  
NONVEHICULAR (AREAS NOT INTERIOR OR BUFFERS) 221,637 SF  
 $\frac{221,637}{2,500} = 88.65 = 89$  TREES REQUIRED  
89 TREES PROVIDED

**PARKING REQUIREMENTS**

REQUIRED:	PROVIDED:
1/ 1BR UNITS = 112 1.5/ 2BR UNITS = 60 TOTAL = 172	184

**LOT COVERAGE**

IMPERVIOUS COVERAGE
117,790 SF / 392,036 SF = 30.0%





30 YEAR  
ARCHITECTURAL  
SHINGLES

STANDING SEAM  
METAL ROOF  
STUCCO  
METAL RAILING  
SIMULATED  
STONE  
VENEER



BUILDING MATERIALS	
MASONRY	56%
STUCCO	44%
TOTAL	100%

BUILDING 'A' - REAR ELEVATION COURTYARD

1/32" = 1' - 0"

30 YEAR  
ARCHITECTURAL  
SHINGLES  
STUCCO  
METAL RAILING  
STANDING SEAM  
METAL ROOF  
SIMULATED  
STONE  
VENEER



BUILDING 'A' - FRONT ELEVATION

1/32" = 1' - 0"

MATCHLINE

30 YEAR  
ARCHITECTURAL  
SHINGLES

STANDING SEAM  
METAL ROOF

STUCCO



BUILDING MATERIALS	
MASONRY	52%
STUCCO	48%
TOTAL	100%

BUILDING 'A' - FRONT ELEVATION

1/32" = 1' - 0"

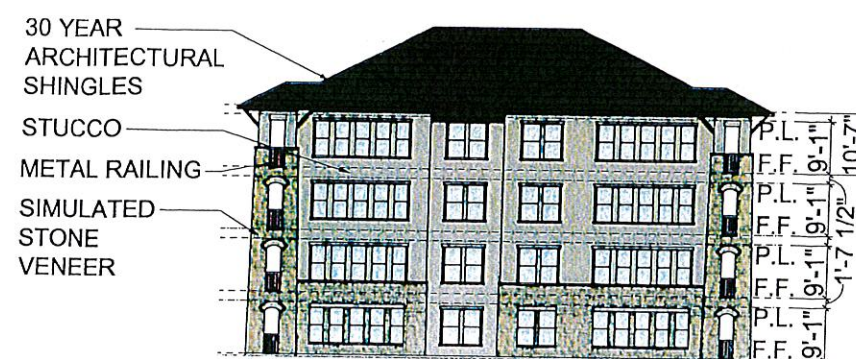




BUILDING MATERIALS	
MASONRY	39%
STUCCO	61%
TOTAL	100%

BUILDING 'A' - SOUTH ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	39%
STUCCO	61%
TOTAL	100%

BUILDING 'A' - EAST ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	56%
STUCCO	44%
TOTAL	100%

BUILDING 'A' - WEST ELEVATION

1/32" = 1' - 0"



BUILDING MATERIALS	
MASONRY	55%
STUCCO	45%
TOTAL	100%

BUILDING 'A' - EAST COURTYARD ELEVATION

1/32" = 1' - 0"





## CITY COUNCIL AGENDA ITEM BRIEFING SHEET

<b>Council Date:</b> October 8, 2019	<b>Department:</b> ADMINISTRATIVE	<b>Presented By:</b> B. GRIMES
---	--------------------------------------	-----------------------------------

**AGENDA ITEM:**

To consider and act on appointing 2 additional citizen members and up to 4 alternates to serve in the absence of one or more members, to the Building and Standards Board.

**BACKGROUND:**

---

**STAFF/BOARD/COMMISSION RECOMMENDATION:**

Staff recommends appointment of 2 additional members to the Board.

**EXHIBITS:**

ADDITIONAL INFO:	FINANCIAL INFO:	
	<b>Cost</b>	\$
	<b>Source of Funding</b>	\$

# CITY OF WILLOW PARK

## APPLICATION FOR BOARD OR COMMISSION APPOINTMENT

Return completed application to:

City Secretary's Office  
City of Willow Park  
516 Ranch House Rd  
Willow Park, Tx 76087  
Fax: (817) 441-6900

Please type or use black ink  
Please complete one application for each board or commission membership  
Please limit attachments to two pages  
For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name: HARLOW JAY ATWOOD  
(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest: BUILDING STANDARDS BOARD

☐ Yes, I would be interesting in serving on subcommittees that may be formed.

Personal Information	Occupational Information
Home Address: <u>3001 CACTUS ROAD</u>	Business Name: <u>SAINT FRANCIS OF ASSISI CHURCH</u>
Mailing Address: <u>SAME AS ABOVE</u>	Occupation: <u>CLERGY</u>
Telephone: <u>817-441-5544</u> Fax: <u>N/A</u>	Address: <u>117 RANCH HOUSE ROAD, WILLOW PARK 76087</u>
E-Mail: <u>frjay@att.net</u>	Telephone: <u>817-441-9156</u> Fax: <u>N/A</u>
Willow Park Resident for <u>25</u> years County: <u>26</u>	E-Mail: <u>frjay@att.net</u>
Voters Registration No.: <u>1011170534</u>	
Preferred method of contact: <u>email</u>	

Have you served on a board in another city before? YES -- PLANNING & ZONING (previous), BOARD OF ADJUSTMENTS (current)

Prior or current work experience: (please include dates)

Clergyman/Church Administrator -- 1984 to present; Volunteer Firefighter -- 1995 to present; Building Construction & Remodeling -- 1982-1986

Various -- Walt Disney World (Operations/Entertainment Divisions) -- 1972-1982; various Public Safety Departments -- Officer, Dispatcher -- 1973-1982; Parker County Emergency Operation Center Staff (Logistics Section Chief) / Parker County Emergency Response Team (Lieutenant) -- 2010-2016

Educational Achievement:

High School Graduate? ☒ Yes ☐ No Year Graduated/Left School? HS-1972 / Bachelor-1982 / Master-1985

Business College, Correspondence School, Adult Education, Other? various - ongoing annual classes

Name of College/University: UCF - BA Trinity School - MDIV ☒ Bachelor's ☒ Master's ☐ PhD

Volunteer Work: (please include dates)

Chaplain for Parker County ESD #1 & Aledo Fire Department (1996-present); Chaplain for Texas Motor Speedway (1997 to present); Federation Fire Chaplains City of Willow Park - Planning & Zoning (1995-2003); BOA (2005 to present); Aledo ISD - various past positions/School Health Advisory Council (present) Boy Scouts of America, Longhorn Council - various (1997 to present); Texas Girls Choir - MC (1999 to present); Texas Line of Duty Death Task Force (present)

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.

N/A



N/A

**Application held for 12 months from date received**

Are you presently serving on a City board or committee? ☒ Yes ☐ No

If so, which one? BOARD OF ADJUSTMENTS

Why do you want to become a member of this particular board /commission ( *how would you use this experience to benefit the City* ) ?

Having been on Planning and Zoning for many years, and after that the Board of Adjustments, I am very familiar with the City Code fo Ordinances, and believe I can be of assistance as we look at various properties within the City to determine if they continue to fall within those Codes, and if not to determine a proper and legal manner to address the issues that do not fall within the Codes.

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1)

We have properties within the City limits that builders or developers have stopped work due to finances, manpower, sales, etc., and these properties have become eye-sores to the community. While we have codes for some of these issues, we do not have codes to deal with issues created by said developers or builders if they file bankruptcy.

2)

The properties which are identified above, after whatever legal process could be determined, would then need to be inspected and verified as to the condition of habitability for the sake of the future owner and the surrounding community. To my knowledge, we do not have a specific set of codes to properly address these situations.

3)

The City needs to be proactive in creating proper codes for enforcement while at the same time limiting liability for the City and protecting the citizens in the future.

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:

Many years in dealing with City Codes and Ordinances; previous understanding of construction standards from various training & classes with fire depts. and dealing with construction issues (remodeling business, church, personal property)

Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:

I do not know of any Conflict of Interest issues at this time. If either my personal residence or my current place of business - Saint Francis of Assisi Church should come before this Board, I would recuse myself from decision making.

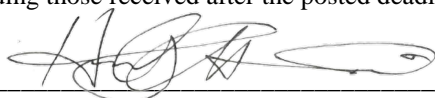
Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☐ Yes ☒ No

Comments: I do not believe they have met at this time.

**Statement of Intent**

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: \_\_\_\_\_



H. JAY ATWOOD

Date: September 30, 2019

*Information provided on this application may be available to the public, upon request.*

ADDITIONAL INFORMATION THAT YOU WOULD LIKE TO SHARE WITH THE CITY COUNCIL REGARDING  
YOUR INTEREST IN SERVING ON A WILLOW PARK BOARD:



# CITY OF WILLOW PARK

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City of Willow Park  
516 Ranch House Rd  
Willow Park, Tx 76087  
Fax: (817) 441-6900

Please type or use black ink

Please complete one application for each board or commission membership

Please limit attachments to two pages

For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name:

Kenneth C. Hausden

(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest:

Building Standards Board

☒ Yes. I would be interesting in serving on subcommittees that may be formed.

Personal Information	Occupational Information
Home Address: <u>1302 Saddle Trail</u>	Business Name: <u>NA</u>
Mailing Address: <u>1302 Saddle Trail</u>	Occupation: <u>Independent Contractor</u>
Telephone: <u>425-327-3335</u> Fax: <u>NA</u>	Address: <u>same</u>
E-Mail: <u>Kshadowhawk@AOL.com</u>	Telephone: <u>same</u> Fax: <u>same</u>
Willow Park Resident for <u>1 1/2</u> years County: <u></u>	E-Mail: <u></u>
Voters Registration No.: <u>2144814636</u>	
Preferred method of contact: <u>Text, E-MAIL or Phone</u>	

Have you served on a board in another city before? NO

Prior or current work experience: (please include dates)

Long career in public service then private contractor. I have served as a City Admin, Public Works Dir, Transit Dir, Electrick County official, School Board Member / Pres. on the private side as VP & SUP of Int'l Cong Gov / CEO of several corp. properties Dir etc. Responsible for all innovation in North America. Resume supplied on request.

Educational Achievement:

High School Graduate? ☒ Yes ☐ No

Year Graduated/Left School? 1971

Business College, Correspondence School, Adult Education, Other? NA

Name of College/University: Eastern Washington University

☐ Bachelor's

☒ Master's

☐ PhD

All But Dissertation ABD

Volunteer Work: (please include dates)

Coached baseball, basketball & Soccer from the late 1970's to the late 1980's early 90's.

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.



Application held for 12 months from date received

Are you presently serving on a City board or committee? ☐ Yes ☒ No

If so, which one? \_\_\_\_\_

Why do you want to become a member of this particular board / commission (how would you use this experience to benefit the City)?

Most of my life I've <sup>worked</sup> the public and/or my community in one form or another. Serving on the Building Standards Board would allow my experience to benefit the City and my neighbors / community.

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1) I understand this is a new Board. Organization process and Board training immediately come to mind. This needs to be accomplished quickly. In my case a quick update on: A) Permit process, B) building code & C) Municipal / state law as it applies.

2) Community Vision & Growth plan

3) Impact of Development on existing infrastructure

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:

Public Works Director in Everett WA. The building Dept + permitting process were two areas (among others) for which I was responsible.

Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:

NONE

Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☐ Yes ☒ No

Comments: \_\_\_\_\_

#### Statement of Intent

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

August 15, 2019



*Information provided on this application may be available to the public, upon request.*

ADDITIONAL INFORMATION THAT YOU WOULD LIKE TO SHARE WITH THE CITY COUNCIL REGARDING  
YOUR INTEREST IN SERVING ON A WILLOW PARK BOARD:

# CITY OF WILLOW PARK

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Willow Park, Tx 76087  
Fax: (817) 441-6900

Please type or use black ink

Please complete one application for each board or commission membership

Please limit attachments to two pages

For questions or additional information, call the City Secretary's Office, (817) 441-7108 ext.6

Name:

Michael J Caldwell

(Please print legal name and your name as you wish it to appear, if different.)

Name of Board/Commission of Interest:

☐ Yes, I would be interesting in serving on subcommittees that may be formed.

### Personal Information

Home Address: 1118 Sam Bass Rd  
Mailing Address: Same  
Telephone: 817-239-7412 Fax: \_\_\_\_\_  
E-Mail: mjcaldwell1987@aht.net  
Willow Park Resident for 19 years County: Parker  
Voters Registration No.: 1014313990  
Preferred method of contact: Phone

### Occupational Information

Business Name: Brookshires  
Occupation: Store Director  
Address: 601 Polo Pinto  
Telephone: 817-596-8151 Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

Have you served on a board in another city before? NO

Prior or current work experience: (please include dates)

33 years with Brookshires

Educational Achievement:

High School Graduate? ☒ Yes ☐ No Year Graduated/Left School? 1984

Business College, Correspondence School, Adult Education, Other? \_\_\_\_\_

Name of College/University: Kilgore Jr. College ☐ Bachelor's ☐ Master's ☐ PhD

Volunteer Work: (please include dates)

East Parker Co Board Member (Treasury)

Have you ever been convicted of a crime (except for minor traffic offenses that resulted only in a fine)? ☐ Yes ☒ No

If yes, please explain in complete detail. State the nature and approximate date of the conviction, the sentence imposed, whether the sentence has been completed, and any other information you consider to be relevant.



Application held for 12 months from date received

Are you presently serving on a City board or committee? ☐ Yes ☒ No

If so, which one? \_\_\_\_\_

Why do you want to become a member of this particular board /commission (how would you use this experience to benefit the City) ?

To help the City move in the right direction

Briefly explain what you believe are the three most important issues facing this board and how you believe this board or commission should address each issue?

1)

2)

3)

List any abilities, skills, licenses, certificates, specialized training, or interests you have which are applicable to this board or commission:


Please specify any business or personal relationships with the City or other activities, which might create a serious conflict of interest or affect your ability to serve if you should be appointed to this board:

Have you attended a meeting of the board you are applying to or talked to anyone currently on the board? ☐ Yes ☒ No

Comments: \_\_\_\_\_

Statement of Intent

I am aware of the requirements of the City regarding conflicts of interest of appointees to the City of Willow Park Parks Board Board and P & Z Commission, as noted in the overview. I am aware of meeting dates and times of the Parks Board or P & Z Commission for which I have applied, and that Board or Commission members are expected to attend a minimum of 75 percent of regularly scheduled meetings annually. If appointed, I agree to serve on the Board or Commission for which I have applied. Applications, including those received after the posted deadline, will remain on file for one year from the date of receipt.

Signature: 

Date: 10/4/19



## CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: October 8, 2019	Department: Admin/Development	Presented By: Bernie Parker
----------------------------------	----------------------------------	--------------------------------

### AGENDA ITEM:

Discussion/ Action: To consider and act on adoption of Parks Master Plan.

---

### BACKGROUND:

In November of 2018 the City Staff and Pacheco Koch began development of the Parks and Trails Master Plan 2019. This master plan for parks and trails is the first for Willow Park. The master plan document is intended to provide guidance for at least the next five years and to meet the master plan requirements necessary to qualify the City of Willow Park for parks and recreation grants available from the State of Texas.

The plan has been developed with extensive public involvement including citizen survey, public meeting, and input from Park and Trail Master Plan Steering Committee. The Parks Board have also had input to the plan and have formally recommended it to City Council for adoption.

---

### STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends adopting the proposed Parks Master Plan.

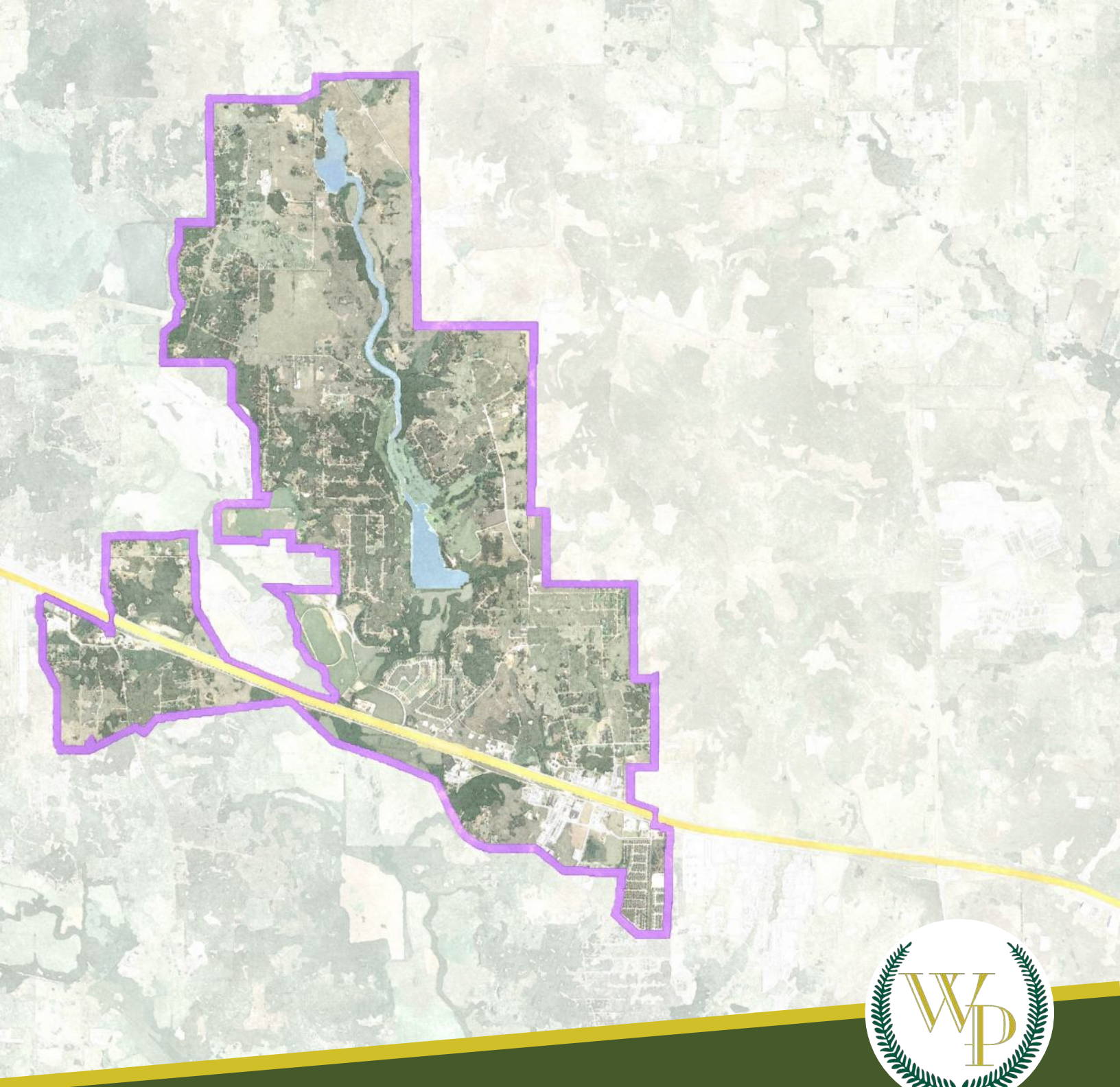
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### EXHIBITS:

2019 Park Master Plan

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$





Willow Park, Texas

October 2019

# Parks and Trails Master Plan



PARKS



TRAILS



OPEN SPACE

## Acknowledgments

### City Council Members

Doyle Moss, Mayor  
Eric Contreras, Council Member Place 1  
Amy Fennell, Council Member Place 2  
Greg Runnebaum, Council Member Place 3  
Lea Young, Council Member Place 4  
Gary McKaughan, Council Member Place 5

### Parks and Trails Master Plan Steering Committee

Lea Young, Council Member Place 4  
Amy Fennell, Council Member Place 2  
Larry Johnston  
Billy Weichert

### City Staff

Bryan Grimes, City Manager  
Bernie Parker, Assistant City Administrator  
Rosealee Kertok, Communications and Marketing Specialist

### Consultant Team

Eric P. Wilhite, AICP, Project Manager  
Nick Nelson, PLA  
Cameron Rouze, PLA  
Dorothy Witmeyer, PLA  
Amber Davis, PLA

Prepared for:



Prepared by:



4060 Bryant Irvin Road  
Fort Worth, Texas 76109  
Administrator  
817.412.7155



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DRAFT



# Chapter 01: Introduction

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Background, Purpose of Document & Vision

DRAFT



# 01: Introduction

## Context, Purpose & Vision



### Context

Willow Park is an attractive and vibrant community near the Dallas-Fort Worth metroplex (DFW). The City blends a rural character, consisting of farms, large-lot homes, rolling hills and open space with livability and nearby amenities found in the larger, DFW metroplex. Located in the east central region of Parker County, (along Interstate 20) Willow Park is approximately 21 miles west of Fort Worth and 9 miles east of downtown Weatherford. The City's placement is directly within the growth corridor of north central Texas.

The current population of Willow Park is approximately 5,340, with an average yearly population increase of 7.4%, over the past 40 years. It is likely the City will continue to experience this growth rate, and in return, benefit from the strong north central Texas markets.

With this growth, Willow Park, is experiencing new commercial and residential development, as well as, implied changes to the makeup of its population and needs. As development continues, available land becomes a limited

resource and the demand on the existing system increases. These changes make planning for the future needs of parks, trails and open space an important next step.

### Purpose & Vision

Recently, the City of Willow Park has engaged in several planning initiatives to help further develop their identity and guide future growth. In 2014, the Willow Park Comprehensive Plan was updated to aid in future decisions about the City's development. In 2018, the City created a unified vision for their parks and trails system, by pursuing the Willow Park Parks and Trails Master Plan.

In the Fall of 2018, the City commissioned Pacheco Koch to assist in developing a plan with guidance and input from stakeholders.

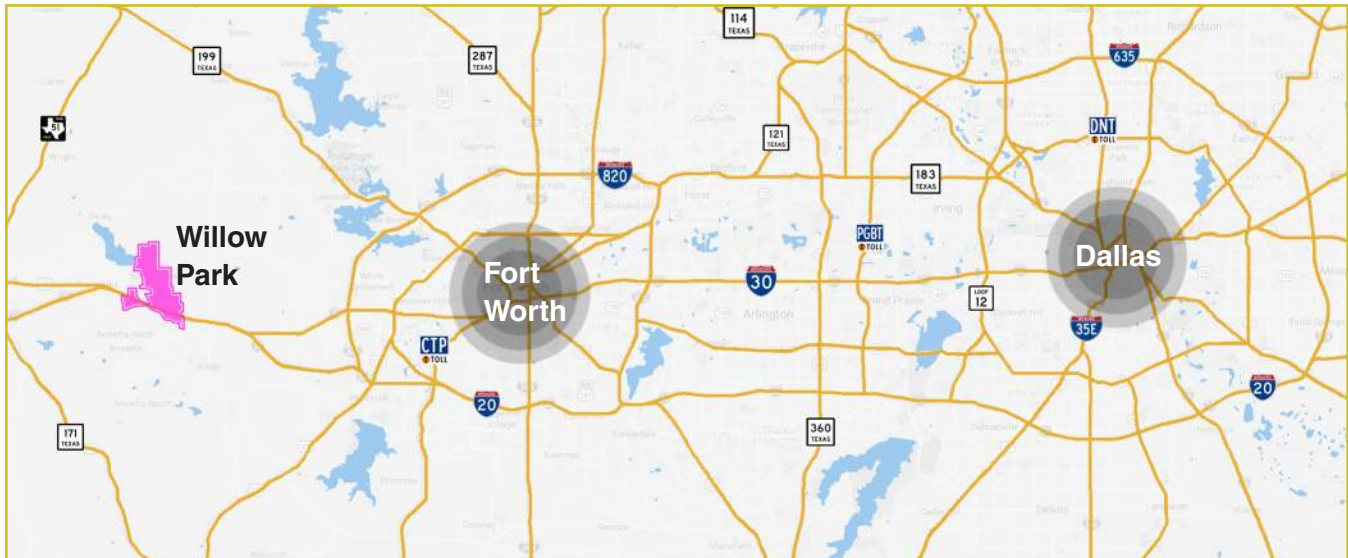
While the 2014 Comprehensive Plan focuses on the broader vision, the Parks and Trails Master Plan delves deeper into the contributing relationship, parks and trails have on the City's vision and how they can be implemented. Parks and open space were identified as strong assets

City of Willow Park



# 01: Introduction

Context, Purpose & Vision



**Figure 1.0 Regional Context**

to the community, while also contributing to quality of life, encouraging further development in the 2014 plan.

This master plan will evaluate both citizen demand and opportunities for parks, trails and recreation, paring them with strategies and guidelines for development.

In addition the Master Plan should:

- Identify opinions through citizen input and a steering committee
- Establish goals and priorities for improvements and future opportunities
- Identify changing trends locally, regionally, and nationally
- Set guidelines for identification, development and acquisition
- Assess existing parks and trails system
- Show regional relationships and opportunities for recreational and trail system connectivity
- Prioritize the parks and recreational needs of the City over the next 10 years
- Provide clear direction for city staff and elected officials

- Help the City leverage and pursue various funding sources to assist in the development of parks and trails facilities.
- Make general suggestions for future improvements to park and trail facilities.
- Assist in implementation of decisions.

The vision for the Willow Park Parks and Trails Master Plan is a citizen driven plan, that meets the needs of the city and aligns itself with the future demand of its residents. Taking advantage of the City's unique characteristics and historical character, the master plan is a result of imagining the City's future and aligning its priorities to promote quality of life, preserve natural resources and attract future residents.

## Evaluate the existing & guide the future of

PRESERVATION

ACTIVE RECREATION

PASSIVE RECREATION

TRAILS/LINKAGES

**Figure 2.0 Purpose of the Master Plan**

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# Chapter 02: Development

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Planning Process, Goals & Objectives, & Community Engagement

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## 02: Development

### Planning Process, Goals & Objectives & Community Engagement



#### Planning Process

The Parks and Trails Master Plan process was initiated in November of 2018. At the initial meeting, a steering committee was established and a seven month planning process was developed. The process involved gathering community input, exploring existing conditions and comparing findings to both national and regional standards, to help develop goals for the city. The 2014, Comprehensive Plan contributes to this process, allowing for recently acquired data and input to help round out the determinations. This process produced recommendations for implementation and tactics to guide future decision making. Each step informed the next.

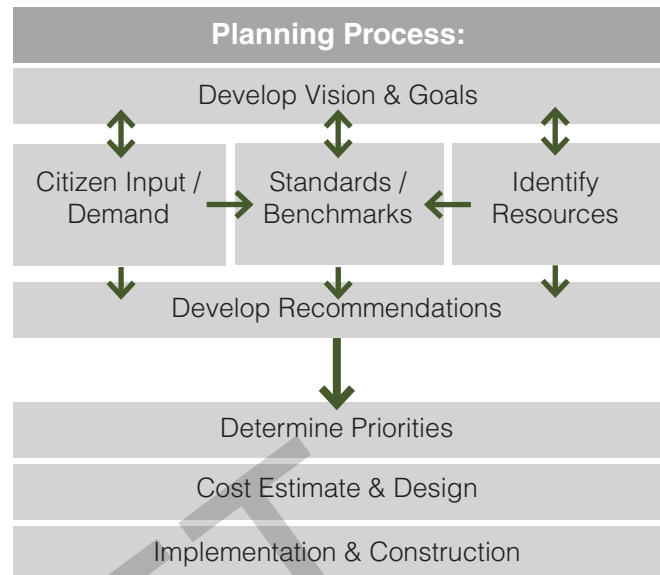


Figure 3.0 The Planning Process

#### Goals & Objectives

The guiding elements of the Parks and Trails Master Plan are the goals and objectives adopted by the City. They become the connection between the City's vision and its organizational efforts to advance towards the preferred future. The development of these goals and objectives are based upon information gathered from the steering committee, citizen surveys, public stakeholder meetings, city staff and the comprehensive plan. Identified in the 2014 Comprehensive Plan, two

over arching goals for the City of Willow Park were generated from the input received as they relate to parks and trails.

##### Provide Quality & Attractive Neighborhoods

- Incorporate neighborhood amenities, such as pocket parks and neighborhood parks, in new residential subdivisions.
- Provide connections between neighborhoods and parks and trails and shopping areas.

##### Ensure that Willow Park's Quality of Life is Maintained - Live, Work & Play

- Provide a range of recreational choices for residents of all ages.
- Conserve and protect environmentally sensitive areas and utilize floodplain areas for parks, trails and open spaces.
- Create a recreational trail system that is able to be utilized by pedestrians and bicyclists.
- Provide educational opportunities for residents of all ages.

#### GOALS





## 02: Development

### Planning Process, Goals & Objectives & Community Engagement



Additional data pulled directly from the 2014 Comprehensive Plan, explores area specific amenity suggestions. The image to the right shows the City of Willow Park & its ETJ divided up into six different Planning Areas (based on similar visual character). Citizens were asked to define opportunities by planning area. Summarized below are citizen suggested goals.

#### Planning Area 1:

- Utilize open space for multi-purpose equestrian, bike and hike trails

#### Planning Area 2:

- Pedestrian, Bike and possibly equestrian paths and trails to provide connectivity within the community
- Preserve greenways as open space, parks and trails

#### Planning Area 3:

- Sports park in floodplain
- Potential water feature in floodplain
- Community park.

#### Planning Area 4:

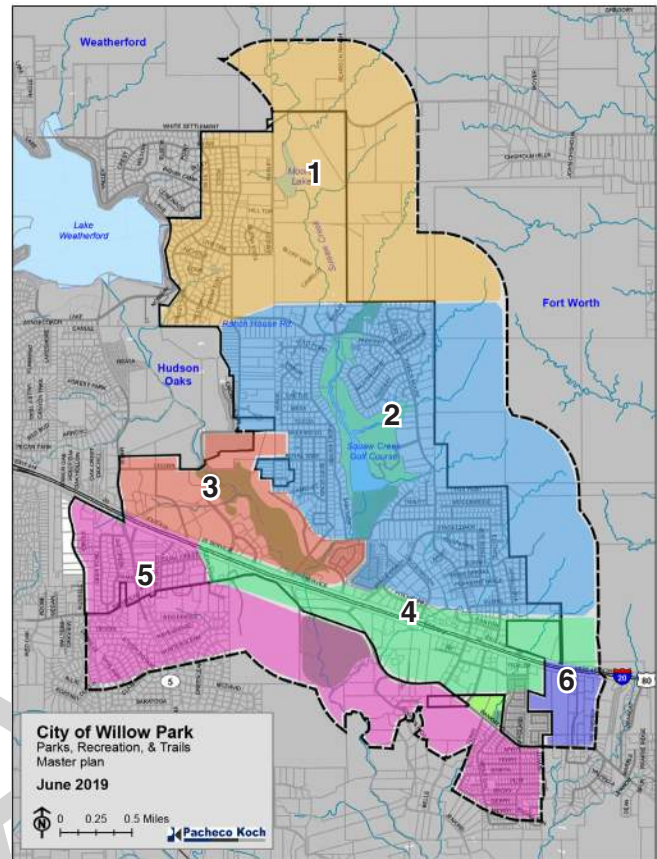
- Commercial development only

#### Planning Area 5:

- Open space, parks and trails
- Bike trail at I20 underpass along Squaw Creek
- Connectivity between residential and shopping areas

#### Planning Area 6:

- First impression of Willow Park
- Higher levels of Landscaping



Large amounts of land within the city limits are designated as floodplain. A unique opportunity for branding and developing a strong outdoor recreation and open space program. These types of offerings can be unique and attractive city amenities for branding.

## 02: Development

### Planning Process, Goals & Objectives & Community Engagement



#### Community Engagement

Identifying the people and assets within a community that provide valuable insights and historical perspectives into how an area functions, is a valuable part of developing a master plan. These stakeholders provide an understanding of critical issues that need to be addressed. A combination of site visits, public meetings, a survey and an appointed steering committee, were used to gain a better understanding of existing city context and what the community envisions for their future parks and trails system.

The success of the master plan depends on addressing the needs of citizens. Therefore, a key focus for the master planning process is to identify those needs seen as important by the citizens and prioritize.

#### Surveys

On February 22nd, an online survey was posted to the Willow Park civic live web page and advertised on the City's Facebook page on February 25th. Additional surveys were distributed to all Willow Park water customers through mailings. The survey was open through March. Over 400 participants responded. Not every participant voted on every question. Votes were calculated and the results and conclusions for each question are outlined on the following pages.

Overwhelmingly, citizens felt that the current parks and trails system (in Willow Park) was unidentifiable and that a future system would benefit from more offerings. Trails and playgrounds ranked amongst the highest amenities desired. Feedback revealed people were excited the City was pursuing development of a parks and trails system.

#### Public Meetings & Stakeholders

Following the citizen survey, a public meeting was held on June 4, hosted by the City and Pacheco Koch. The meeting was also cast on Facebook live and both attendees and viewers alike were encouraged to comment and present questions throughout the presentation. The meeting reviewed the findings from the survey and provided an update on the progress of the parks and trails master plan.

Citizen comments included:

- Review regionalism and abilities to provide trail connections to other, larger, DFW trail systems.
- Maintain and improve the existing city parks and signage
- Has a budget been presented for the development of a parks and trails plan
- Request for playgrounds and better maintenance





## 02: Development

Planning Process, Goals & Objectives & Community Engagement



**Question 1: Approximately how often have you or someone in your home utilized the existing park system or facilities in the past 12 months.**



Results:

The majority of participants answered that they had visited the existing park system between 1 and 5 times with in the past 12 months.

**Question 2: Reasons that prevent you or other members of your household from using Parks & Recreation Facilities in the City of Willow Park.**



Results:

The top five responses are identified above. For additional response options and their selection rate, reference Appendix 1



City of Willow Park

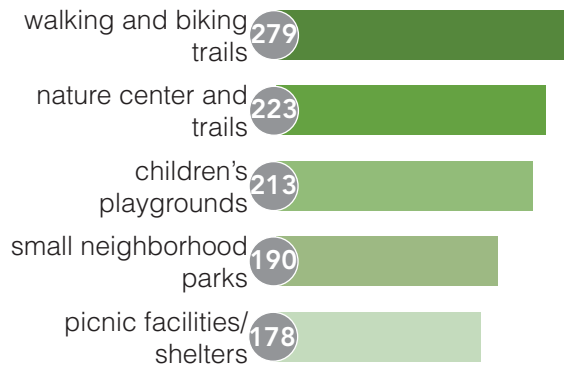
Parks and Trails Master Plan - October 2019

## 02: Development

Planning Process, Goals & Objectives & Community Engagement



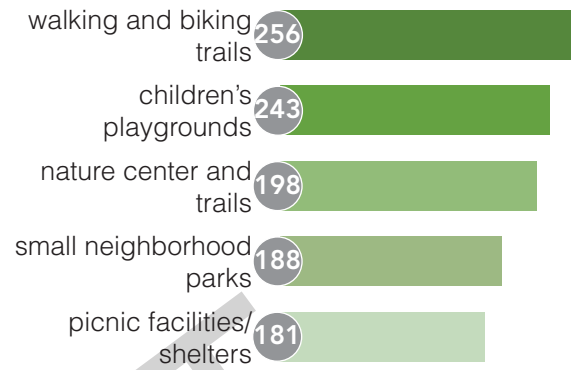
**Question 3: Check every option that would fit a need for your household.**



Results:

The top five responses selected are identified above. For additional response options and their selection rate, reference Appendix I

**Question 4: Check every option that would fit a need for the City of Willow Park**



Results:

The top five responses selected are identified above. For additional response options and their selection rate, reference Appendix 1



City of Willow Park

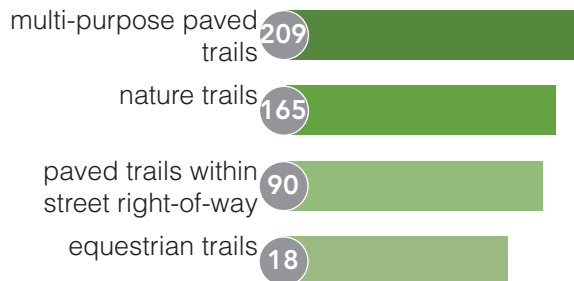


## 02: Development

Planning Process, Goals & Objectives & Community Engagement



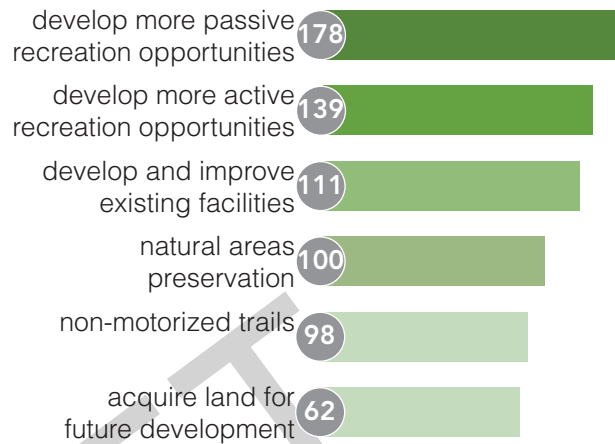
### Question 5: What trail initiatives should the City of Willow Park invest in as a priority?



#### Results:

Participants were asked to select their preference from the four options listed above. Multi-purpose paved trails and nature trails received the most votes. Although listed in the 2014 Comprehensive plan multiple times, equestrian trails only received one vote.

### Question 6: Which initiatives should the City of Willow Park prioritize for future implementation?



#### Results:

Facilities for passive (walking trails, picnic areas, etc.) and active (sports fields, playground, etc.) received the most votes.



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# Chapter 03: Standards

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Assessment Styles & Park Types

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# 03: Standards

## Assessment Styles & Park Types



In order to assist the City of Willow Park in planning efforts for parks and trails development, the location criteria, facility standards and maintenance criteria need to be addressed. The identification of local standards, establishes a foundation for development and assists in providing a consensus amongst stakeholders.

### Assessment Styles

#### Level of Service (LOS)

A park systems, level of service (LOS) is a term used to describe the importance of recreational opportunities (parks and trails) within a community, and is expressed in acres of park land per 1,000 residents. Over the past several decades, this statistic has been targeted nationwide.

Depending on the specific needs of a community, levels of service can range from five (5) acres of developed park land per 1,000 residents to 1.5 acres of park land per 1,000 residents. While private recreational facilities should be considered when establishing LOS, desired acreage is not used for calculation of park land.

#### National Recreation and Parks Association (NRPA) Standard

Launched in 2009, this resource assists professionals in effective planning and management of operating resources and capital facilities. It consists of custom reports and city, peer comparisons.

#### Citizen Demand Base

This methodology calls for the city to determine its own standard or level of services, based on its mix of natural, economic and social characteristics. The standard is formatted to an adequate quantity and quality of recreational

opportunities within the city's boundaries and ETJ. This methodology requires more study and expense for development.

Due to specific characteristics of Willow Park, (such as limited potential open space and physical constraints) a blend of NRPA standards and citizen demand based methodology is utilized. NRPA benchmarks are indicated for potential park land in Willow Park, such as location criteria, size and population. Geography, proximity to parks or open space and/or substandard number of community parks also apply.

### Park Types

This section outlines park types the City of Willow Park is aiming to establish, which include neighborhood parks, park trails and connector trails.

#### Neighborhood Park

**Purpose:** These parks are the basic unit of a park system and are primarily done in conjunction with residential subdivisions, by the developer. A neighborhood park is public or privately owned (Home Owner's Association, HOA). The park focuses on providing informal, active and passive recreational opportunities for all ages. This unique site, nestled within the neighborhood, creates a sense of place and accessibility.

#### Location Criteria (NRPA):

- 1/4 to 1/2 mile typical service radius
- Unimpeded by large thoroughfares or other physical barriers
- Interconnected with sidewalks or multi-use trails, within walking and/or biking distance of those served
- High visibility to streets (for safety)



# 03: Standards

## Assessment Styles & Park Types



### Size Criteria (NRPA)

- Demographic profiles and population density primary indicators
- 5 acres minimum, 7-10 acres optimal

### Community Park

Purpose: These park types serve a broader spectrum than neighborhood parks. A community park focuses on community based recreation and needs. Typically these parks provide the biggest impact of services for the parks and trails system.

### Location Criteria (NRPA):

- Serve two or more neighborhoods
- 1/2 to 3 mile typical service radius
- Served by arterial or collector streets, trail system networks should connect to them (if possible)
- Geographically centered, per community layout
- If public access is available, recreation and open space opportunities provided by nearby schools should be considered

### Size Criteria (NRPA):

- Demographic profiles, population density, resource availability and recreation demand within the park service area, are primary determinants
- Based on accommodating desired recreation uses as needed
- Benchmark in the region is 5-20 acres minimum, but can be 20-50 acres

### Park Trails

Purpose: Park trails are multipurpose located within parks, greenways and natural areas. They are most desirable because they allow for mostly uninterrupted pedestrian movement and act as a protection from vehicular traffic and urban development.

### Development Parameters (NRPA)

- Trail design should match standards developed by TXDOT and AASHTO (American Association of State and Highways Transportation Organization), if applicable
- Development policies (approved by city council), requiring developers to incorporate trails and greenways into their development.

### Types of Trails (NRPA)

- Type I: Patterns dictate separate paths for pedestrians and bicyclists (along river front)
- Type II: Lighter use patterns (housing subdivision to natural area)
- Type III: Minimum impact (nature preserve)



# 03: Standards

## Assessment Styles & Park Types



### Connector Trails

Purpose: The primary difference between park trails and connector trails are their location. While park trails are located in the natural environment, connector trails are located within right-of-ways, utility easements or artificial drainage ways.

#### Development Parameters (NRPA)

- Establish trail right-of-way and easements early in community development
- Establish design standards for trail development. Trail design should match TXDOT and AASHTO, if applicable

#### Types of Trails (NRPA)

- Type I: Patterns dictate separate paths for pedestrians and bicyclists
- Type II: Lighter use patterns (link between parkway and nearby housing)

### Facilities and Features

Recreational opportunities can be flexible and informal or programmed active recreation facilities, and may include the following:

#### Active Recreation Examples:

- Informal Ball Fields (open play and practice)
- Game Courts
- Splash Pad
- Aquatics Center
- Dog Park
- Walking/Jogging Trails
- Skate Park, or other trending recreation uses

#### Passive Recreation Examples:

- General Open Space
- Group Picnic Pavilion or Tables
- Natural Areas for Interpretation or Study
- Community Garden



City of Willow Park

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# 03: Standards

## Assessment Styles & Park Types



Nature Area



Dog Park



Game Courts



Skate Park



Trails



Aquatics Center

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# Chapter 04: Assessment

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Inventory, Assessment of Needs & Indications

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### Inventory of Facilities

Identified in the Comprehensive Plan, Willow Park currently has large amounts of land within the city limits designated as floodplain. This designation puts a constraint on typical intensive development, but also gives Willow Park a unique opportunity for branding and developing a strong outdoor recreation and open space programming.

A semi-private golf course currently makes up 6% of the City's land use and .3% is parks & open space. 33% of the existing land use is vacant acreage indicating room for growth and development within the City's current boundaries. Squaw Creek and the Clear Fork of the Trinity River, both located within the city limits, produce a significant amount of floodplain. This occurrence will generally discourage development due to its heavy regulations, but it also an opportunity for recreation facilities and city linkages unique to Willow Park.

Prior to developing a plan for future parks and trails, the city should first have an understanding of the present level of service and facilities. An inventory provides city leaders and staff with an understanding of where under-served needs of the community may be. In addition to evaluating the demographic data, this understanding is gained through an analysis of existing parks, trails and open space lands.

These land uses may be public city owned, public school district, city right-of-way, or privately owned by homeowners associations (HOAs). For this study, semi-private, public school district property and HOA property were not inventoried. The following inventory provides baseline documentation for future parks and trail facility planning.



# 04: Assessment

Inventory, Assessment of Needs & Indications



## Park Inventory

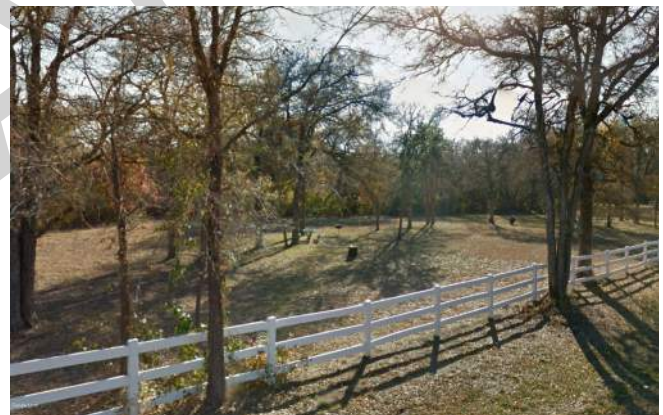


### Willow Park Wildscape (Deer Park)

Location: Ranch House Rd  
Size: Approx. 2.0 Acres

#### Existing Amenities:

- Fence
- Picnic Tables
- Trash Receptacle
- Grill
- Shade (mature trees)
- Drive area (limited parking)
- Open Space
- Naturalized Area
- Signage



City of Willow Park

Parks and Trails Master Plan - October 2019

# 04: Assessment

Inventory, Assessment of Needs & Indications



## Park Inventory



### Pfc. Paul Balint Jr. Memorial Park

Location: 516 Ranch House Rd

Size: Approx. 1.5 Acres

Existing Amenities:

- Walking Trail (.2 miles)
- Seating
- Arbors
- Planters/Planting
- Flag Poles
- Memorial Marker
- Shade (mature trees)
- Pavilion
- Parking (shared with Municipal Complex)
- Demonstration Gardens



City of Willow Park

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# 04: Assessment

## Inventory, Assessment of Needs & Indications



### Trails Inventory

Currently no formal trail system or linkages exist in Willow Park. However, future trail connections to adjacent cities and regional trail planning efforts are feasible. The image to the right shows the 2045 Veloweb routes including linkages to Weatherford. Willow Park has an opportunity to connect into this system by way of the proposed trail system for the City of Aledo. (Reference City of Aledo Future Land Use Plan and 2045 Regional Veloweb Graphics)

#### Existing Amenities:

- Walking path loop at PFc. Paul Balint Jr. Memorial Park (.2 miles) as seen on the park inventory page.



2045 Regional Veloweb

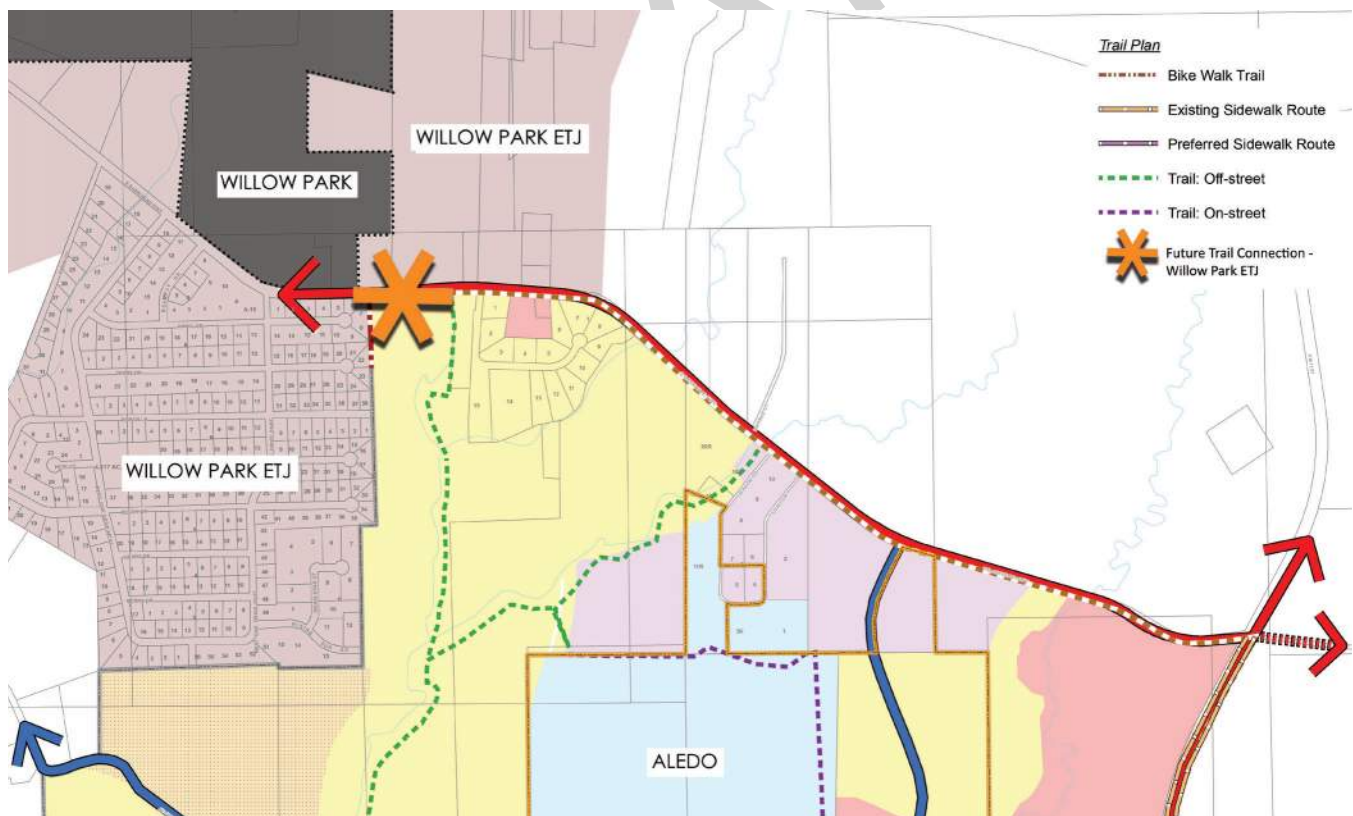


Image Adapted from Aledo Future Land Use Plan



## Open Space Inventory

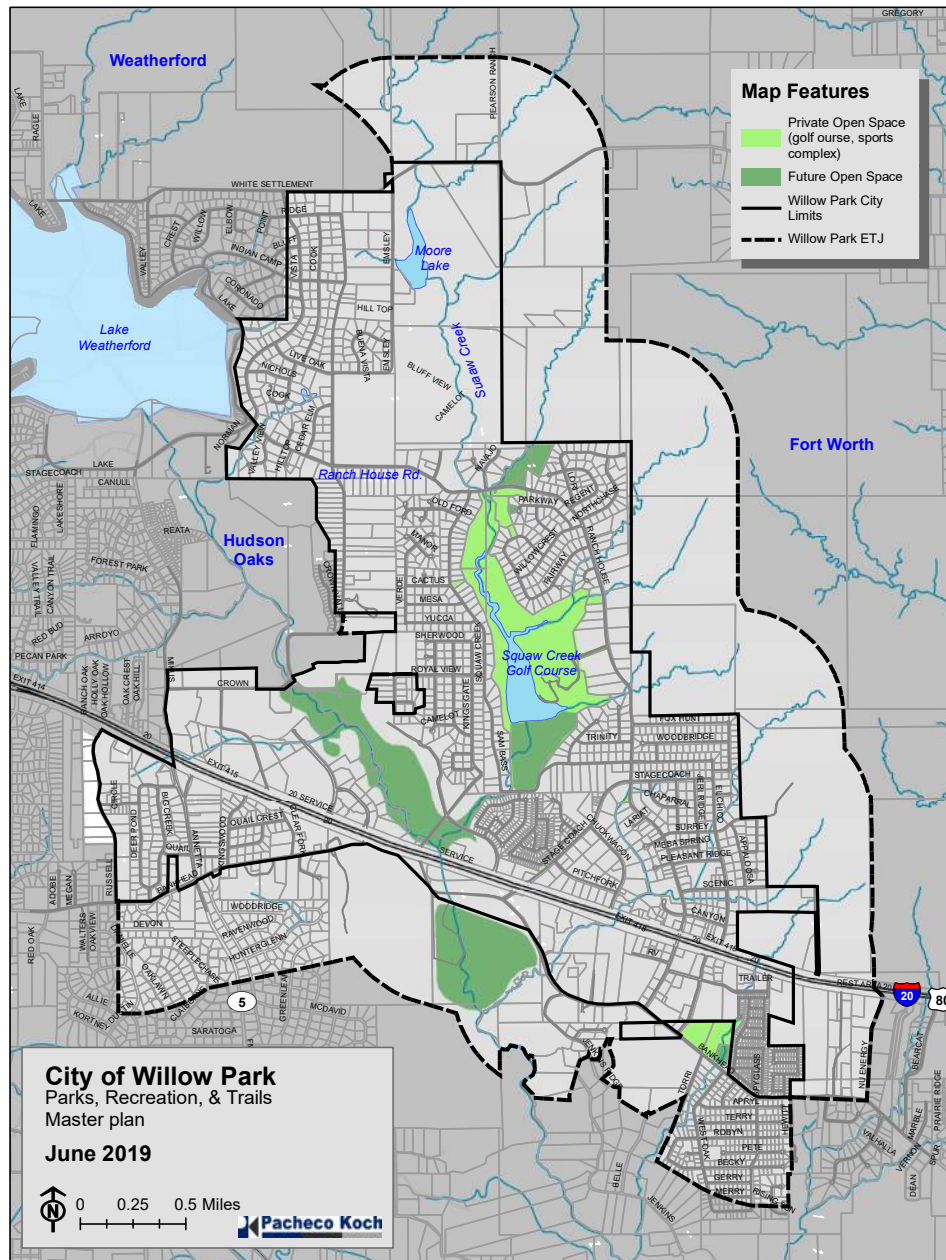
Location: Willow Park City limits & ETJ

Size: Approx. 14 Acres

The map indicates the current open space within Willow Park city limits and ETJ. The large light green area is the privately owned Squaw Creek Golf Course.

Existing Amenities:

- Riparian Corridors
- Mature Vegetation



City of Willow Park



# 04: Assessment

## Inventory, Assessment of Needs & Indications



### Assessment of Needs

To define the needs of the Willow Park parks and trail system, the Park Acreage Standard (PAS) can be used and applied to the existing park acreage and population vs the needed park acreage to population. NPRA has established a PAS of twenty-five (25) acres per 1,000 residents. This acreage is consistent with area municipalities. However, the typical NPRA standards for the state are anywhere from four (4) acres to fifty (50) acres for every 1,000 residents. These guidelines should be considered flexible in the park planning process and utilized in conjunction with other planning factors such as site carrying capacity, current and potential utilization rates and location.

The current level of service in Willow Park is 14 acres per 5,340 residents. On the low end a PAS deficit of 11 acres. An additional 11 up to 236 acres would be required to meet the state standard NPRA guidelines. It is not likely that the max number of acreage would be required for Willow Park due to the large amount of low density housing and surrounding recreational resources.

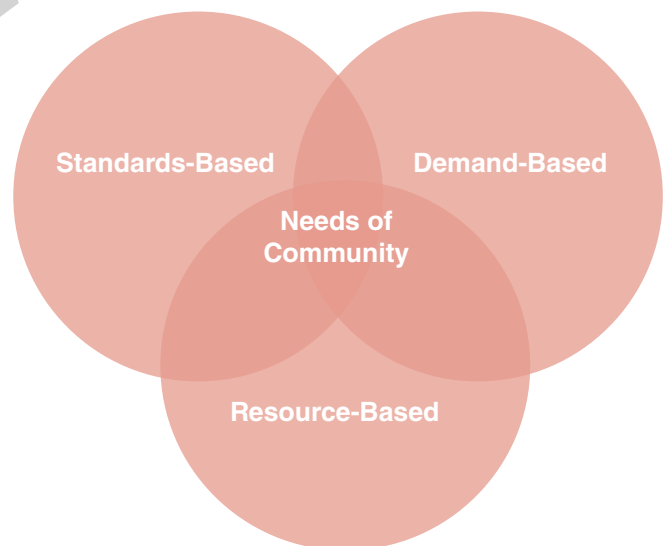
With parks, trails and recreation planning, a well-rounded needs assessment is critical component of park system master planning. There are three basic methodologies used in the evaluation of current and future needs of a community.

- Standards-based assessment: using anticipated growth data, user participation rates and surveys or other public input.
- Demand-based: reflects the needs of a community as provided by citizens and elected officials and relies heavily on public input.
- Resource-based: based on unique physical and natural features and their usefulness in providing recreational opportunities.

Due to the unique demographics of the community, portions of all three methods were used in the development of the Willow Park master plan, but primarily demand-based was utilized.

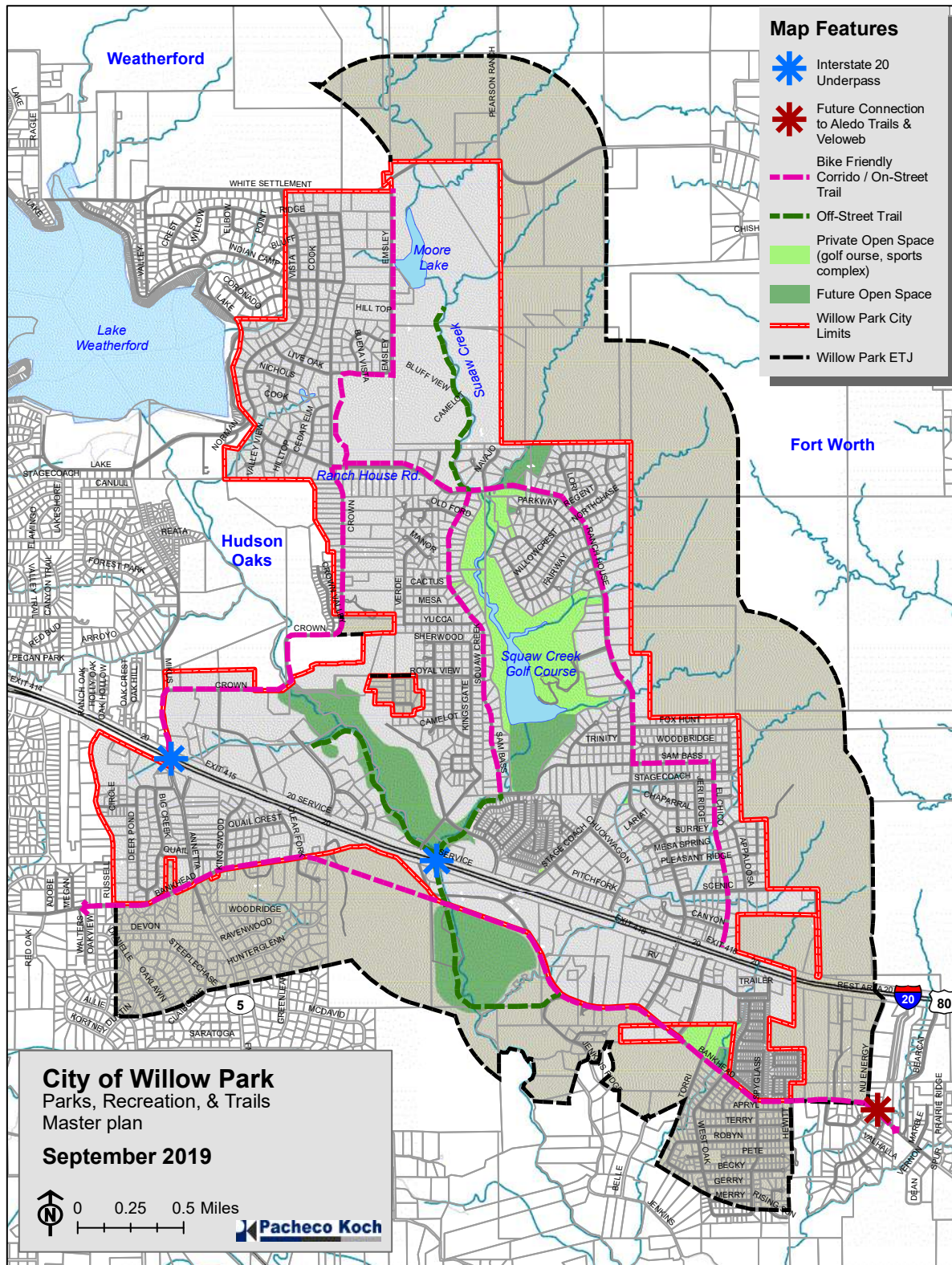
### Indications

The map on the next page shows the limits of Willow Park and its ETJ. This map indicates future open space potentially available for the development of the Willow Park's parks system, future trail routes and potential underpass crossing are identified. These crossings would enable safe and comfortable trail connections along I20 for non-vehicular users.



# 04: Assessment

Inventory, Assessment of Needs & Indications



City of Willow Park

October 2019 - Parks and Trails Master Plan





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# Chapter 05: Recommendations

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Priorities & Recommendations

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# 05: Recommendations

## Priorities & Recommendations



### Priorities

In an effort to identify priorities for recreational facilities, Willow Park received public input through data acquisition, including: a needs base analysis, surveys, public and steering committee meetings and city staff feedback.

The top seven (7) priorities identified by citizens and staff are ranked highest to lowest according to favorability:

Top Priorities
1 - Playgrounds
2 - Walk/Bike Trails
3 - Nature Area
4 - Picnic Facilities
5 - Basketball Courts
6 - Sand Volleyball Courts
7 - Splash Pad

Figure 4.0 List of Priorities from Survey

The priorities outlined are further described in this chapter according to degrees of development and overall benefits. Levels are dependent on an array of factors including needs base analysis, demographics and funding.

### Recommendations

- The phrase 'Bigger and Better' does not equate to higher use or satisfaction.
- Details should be finalized in the design phase and should not consume the park planning phase.



### Playground

#### Degrees of Development

- Traditional vs. Customized
- Single vs. Multiple Components

#### Benefits

- Community Gathering Space
- Inclusive (Accessible)
- Free and Fun Activity

City of Willow Park

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# 05: Recommendations

## Priorities & Recommendations



### Walk/Bike Trails

#### Degrees of Development

- Hard vs. Soft Trail
- Accessible vs. Non-accessible

#### Benefits

- Preserves and promotes open space
- Outdoor Recreation
- Free Activity



### Nature Areas

#### Degrees of Development

- Traditional vs. Customized
- Single vs. Multiple Components

#### Benefits

- Biodiversity and Air Filtration
- Education: Encourages Observation and Exploration
- Recreational Activities



City of Willow Park

Parks and Trails Master Plan - October 2019



# 05: Recommendations

## Priorities & Recommendations



### Degrees of Development

- Stand Alone Tables vs. Pavilions
- Traditional vs. Custom (Furniture, Pavilion)

### Benefits

- Gathering Space
- Shade Opportunities (Pavilion)

### Picnic Facility/Tables



### Basketball Court

#### Degrees of Development

- Full Court Layout vs. Half Court Layout
- Traditional vs. Customized Aesthetics

#### Benefits

- Promotes fitness in the community
- Weather resistant
- Option to Design as Multi-Use Court



City of Willow Park



# 05: Recommendations

## Priorities & Recommendations



### Sand Volleyball Courts

#### Degrees of Development

- Professional vs. Recreational
- Manufacturer vs. Customized Design

#### Benefits

- Outdoor Recreation
- Free Activity
- Tournaments with Entry Fees



### Splash Pad

#### Degrees of Development

- Manufactured vs. Customized Design
- Single vs. Multiple Components

#### Benefits

- Flexible and Expandable
- Inclusive (Accessible)
- Sustainable



City of Willow Park

Parks and Trails Master Plan - October 2019

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# Chapter 06: Implementation

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Funding & Next Steps

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# 06: Implementation

## Funding & Next Steps



In order to implement the Parks and Trails Master Plan, there needs to be an emphasis on commitment from elected officials, city staff and the general public. The master plan is a reflection of the community's needs and desires and serves as a useful tool in directing the future of parks in Willow Park.

The seven (7) priorities outlined in the master plan may be funded through a variety of sources, including but not limited to grants (Texas Parks and Wildlife), North Central Texas Council of Governments (NCTCOG), donations, bonds and volunteer participation.

### Funding

#### Local Funding

##### General Obligation Bonds

The municipality pledges to pay interest and principal to retire the debt. General obligation bonds are sold to finance improvements to parks and trails recreational facilities that are permanent.

##### Sales Tax

Cities, counties and special purpose districts, (such as municipal utility districts, recreation districts, economic development zones) may impose sales taxes which are held in a general account.

##### Enterprise and Revenue Funds

Per city direction, funds may be earmarked for park and recreational facilities. The City would give its residents the option to donate on their monthly utility bill.

##### Parkland Dedication

City Council establishes parkland dedication ordinance where as sub--divisions are required to set aside a specified amount of property dedicated for parkland and/or open space (or pay a fee in-lieu of parkland dedication).

#### Additional Local Entity Funding

Private funds are used to facilitate support for parks and recreation. For example, Nonprofit 501 (c)(3) tax exempt (Friends of Parks and Trails Organization) is an entity that is created to raise private funds and volunteers to support park improvements.

#### State Funding

##### Grants (Example)

Texas Parks and Wildlife Local Parks grant, awards grant funding for the development of parks and recreation facility development. The funding is a matching grant of up to \$500,000.00 awarded yearly.

##### Land Donation

Opportunities may arise in which a property owner will donate land to the city, for a public park. This type of donation is encouraged. The value of land is leveraged as part or all, of matching funds for the grants program distributed by Texas Parks and Wildlife. Prior to accepting the donation, city officials will examine suitability of the land for park facility development and its consistency with the Parks Master Plan goals and objectives.



City of Willow Park



# 06: Implementation



## Funding & Next Steps

This section provides direction for implementation strategies. Further development of these strategies are required by City Council and the proposed Park Board to outline and finalize goals presented in this master plan.

### Next Steps

#### Park Board

The park board's primary purpose is to implement, preserve and advocate for the Parks and Trails Master plan to benefit both the municipality's community and natural environment alike. It is recommended Willow Park appoint 5 park board members to evaluate opportunities and make recommendations to city council.

#### Design: Park and Trail Master Plan

An overall, Park and Trail Master Plan design document has the potential to initiate advocacy with community members, stakeholders and city officials. It is recommended Willow Park hire an outside consultant to develop a design concept that adheres to this written, master plan document, engages additional community input and provides a vision for future implementation and funding.

#### Land Acquisition

Land Acquisition is a vital component in implementing the goals, objective and vision identified in this document. It is recommended Willow Park establish land acquisition objectives to encourage growth of the city's park and trails system as it applies to existing and future demographics and funding.

#### Park and Trail Development

Once initial implementation efforts have been executed, the city can initiate the final design and construction process. It is recommended Willow Park hire an outside consultant to develop a schematic plan through final construction documents. The consultant would be responsible

#### Park Maintenance and Operations Plan

The parks maintenance plan is intended to be a guide for staff and volunteers concerning the day to day operations of the parks department. Areas to address include but are not limited to horticulture, urban forestry, parks/greenways/athletics and construction/development. It is recommended Willow Park hire an outside consultant to develop this manual.

### Time frame

**1-2 YEARS**

1. Park Board
2. Overall Park and Trail Design Master Plan
3. Land Acquisition
4. Stand Alone - Priority Implementation
5. Trail Development
6. Annual Report

**2-5 YEARS**

1. Park Maintenance Plan
2. Park and Trail Development

# 06: Implementation

## Funding & Next Steps



Further development of the implementation strategies are required by City Council and the proposed park board to finalize goals presented in this master plan. Elected officials and city staff are encouraged to identify whether top priorities should be stand alone projects or a larger combined, project vision. Final decisions are guided by the city's need, budget and funding efforts.

With residential or commercial development on the rise, park and trail development serve as an important amenity for developers. If applicable, proposed facilities should be accessible to all citizens, (if city funds are utilized), regardless of final ownership (private or public).

Lack of connection and access discourages use of recreational facilities. Connectivity via existing roads, sidewalk and proposed trails, should help guide the location and/or placement of future facilities.



### Willow Park Parks & Trails Master Plan Next Steps:

A. Identify and ID Top Priorities for Recreation Amenities/Facilities

Partner with appropriate agencies to identify if priorities should be stand alone projects or combined into a park site plan.

B. Set A Probable Opinion of Cost

Perform needs and assessment study to determine square footage and parking needed to accommodate recreation amenities/facilities. Determine pricing per item and projected design and construction costs.

C. Identify Possible Site Locations

Inventory and determine what areas are viable to reuse/use and complement the recreational functions of the project.

D. Funding

Look for opportunities to partner with private developers, apply for grant funding and utilize existing facility and land opportunities for parks and trails development.

City of Willow Park





### Annual Report

It is suggested that, in addition to the adoption of this Master Plan, an annual report be provided to the City Council on progress achieved on the plans implementation. This annual report should show accomplishments made in fulfilling plan goals & objectives and revise priorities for expending funds, use of city resources, and identify contributions made by developers. The annual report and review is intended solely as a review of implementation progress, not as a revision or update of master plan document. An update of this Master Plan may be determined after a 5 year period has passed and a revision may be called for, as needed to respond to changing conditions or other circumstances, as identified by the City Council.

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# Appendix 01

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## Citizens Survey Results

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# Appendix 01

## Citizens Survey Results



**Q2: Approximately how often do you or someone in your home, utilize the existing park system or facilities in past 12 months?**

Answer Choices	Survey Monkey Results:	Mail in responses	Totals
1-5 Visits	73	99	172
6-10 Visits	24	19	43
11 or more visits	25	19	44
I don't know	18	15	33
other		16	16

Comments:

**Q3: Please CHECK ALL the reasons that prevent you or other members of your household from using PARKS, RECREATION FACILITIES in the City of Willow Park:**

Answer Choices	Survey Monkey Results:	Mail in responses	Totals
Facilities are not well maintained	17	30	47
Program or facility not offered	21	49	70
Facilities do not have the right equipment	18	28	46
Security is insufficient	0	9	9
Lack of quality programs	6	20	26
Too far from our residence	8	13	21
Health problems	6	13	19
Use services of other organizations	2	27	29
Poor customer service by staff	0	3	3
I do not know locations of facilities	24	67	91
Availability of parking	1	7	8
I do not know what is being offered	22	95	117
Other (please specify)	14	60	74

Comments:



# Appendix 01

## Citizens Survey Results



**Q4: Please Check every option that would fit a need for your household.**

Answer Choices	Survey Monkey Results:	Mail in responses:	Totals
Youth Soccer Fields	28	45	73
Youth Baseball and Softball Fields	27	42	69
Youth Football Fields	12	22	34
Outdoor tennis courts	21	64	85
Adult softball fields	7	34	41
Children's playgrounds	89	124	213
Off-leash dog park	47	72	119
Splash pad	64	66	130
Large community parks	67	104	171
Small neighborhood parks	73	117	190
Basketball courts	34	50	84
Walking and biking trails	115	164	279
Nature center and trails	88	135	223
Picnic facilities/shelters	68	110	178
Rollerblade or inline skating facilities	11	24	35
Equestrian trails	5	22	27
Other (please specify)	14		14

Comments:

**Q5: Please Check every option that would fit a need of Willow Park.**

Answer Choices	Survey Monkey Results:	Mail in responses:	Totals
Youth Soccer Fields	31	81	112
Youth Baseball and Softball Fields	34	69	103
Youth Football Fields	24	47	71
Outdoor tennis courts	33	78	111
Adult softball fields	16	51	67
Children's playgrounds	100	143	243
Off-leash dog park	56	72	128
Splash pad	69	82	151
Large community parks	74	93	167
Small neighborhood parks	78	110	188
Basketball courts	42	79	121
Walking and biking trails	115	141	256
Nature center and trails	86	112	198
Picnic facilities/shelters	79	102	181
Rollerblade or inline skating facilities	15	38	53
Equestrian trails	11	31	42
Other (please specify)	7	4	11

Comments:

# Appendix 01

## Citizens Survey Results



**Q6: What trail initiatives should the City of Willow Park invest in as a priority? Check all that apply.**

Answer Choices	Survey Monkey Results	Mail in responses	Totals
paved trails within street right-of-way	22	68	90
nature trails	48	117	165
equestrian trails	1	17	18
multi-purpose paved trails	68	141	209

Comments:

**Q7: Which initiatives should the City of Willow Park prioritize for future implementation?**

Answer Choices	Survey Monkey Results	Mail in responses	Totals
Acquire land for future development	8	54	62
Develop and improve existing facilities	19	92	111
Develop more activities recreation (sports fields, playground, etc.) opportunities	50	89	139
Develop more passive recreation (walking trails, picnicking, etc.) opportunities	43	135	178
Natural areas preservation	14	86	100
Non-motorized trails	7	91	98

Comments:



**REQUEST FOR QUALIFICATIONS (RFQ)  
FOR  
City of Willow Park, Texas**

**ISSUED: October 3, 2019**

**CLOSING DATE AND TIME: October 11, 2019**

**RELATED TO: New City Park**

**Submittals will be accepted by email, mail, courier or hand delivered no  
later than 2:00 p.m. Central time.**

**Interviews: Week of October 15th-17<sup>th</sup>, 2019**

Bernie Parker  
Assistant City Manager  
516 Ranch House Road  
Willow Park, Texas 76087  
[bparker@willowpark.org](mailto:bparker@willowpark.org)

**GENERAL INFORMATION**

The City of Willow Park is soliciting statements of qualifications for the selection of a Park Planner / Architects / Engineering services as listed in this solicitation.

**Park Planning, Architecture and Engineering Services**

**City of Willow Park**

The intent of the request for qualifications is to obtain qualified consultants to design a community park on city owned land. The awarded consultant will be asked to negotiate a fee for the necessary parks planning, architecture and engineering services as set forth by the City of Willow Park.

**Project Background**

The City of Willow Park plans to construct a city park consisting of trails, playground equipment, and other park amenities determined at a later date. Prospective park site

consists of seven acres owned by the City of Willow Park. All improvements shall comply with Building Codes, Park Standards and Texas Accessibility Standards.

## **Scope of Work**

**Services:** Provide Park Planning and Architectural Services (including appropriate landscape architecture, surveying, geotechnical engineering, ADA services, MEP, Civil, and structural engineering as needed) to explore, evaluate, plan and identify a design concept for a community park. Assist in preparation of construction documents for the approved items. Coordinate with City Staff to perform tasks below but may not be limited to the following descriptions.

- A. Master Plan: Work with Staff to develop a site layout and design concept. Prepare presentation quality charrettes that can be used for public presentations at Parks and Recreation Advisory Board, Willow Park City Council and public input meetings.

Items shall include but not necessarily limited to:

- 1- General Layout of arrangement of project elements
- 2- Overall design theme and appearance
- 3- Preliminary color and material palette

Project elements may consist of (but not limited to):

1. Multiuse Sports Courts (hockey, pickleball, basketball, tennis, fenced soccer)
2. Skate Park
3. An Amphitheater
4. Community Garden and Food Forest
5. Botanical Garden
6. Kids Play Village / Playground
7. Splash Pad
8. Dog Park
9. Picnic Areas
10. Restroom facility with consideration of water supply and sanitary connection.
11. Parking Facilities and Lighting
12. Trails and Trailhead Development
13. Landscape Concept and Layout Utilizing Drought Tolerant and Native Plants, Trees, and Grasses.
14. Proper Drainage Considerations, to Include Drainage Detention.

- B. Conceptual Design: explore the specifics of each item, develop options and prepare design documents as needed to facilitate community input. Prepare a probable cost estimate to confirm budget compliance and confirm possible



alternates. Present to Staff for review and comment. Discuss budget and reach agreement on priorities if necessary.

Items shall include but not necessarily limited to:

1. Specific dimensioned layout
2. Design treatments and appearance of each element
3. Color and material palette

- C. Design Development: prepare preliminary hardline drawings for the Staff approved conceptual design. Integrate architecture with electrical, mechanical and other systems as appropriate. Submit to Staff for progress review and comment.
- D. Construction Documents: complete a full set of construction documents (plans, specifications, and bid instructions).
- E. Bidding and Award: Assist Staff with;
  1. Pre-bid meeting
  2. Evaluate of bids
- F. Construction Support Services: Review contractor's submittals, respond to Request for Information and Clarifications, prepare Change Orders, and prepare record documents, which incorporate any changes that occurred after issuance of final construction documents and field noted from the General Contractor.
- G. Public Input: Provide support at charrettes and data as needed to support Staff with the presentations at Parks and Recreation Advisory Board, Willow Park City Council and public input meetings.
- H. Grant Writing/Consulting: Provide City Staff with assistance in applying for grant opportunities.

**Schedule:** The goal is to have the design services completed in time to permit the construction to be substantially complete by April 2020. The consultant shall provide a more detailed schedule/work plan with the fee proposal.

Anticipated Start date  
Master Plan  
Conceptual Design  
Design Development  
Construction Documents  
Bidding and Award phase

**Compensation:** Fee for design services A through H are payable with monthly progress payments.

## **SELECTION PROCESS**

This RFQ is the process for selecting firms in the Park Planning, Architecture and Engineering Service listed above. The City of Willow Park staff will analyze and evaluate submittals. The RFQ provides information necessary to prepare and submit qualifications for consideration. It may be necessary to interview several respondents. The highest ranked firm will be asked to submit a fee proposal to begin contract negotiations. In the event City Staff fail to reach a final contract with that firm, the staff will continue negotiations with the next highest firm and will continue with one of the other firms until the selected vendor is awarded the negotiated contract. Upon completion of the negotiations, contracts shall be executed.

**Acceptance of evaluation methodology:** By submitting qualifications in response to this RFQ, respondent accepts the evaluation process as outlined and acknowledges and accepts that determination of the “most qualified” firm(s) may require subjective judgments by city staff.

**Public information:** All information, documentation, and other materials submitted in response to this solicitation are considered non-confidential and/or non-proprietary and are subject to public disclosure under the Texas Public Information Act after the solicitation is completed and contract executed with the selected firm.

**Partnerships:** Firms associating with other firms in order to bring specific expertise and experience to the project are encouraged.

**Qualifications of the Responding Firm:** A letter of interest, not to exceed one (1) typed page, indicating why the firm is interested and qualified to perform services.

- Legal name of firm
- Contact person
- Date of firm formation
- Date of opening primary home office, and, if applicable, any branch and local offices
- Current address of office(s)
- Identify office that will be providing services
- Legal business description (Individual, Partnership, Corporation, Joint Venture, etc.)



The evaluation is based on the Consultant's capability to provide the requested services. Number of appropriate staff in local office. Available in-house services. Location of the company office with respect to the City of Willow Park and access to necessary sub-consultants, if any.

**Experience:** The responding firm shall provide written pertinent information about the firm, not to exceed two (2) typed pages. Section should include:

#### Firm's Overall Ability

- Experience with projects of similar type, cost, and complexity
- List of previous municipal experience and clients
- In-house resources available that could be allocated to the project
- Describe your Quality Assurance/Quality Control processes, including your tracking system(s) that will be used to monitor budget, schedule, and scope.
- Indicate the firm's approach to Project Management. Describe all elements to your approach, including how your approach addresses contingencies that may arise during projects, how to resolve issues within the project team, and how your firms will manage the design
- Copy of the firm's current licensing

**Proposed Project Staff:** Provide a statement, not to exceed one (1) typed page, (not including individual resumes for each Key Staff member), that summarizes the proposed key personnel who will be directly assigned to primary areas, the qualifications and related experience of each member and designate the location and employment of each team member e.g. company employee, sub-consultant employee, contract employee, etc. Include an Organizational Chart. Respondent must be registered, or have personnel on their direct staffs that are registered in, the professional services discipline required to perform the services requested. If sub-consultants are included to assemble a project team, their qualifications and experience of proposed key personnel should be described with respect to the relevant category or subcategory of work.

One person shall be designated as the primary contact for the City of Willow Park throughout the contract term. The Respondent agrees that the primary contact assigned shall remain available for the entirety of the term as long as that individual is employed by the Respondent or unless the City of Willow Park agrees to a change in the key personnel.

**Knowledge of Willow Park:** This section should detail the firm's knowledge of working in, near, and/or with the City of Willow Park, and not to exceed one (1) typed page. Firm should indicate previous work completed in the City of Willow Park and the firm's knowledge of pertinent construction materials, vendor facilities and standard practices.

Firm should also outline known challenges that the City of Willow Park faces and proposed methods to tackle those challenges.

**References:** The responding firm shall provide at least three (3) references who can be contacted to inquire about the firm's performance on a design project of similar nature.

**Additional Information to Be Included In Statement of Qualifications**

- The City of Willow Park requires professional liability insurance for firms with which it contracts. Please state what coverages your firm carries and in what amounts.
- Identify firm's executives who have current claims or who have participated in litigation against the City of Willow Park while with another firm. Firms currently under litigation with the City or whose executives have been in litigation with the City may not be considered for this project.
- It will be incumbent on those persons or firms with persons, having potential conflicts of interest to identify and cure such conflict(s) prior to consideration of the work. Failure to identify such conflict may remove that person or firm from further consideration. Each firm shall comply with Texas Local Government Code Chapter 176 regarding conflicts disclosure and shall file the appropriate Conflict of Interest Questionnaire Form (Form CIQ) with the City.
- Prior to entering into a contract that is voted on by the City Council, the firm must submit a "Certificate of Interested Parties" form, in accordance with the Texas Government Code Section 2252.908, as amended.
- Provide any brochures or other marketing literature you wish to include in your submittal.

**Due Date:** Qualification deliverables are to be delivered no later than 2:00PM October 11, 2019 to:

Bernie Parker, Assistant City Manager  
City of Willow Park  
516 Ranch House Road  
Willow Park, Texas 76087

For technical questions concerning the Request for Qualifications, you may contact:

Bernie Parker  
817-441-7108 x 104 [bparker@willowpark.org](mailto:bparker@willowpark.org)



## GENERAL TERMS

1. Respondents should carefully read the information contained herein and submit a complete response to all requirements and questions as directed. It is the responsibility of Respondents to check the Willow Park website for posting of clarifications, amendments, or addenda on an ongoing basis.
2. The City will not provide compensation to Respondents for any expenses incurred by the Respondents for submittal preparation or for any demonstrations that may be made, unless otherwise expressly stated or required by law. Respondents submit proposals and other submittal information in response to this RFQ at their own risk and expense.
3. Responses that are incomplete or qualified with conditional clauses or alterations or items not called for in the RFQ documents, or irregularities of any kind, are subject to disqualification by the City, at its option. The City reserves the right to reject any or all proposals at any time with no penalty. The City reserves the right to waive any irregularity or informality in a response or submittal.
4. In the event that ambiguities, conflicts, or other errors are discovered in this RFQ, the City of Willow Park will make every attempt to address any such ambiguities, conflicts, or errors.
5. Each response should be prepared simply and economically, providing a straightforward and concise description of the Respondent's ability to meet the requirements of this RFQ. Emphasis should be on completeness, clarity of content, responsiveness to the requirements, and an understanding of the City's expectations.
6. The City reserves the right to determine which of the submittals have met the minimum qualifications of this RFQ. The City reserves the right to determine whether any deviation from the requirements of this RFQ is substantive in nature, and may reject submittals that lack supporting or explanatory information. The City may not extend the RFQ deadlines, unless an addendum is issued to this RFQ authorizing such deadlines.
7. The City makes no guarantee that an award will be made as a result of this RFQ, or any subsequent RFQ, and reserves the right to accept or reject any or all submittals, waive any formalities, irregularities or minor technical inconsistencies, or delete items/requirements from this RFQ when deemed to be in the City's best interest. All

firms or individuals doing business with the City of Willow Park shall have all required State of Texas licenses.

8. Respondents are responsible for errors and omissions in their responses, and any such errors will not serve to diminish their obligations to the City.

### **SPECIAL PROVISIONS**

1. The successful respondent's rights and duties awarded by the contract may not be assigned to another without written consent of the City signed by the City's authorized agent. Such consent shall not relieve the assigned of liability in the event of default by the assignee.
2. Any deviations from specifications and alternate responses must be clearly shown with complete information provided by the respondent. They may or may not be considered by the City.
3. No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All change orders to the contract will be made in writing and shall not be effective unless signed by an authorized representative of the City.
4. The City reserves the right to require additional technical information and negotiate all elements which comprise the Vendor's response to ensure that the best possible consideration be afforded to all concerned. The City reserves the right to accept all or part of any proposal, to reject any or all proposals and to re-solicit for proposals.





## CITY COUNCIL AGENDA ITEM BRIEFING SHEET

Council Date: October 8, 2019	Department: ADMINISTRATIVE	Presented By: B. Grimes
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### AGENDA ITEM:

To consider and act on City Holiday Schedule for FY 2019-2020

### BACKGROUND:

#### PROPOSED HOLIDAY SCHEDULE FOR 2019-2020

Monday, November 11	Veteran's Day
Thursday, November 28	Thanksgiving Day
Friday, November 29	Day after Thanksgiving
Tuesday, December 24	Christmas Eve
Wednesday, December 25	Christmas Day
Tuesday, December 31	New Year's Eve
Wednesday, January 1	New Year's Day
Monday, January 20	Martin Luther King, Jr. Day
Monday, February 17	President's Day
Friday, April 10	Good Friday
Monday, May 25	Memorial Day
Friday, July 3	Independence Day
Monday, September 7	Labor Day

### STAFF/BOARD/COMMISSION RECOMMENDATION:

Staff recommends adopting the proposed holiday schedule for 2019-2020.

### EXHIBITS:

ADDITIONAL INFO:	FINANCIAL INFO:	
	Cost	\$
	Source of Funding	\$



## CITY COUNCIL AGENDA ITEM BRIEFING SHEET

<b>Council Date:</b> October 8, 2019	<b>Department:</b> Legislative	<b>Presented By:</b> A. Smith
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**AGENDA ITEM:**

To consider and take action on Resolution 2019-09, designating the official newspaper for 2019-2020.

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**BACKGROUND:**

State law requires that at the beginning of the fiscal year, the city council of a Type A city designate its official newspaper by resolution or ordinance and contract with that paper to publish required notices. TEX. LOC. GOV'T CODE § 52.004(a). Each ordinance, notice, and any other matter required by law or ordinance to be published must be published in the official paper, regardless of where else it is published. Id. § 52.004(b).

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**STAFF/BOARD/COMMISSION RECOMMENDATION:**

Approval

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**EXHIBITS:**

Resolution 2019-09

ADDITIONAL INFO:	FINANCIAL INFO:	
	<b>Cost</b>	\$
	<b>Source of Funding</b>	\$



**CITY OF WILLOW PARK**

**RESOLUTION 2019-09**

**A RESOLUTION OF THE CITY OF WILLOW PARK, TEXAS, DESIGNATING THE COMMUNITY NEWS AS THE PRIMARY OFFICIAL NEWSPAPER FOR THE CITY OF WILLOW PARK.**

**WHEREAS**, the City of Willow Park is a General Law-A Municipality with a governing body with powers to pass ordinances and resolutions to govern activities within the City; and

**WHEREAS**, the Texas Local Government Code, the Texas Property Tax Code and the City's Charter require the publication of various actions of the City in a newspaper of general circulation within the City; and

**WHEREAS**, the City Council desires to designate an official newspaper for that purpose; and

**WHEREAS**, the Community News is a local newspaper published and circulated on a weekly basis in the City; and

**NOW, THEREFORE**, be it resolved that the City Council of the City of Willow Park hereby designates the Community News as the primary official newspaper for the City of Willow Park for publication of all required notices.

All previous resolutions on this issue are repealed and this resolution shall be in effect until repealed by another resolution.

**PASSED AND APPROVED THIS THE 8<sup>th</sup> DAY OF OCTOBER, 2019.**

**SIGNED:**

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**Doyle Moss, Mayor**

**ATTEST:**

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**Alicia Smith, City Secretary**



## CITY COUNCIL AGENDA ITEM BRIEFING SHEET

<b>Council Date:</b> 10/8/2019	<b>Department:</b> Fire Department	<b>Presented By:</b> J. Junker
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**AGENDA ITEM:**

To consider and take action on accepting and awarding the bid for the Outdoor Warning siren system.

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**BACKGROUND:**

Request for proposals were sent out for the Outdoor warning siren system. This would be accepting the winning bid and approving the start of the Outdoor warning siren system project.

---

**STAFF/BOARD/COMMISSION RECOMMENDATION:**

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**EXHIBITS:**

See packet for Bid information

ADDITIONAL INFO:	FINANCIAL INFO:	
	<b>Cost</b>	\$ See packet
	<b>Source of Funding</b>	\$ See packet



## Storm Sirens, Inc.

3801 Harrogate Drive

Norman, Ok 73072

1-800-527-6375

stormsirens@aol.com

September 19, 2019

Jared Junker  
City of Willow Park  
516 Ranch House Road  
Willow Park, Texas 76087

Regarding: Outdoor Warning Sirens RFP

Dear Mr. Junker:

Based on the City's specifications and my company's on-site survey, I offer this state-of-the-art proposal for the City's consideration.

### **Proposal:**

#### **Item #1**

**Qty. 4 Sentry Model 14V-B Stationary Warning Siren**  
**Omni-Directional**  
**14 HP Continuous Duty DC Motor**  
**dB Rating at 100 Feet: 127**  
**Range: 5000 Ft Radius/10000 Ft Diameter**  
**Optima 34U Redtop Batteries**  
**Battery Box W/ Dual Pro Chargers**  
**Magnetic Starter in a NEMA 3R Enclosure**

#### **Item #2**

**Qty. 4 CD&F Model SD2100 2-Way Report Back System**  
**Weatherproof Cabinet (Lockable)**  
**Antenna**

## **Storm Sirens, Inc.**

3801 Harrogate Drive

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### **Item #3**

- Qty. 1    Storm Sentry Monitoring & Automatic Notification System**  
Storm Sentry Activation Software  
NWS Polygon Warning System Tracking  
Gibson Ridge AE Level 3, 3D Radar Suite  
EMWIN Data Receiver  
Zetron Encoder  
Lacrosse 2300 Weather Station  
Satellite Dish  
Desktop PC with OS and Monitor  
Remote Tech Support

### **Item #4**

- Qty. 1    Extended Warranty**  
The Sentry Model 14V-B Storm Warning Sirens would be covered by a 10 year parts and labor warranty. The CD&F Model SD2100 Radio Decoder Report Back System would be covered by a 5 year warranty. The 34U Redtop batteries used in the Sentry Model 14V-B would be covered by a 10 year replacement warranty.

### **Item #5**

- Qty. 1    Turn-Key Installation**

**Total Price**

**\$138,665.00**



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### Description:

#### Item #1

The Sentry model 14V-B is a large siren equipped with battery back-up. The 14V-B normally runs from 230 VAC, single-phase, 125 amp electrical service. However, in the event of a power failure, the siren will automatically switch to its bank of rechargeable batteries. Perhaps the key feature of the Sentry model 14V-B is the length of time the siren will run on batteries in a power failure. As is common in Texas, storms frequently come in lines over a 3 or 4 hour period. If the first line of storms knocks out the power, you may need a siren system that can be sounded 6 or 7 times before power is restored. The Sentry model 14V-B will run on batteries for a minimum of 30 minutes, cumulative time (10 standard 3 minute signals). **This is twice as long on batteries as most competitive sirens will run.**

Each Sentry Model 14V-B is custom made using parts cast from the same metal ingot which means that the components expand and contract in the heat and cold at the same rate. This ensures significantly closer tolerances and longer operational life. When evaluated by the Nuclear Regulatory Commission for use around power plants, Sentry sirens were estimated to have a 53 year life expectancy.

Unlike most competitive sirens, the Sentry Model 14V-B Storm Warning Siren is covered by a complete 7 year warranty. Sentry is able to offer such a long warranty because they use superior components in the construction of each siren. For example, each Sentry siren uses a continuous-duty, series-wound motor rather than a permanent-magnet motor.

The benefit of a series-wound motor is two-fold: as the load on the motor increases, the magnetic field from the coils in the motor increases at the same time, allowing more torque to be generated; and the series-wound motor tends to be more energy efficient and lasts significantly longer than a permanent-magnet motor. **ALL SENTRY SIRENS ARE PROUDLY MANUFACTURED IN THE UNITED STATES OF AMERICA.**

The Sentry Model 14V-B is an omni-directional siren. As stated in the FEMA, Outdoor Warning-Systems, Technical Bulletin (Version 2.0), January 12, 2006, omni-directional sirens are considered superior to rotating sirens:

## Storm Sirens, Inc.

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### *4.1 General Considerations for Outdoor Warning Systems, Page 28*

"Omni-directional sirens provide greater area coverage than do rotating or directional devices. They provide a more constant signal that improves public alerting in areas with highly fluctuating ambient noise, along with the reinforcing effect of multiple sound sources (up to a 3 dB increase for two adjacent sound sources in the same environmental setting)."

### *4.4.5 Determining Locations Where Outdoor PAS Devices Should Be Avoided, Page 32*

"In situations where there are high fluctuations in the ambient noise level, or near the limits of the audible device range, omni-directional devices present a distinct advantage, in terms of their signal consistency, over rotational devices. For example, because of the reduced duration of its peak sound level in any single direction during its 360 degree sweep, a rotational device will have an overall lower dB level when *assessed across a given time period* than an omni-directional device operating at the same frequency. Additionally, because sound has a reinforcing effect, omni-directional devices can act as sound "boosters" with adjacent audible devices. The effect applies for adjacent omni-directional audible devices as well as to omni-directional devices that are adjacent to rotational or directional devices".

## **Description:**

### **Item #2**

The CD&F Report Back System is a simple, yet advanced way to activate, control, and monitor the health of your siren system. The Report Back System communicates, in real time, with each siren in the field independently, and continues to update emergency personnel as to the current status. It allows you at a glance if you have had a power failure, dead battery, radio communication issue or even damage from vandalism.

The CD&F Report Back System utilizes a proven method of reliable communication that is secure, and non-proprietary. We won't sell you a computer system that only we can fix or upgrade. We believe in ease of use and trust, that's the Sentry way.

As proposed, the CD&F Model SD2100 2-Way Report Back System would consist of:

1. A Central Station consisting of a 45/50 watt transceiver, cable, antenna, and a 7" Touch Monitor/CPU with Windows CE program and customer software.



## **Storm Sirens, Inc.**

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2. The 4 Remote Monitoring Units each consisting of a 5 watt transceiver, antenna, weatherproof enclosure, intrusion sensor, and audio sensor.

From the Central Station you would be able to:

- a. Activate all 3 sirens from one button.
- b. Activate individual sirens. When the sirens are activated, the system does not automatically poll the RMUs, but retains the information until poled or the system is activated again).
- c. Poll the entire system (requires approx.. 8 seconds)
- d. Poll individual sirens.
- e. When poled, the Central Station will display:
  1. Poll Failure, indicating that the signal was blocked or that the site has a problem such as no power.
  2. Sound or Sound Failure, indicated on the display by either a green or red light.
  3. Intrusion, reported immediately.
  4. Battery Status

### **Description:**

#### **Item #3**

For years, emergency personnel struggled with receiving timely weather warnings from a dedicated and reliable source. The warnings were sometimes late, sometimes false, and worst of all, sometimes not received. This problem lead to the question "When do we activate our sirens?"

The key ingredient in the new STORM SENTRY Weather Monitoring System is software that interprets and understands weather data. The STORM SENTRY has revolutionized the emergency notification market by making weather / emergency notification easier, faster, and best of all, AUTOMATIC.

With our weather monitoring software, you take all the information from the National Weather Service and put it in one place, your office. Best of all, do all this for one small cost; no monthly or yearly contracts. A one time purchase of the hardware and software buys the user a lifetime of weather security.

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- **PC BASED WEATHER MONITORING:** Monitor real time weather data, including local radar via high speed internet and satellite on the EMWIN network.
- **REAL TIME WARNINGS VIA NWS:** Be the first to know when severe weather approaches. 2-5 seconds after a warning is issued, it's on your desk.\*
- **AUTOMATIC MESSAGING:** Notify emergency personnel, even residents, of emergencies via text, email, telephone, or fax automatically without human intervention.
- **AUTOMATIC SIREN ACTIVATION:** Activate your siren system automatically. No need for a person to activate. The computers can control all siren functions.
- **WEATHER DATA, SECOND BY SECOND, NO SUBSCRIPTIONS:** Utilizing the GOES weather satellites, your high speed data connection can be backed by a satellite feed for the ultimate in speed and reliability.
- **TV TUNER CAPABILITY:** Use your Storm Sentry to monitor local weather stations as well as NWS data. Television feeds are displayed in conjunction with Storm Sentry Data.
- **UNLIMITED FLEXIBILITY:** The Storm Sentry isn't just for weather warnings. It can be used to monitor earthquakes, tsunami alerts, amber alerts, even homeland security issues.

### **Description:**

#### **Item #4**

Our normal warranty on the Sentry Model 14V-B is a 7 year parts and labor warranty. On the CD&F Model SD2100 Radio Decoder a 2 year warranty parts and labor warranty. The 34U Redtop batteries used in the Sentry Model 14V-B are normally covered by a 2 year replacement, 3 year pro-rated warranty. The only exceptions to the warranties are vandalism and Act-Of-God which are both normally covered under the City's general insurance.

The extended warranties included in this proposal are for a 10 year parts and labor coverage on the Sentry Model 14V-B Storm Warning Sirens, a 5 year parts and labor coverage on the CD&F Model SD2100 Radio Decoder Report Back System and a 10 year replacement warranty on the Optima 34U Redtop batteries used in the Model 14V-Bs.



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### **Description:**

#### **Item #5**

The quoted price includes installation of the 4 Sentry Model 14V-B Storm Warning Sirens on 45" class II wooden telephone poles. The quoted price also includes all labor and materials associated with the complete installations. The only items the City would be responsible for providing would be the siren sites, appropriate electrical service to the siren poles and any information needed to program the radio decoders.

**Maintenance:** With the exception of the batteries, the Sentry Model 14V-B Storm Warning Siren is considered 'maintenance free'. I recommend that the batteries be replaced every 6 years or as needed. However, in that this proposal includes a minimum of 5 years parts and labor or replacement warranty, the cost to the City of Willow Park for the first 5 years would be zero.

**Date To Completion:** From the date of order, the proposed siren systems can be operational in 7 weeks or less. However, if the date of order is October 14, 2019 or later, the Holidays may cause a delay. Also, if the City is unable to provide one or more of the sirens sites in a timely fashion, this could cause a delay beyond my company's control.

**SCOPE OF WORK:** Quoted price includes all electrical and component hookups, and a fully operational test. All components will be securely mounted to each 45' class II telephone and padlocked.

### **SCOPE OF WORK SPECIFICALLY TO INCLUDE BUT SHALL NOT BE LIMITED**

**TO:** No Exceptions

**Local municipal references and satisfaction reports:** See Attached.

This proposal meets or exceeds all government regulatory specifications, including those of FEMA and OSHA.

## Storm Sirens, Inc.

3801 Harrogate Drive

Norman, Ok 73072

1-800-527-6375

stormsirens@aol.com

### PROPOSAL SUBMISSION FORMAT

**Summary of Proposer Background:** See Attached

**Financial Information:** See Attached

**Proposed Outcome:** See Attached

**Equipment or Service:** The complete installation would be done in one week. It would require one digger/derrick truck and one utility vehicle both supplied by Chaney Services, LLC and included in the quoted price.

### Cost Proposal Summary and Breakdown

Item #1: 4 Sentry Model 14V-B Storm Warning Sirens w/Battery Back-UP

\$82,275.00

Item #2: CD&F Report Back System

\$17,965.00

Item #3: Storm Sentry Weather Monitoring & Automatic Siren Activation System

\$18,250.00

Item #4: Extended Warranty

\$7,200.00

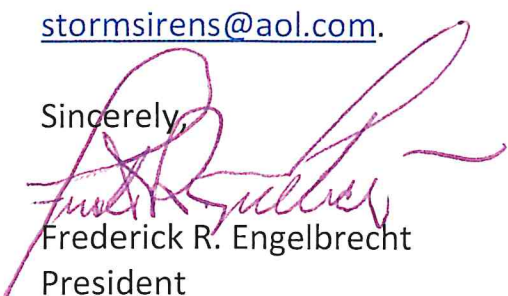
Item #5: Turn-Key Installation

\$13,000.00 (Includes 4 45' class II telephone poles & all necessary material)

**Licensing and Bonding/Insurance:** The City would be given proof of any necessary licensing and bonding before any work is started. A certificate of insurance specifically naming the City of Willow Park would be provided before work is started.

Thank you for your consideration of my company's proposal. If you have any questions, please contact us at our toll free number 1 (800) 527-6375 or by e-mail [stormsirens@aol.com](mailto:stormsirens@aol.com).

Sincerely,



Frederick R. Engelbrecht  
President

FRE:st



**Company:**
**CITY OF WILLOW PARK**

 516 RANCH HOUSE RD  
 WILLOW PARK, TX 76087  
 US

**To:**
**JARED JUNKER**

 214-458-6964  
 JJUNKER@WILLOWPARK.ORG

**Your Sales Rep:**
**Mark Stephens**

 Regional Manager - Systems  
 Phone 281-208-8323  
 mstephens@fedsig.com

**Prepared By:**
**Alex Cerros**

 Inside Sales Coordinator  
 Phone +708-534-4728  
 acerros@fedsig.com

**Notes:**

Here is the quote you requested.

**Project Ref:**
**CITY OF WILLOW PARK TX**

Terms				Ship Via	FOB
NET 30 With Account Approval				Freight Quoted	Origin
Line	Qty	Part Number	Description	Unit Price	Ext. Price
<b>SIREN SYSTEM / CITY OF WILLOW PARK, TX</b>					

**Control Point Equipment & Software**

1	1	X-PC-22	DELL Desktop PC with WIN10 PRO and complete with 22" Monitor	\$1,509.09	\$1,509.09
2	1	SFCD10	Commander Programming/Monitoring Software for 10 Sites. License is for up to 5 computers	\$1,902.00	\$1,902.00
3	2	SS2000+	Desk Mount Encoder	\$2,567.00	\$5,134.00
4	1	Commander1-SM	CommanderOne Standard with Messaging, Annual Subscription	\$5,500.00	\$5,500.00
<b>SubTotal</b>					<b>\$14,045.09</b>

Full Control Point w PC & Encoder Located @ Fire Dept.  
 Encoder / Push Button Only Control Point Located @ County 911  
 Cente

**Control Point Installation, Set Up and Start Up**
**Support**

5	1	TK-IO-CUSTINS	Installation of (2) SS2000 RF signal encoders, related control point equipment and software	\$5,285.00	\$5,285.00
<b>DCFCTBDH x 4</b> <b>2001TRBP x 4</b> <b>Antenna Kits x 4</b>					
<b>SubTotal</b>					<b>\$5,285.00</b>

**Siren Equipment, Qty of 4 Siren Sites, Siren Batteries will be Supplied by Federal Signal**

6	4	2001-130	Electro-mechanical rotating siren, 130 db(C) 800Hz	\$6,253.00	\$25,012.00
7	4	2001TRBP	TRANSFORMER RECTIFIER PLUS	\$1,460.00	\$5,840.00

This quotation is expressly subject to acceptance by Buyer of all terms stated on this and Federal Signal's terms of sale (available on request). Any exception to or modifications of such terms shall not be binding on Seller unless expressly accepted in writing by an authorized agent or office of Seller. Any order submitted to Seller on the basis set forth above, in whole or in part, shall constitute an acceptance by Buyer of Federal Signal's terms. Any such order shall be subject to acceptance by Seller in its discretion. Prices Subject To Change - Prices Based Upon Total Purchase - All Delivery, Training Or Consulting Services To Be Billed At Published Rates For Each Activity Involved. We Shall Not Be Liable For Any Loss Of Profits, Business, Goodwill, Data, Interruption Of Business, Nor For Incidental Or Consequential Merchantability Or Fitness Of Purpose, Damages Related To This Agreement.

Line	Qty	Part Number	Description	Unit Price	Ext. Price
8	4	DCFCTBDH	DIGITAL CONTROLLER, HIGH BAND	\$5,165.00	\$20,660.00
9	4	OMNI-4	ANTENNA, 152-156MHZ VHF	\$282.00	\$1,128.00
10	4	AMB-P	ANTENNA MOUNTING BRACKET, POLE	\$95.00	\$380.00
SubTotal					\$53,020.00

**Installation of Field Siren Equipment, Qty of 4  
Siren Sites**

11	1	TK-IO-CUSTINS	Installation of Siren Heads, Controllers, Transformer Rectifiers, Antenna kits, and Base Station <b>2001-130 x 4</b> <b>DCFCTBDH x 4</b> <b>2001TRBP x 4</b> <b>Antenna Kits x 4</b>	\$28,530.00	\$28,530.00
SubTotal					\$28,530.00

**Crating of Equipment & Shipping**

12	1	FREIGHTANS	Shipping & Handling Fees - GROUND Only	\$2,137.43	\$2,137.43
SubTotal					\$2,137.43

Lead Time:

SubTotal	<b>\$103,017.52</b>
Tax	
<b>Total USD</b>	<b>\$103,017.52</b>
Recurring Totals	<b>\$5,500.00</b>

This quotation is expressly subject to acceptance by Buyer of all terms stated on this and Federal Signal's terms of sale (available on request). Any exception to or modifications of such terms shall not be binding on Seller unless expressly accepted in writing by an authorized agent or office of Seller. Any order submitted to Seller on the basis set forth above, in whole or in part, shall constitute an acceptance by Buyer of Federal Signal's terms. Any such order shall be subject to acceptance by Seller in its discretion. Prices Subject To Change - Prices Based Upon Total Purchase - All Delivery, Training Or Consulting Services To Be Billed At Published Rates For Each Activity Involved. We Shall Not Be Liable For Any Loss Of Profits, Business, Goodwill, Data, Interruption Of Business, Nor For Incidental Or Consequential Merchantability Or Fitness Of Purpose, Damages Related To This Agreement.